Government of **Western Australia**
Development Assessment Panels

Metro North-West Joint Development Assessment Panel Agenda

Meeting Date and Time: Monday 12 January 2015; 2pm
Meeting Number: MNWJDAP/75
Meeting Venue: City of Joondalup
Boas Avenue
Joondalup

Attendance

DAP Members

Mr Paul Drechsler (A/Presiding Member)
Mr Clayton Higham (A/Deputy Presiding Member)
Mr Fred Zuideveld (Specialist Member)
Cr Mike Norman (Local Government Member, City of Joondalup)
Cr John Chester (Local Government Member, City of Joondalup)
Cr Frank Cvitan (Local Government Member, City of Wanneroo)

Officers in attendance

Mr Ryan Hall (DAP Secretariat)
Mr Jay Naidoo (City of Wanneroo)
Ms Catherine Temple (City of Wanneroo)

Local Government Minute Secretary

Mrs Dawn Anderson (City of Joondalup)

Applicant and Submitters

Mr Daniel Lees (TPG)
Mr Michael Kevill (TPG)

Members of the Public

Nil

1. Declaration of Opening

The Presiding Member declares the meeting open and acknowledges the past and present traditional owners and custodians of the land on which the meeting is being held.

2. Apologies

Ms Karen Hyde (Presiding Member)

3. Members on Leave of Absence

Ms Karen Hyde (Presiding Member)

4. Noting of Minutes

Note the Minutes of the Metro North-West JDAP meeting No.72 held on the 3 December and meeting No.74 held on the 18 December 2014.

5. Declarations of Due Consideration

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.

6. Disclosure of Interests

Nil

7. Deputations and Presentations

Nil

8. Form 1 - Responsible Authority Reports – DAP Application

8.1	Property Location:	Lot 929 (1244) Marmion Avenue, Currambine
	Application Details:	Proposed Unlisted Use (Self Storage Facility), Showroom and Recreation Centre
	Applicant:	TPG Town Planning, Urban Design and Heritage
	Owner:	Roman Catholic Archbishop of Perth and Davidson Pty Ltd
	Responsible authority:	City of Joondalup
	DoP File No:	DAP/14/00643

9. Form 2 – Responsible Authority Reports - Amending or cancelling DAP development approval

9.1	Property Location:	Lot 3801 (1001) Joondalup Drive, BANKSIA GROVE
	Application Details:	Drive-through Food Outlet
	Applicant:	TPG Town Planning
	Owner:	Coles Group Property Dev Ltd
	Responsible authority:	City of Wanneroo
	DoP File No:	DAP/14/00180

10. Appeals to the State Administrative Tribunal

Nil

11. General Business / Meeting Closure

Government of **Western Australia**
Development Assessment Panels

Minutes of the Metro North-West Joint Development Assessment Panel

Meeting Date and Time: Wednesday 3 December 2014; 3.00pm
Meeting Number: MNWJDAP/72
Meeting Venue: 90 Boas Avenue, Joondalup

Attendance

DAP Members

Ms Karen Hyde (Presiding Member)
Mr Clayton Higham (Deputy Presiding Member)
Mr Patrick Dick (Alternate Specialist Member)
Cr Russell Driver (Local Government Member, City of Wanneroo) *until 3.11pm*
Cr Frank Cvitan (Local Government Member, City of Wanneroo) *until 3.11pm*
Cr John Chester (Local Government Member, City of Joondalup)
Cr Mike Norman (Local Government Member, City of Joondalup)

Officers in attendance

Mr Jeremy Thompson (City of Wanneroo)
Mr Jay Naidoo (City of Wanneroo)
Ms Bonnie Butler (City of Wanneroo)
Mr John Byrne (City of Joondalup)
Ms Bronwyn Jenkins (City of Joondalup)
Ms Dale Page, Director Planning and Community Development
Mr John Corbellini, Manager Planning Services

Local Government Minute Secretary

Mr John Byrne (City of Joondalup)
Mrs Dawn Anderson (City of Joondalup)

Applicants and Submitters

Mr Dan Lees (TPG)
Mr David Caddy (TPG)
Mr Sean Morrison (Urbis)
Mr Kris Nolan (Urbis)
Mr Ray Haeren (Urbis)
Mr Brad Osborne (Centre Group)
Mr Roy Gruenpeter (Centre Group)
Mr Stewart White (Centre Group)

Members of the Public

Mr Rainer Repke

Ms Karen Hyde

Presiding Member, North-West JDAP Karen Hyde.

Mr Stan Seminow
There was one member of the press in attendance.

1. Declaration of Opening

The Presiding Member, Ms Karen Hyde declared the meeting open at 3.00pm on Wednesday 3 December 2014 and acknowledged the past and present traditional owners and custodians of the land on which the meeting was being held.

The Presiding Member announced the meeting would be run in accordance with the *Development* Assessment *Panel Standing Orders 2012* under the *Planning and Development (Development Assessment Panels) Regulations 2011*.

The Presiding Member advised that the meeting is being audio recorded in accordance with Section 5.16 of the Standing Orders 2012; No Recording of Meeting, which states: *'A person must not use any electronic, visual or audio recording device or instrument to record the proceedings of the DAP meeting unless the Presiding Member has given permission to do so.'* The Presiding Member granted permission for the minute taker to record proceedings for the purpose of the minutes only.

2. Apologies

Mr Paul Drechsler (Deputy Presiding Member)
Mr Fred Zuideveld (Alternate Specialist Member)

3. Members on Leave of absence

Panel member, Ms Karen Hyde has been granted leave of absence by the Minister for the period of 24 December 2014 to 16 January 2015 inclusive.

4. Noting of minutes

Note the Minutes of the Metro North-West JDAP meeting no. 71 held on 13 November 2014.

5. Disclosure of interests

Panel member, Mr Fred Zuideveld, declared an Impartiality Interest in item 8.1. Madeley Development Alliance Pty Ltd is a subsidiary of Niche Living. Niche Living is a client of Zuideveld Marchant Hur of which Mr Zuideveld is a director. Mr Zuideveld has also worked on a feasibility study for this site and the architect for the development is known to him.

In accordance with section 6.3.1 of the Standing Orders 2012, the Presiding Member determined that the member listed above, who had disclosed a Pecuniary Interest, was not permitted to participate in the discussion or voting on the items.

6. Declaration of Due Consideration

All members declared that they had duly considered the documents.

Ms Karen Hyde

Item 7 was considered after Item 8.1 and prior to Item 8.2.

7. Deputations and presentations

7.1 Presenter Mr David Caddy (TPG)

Mr Caddy addressed the DAP members, speaking against Item 8.2.

7.2 Presenter Mr Rainer Repke

Mr Repke addressed the DAP members, speaking in favour of Item 8.2.

7.3 Present Mr Ray Haeren (Urbis)

Mr Haeren addressed the DAP members, speaking in favour of Item 8.2.

8. Form 1 - Responsible Authority Reports – DAP Applications

8.1

Property Location:	Lot 100 (260) Wanneroo Road, Madeley
Application Details:	16 Single Dwellings, 90 Grouped Dwellings and associated common property.
Applicant:	TPG
Owner:	Madeley Development Alliance Pty Ltd
Responsible authority:	City of Wanneroo
Report date:	15 October 2014
DoP File No:	DAP/14/00606

REPORT RECOMMENDATION / PRIMARY MOTION

Moved by: Cr Zvitan **Seconded by:** Cr Driver

That the Metro North-West Joint Development Assessment Panel resolves to:

Approve DAP Application reference DAP/14/00606 and accompanying plans **(Attachment 1, 2 and 3)** in accordance with the provisions of the City of Wanneroo District Planning Scheme No. 2, subject to the following conditions being met to the satisfaction of the Manager, Planning Implementation.

1. This decision constitutes planning approval only and is valid for a period of 2 years from the date of approval. If the subject development is not substantially commenced within the 2 year period, the approval shall lapse and be of no further effect.

2. A refuse management plan shall be lodged and approved with the City prior to the commencement of construction and shall detail how waste is to be managed on-site including access, egress and manoeuvring of the City's Waste Vehicles and relevant bin pad locations. Thereafter, refuse shall be managed in accordance with the approved refuse management plan

3. Detailed landscaping and reticulation plans for the subject site and adjacent road verges shall be lodged for approval by the City prior to the commencement of construction to the satisfaction of the Manager, Land Development. Planting and installation of landscaping and reticulation shall be provided in accordance with approved landscaping and reticulation plans prior to occupancy of the development and thereafter maintained to the satisfaction of the City.

4. Visitor parking areas shall be designed and constructed in accordance with the Australian Standards for On-street and Off-street Carparking (AS2890), and shall be drained, sealed, marked and permanently set aside as such, and thereafter maintained to the satisfaction of the City.

5. The driveways and crossovers shall be designed and constructed to the residential specifications before occupation of the dwellings.

6. The parking areas and associated access (private roads) indicated on the approved plans shall not be used for the purpose of storage or obstructed in any way at any time, without the prior written approval of the City.

7. Lighting shall be installed along all common access ways, pedestrian pathways and in all common service areas prior to the development first being occupied.

8. An on-site stormwater drainage system, sufficient to contain a 1:100 year storm event (over 24 hours) shall be provided. Plans illustrating the system proposed shall be submitted for approval when application is made for a building licence and the system shall be installed during the construction of the development.

9. The proposed common property access way (private roads) being constructed and drained at the landowner/applicant's cost to allow the movement of the City of Wanneroo refuse trucks to the specifications and satisfaction of the City of Wanneroo.

10. The applicant shall lodge an Easement for the purpose of collecting refuse pursuant to Section 195 of the *Land Administration Act 1997,* being to the benefit of the City of Wanneroo for access onto the common property, as shown on the approved plans. The Deed shall be lodged prior to the occupation of the approved development and shall be to the specification and satisfaction of the City of Wanneroo.

11. The development is to be undertaken in accordance with the recommendations of the Lloyd George Acoustics Transportation Noise Assessment as lodged with the application dated 5 August 2014.

12. Permeable fencing as included in Attachment 4 to this report is to be provided on the following lots;

    - The Northern boundary of Lot 12;

- The Western boundary of Lot 13; and
- The Northern boundary of Lot 72 – 76.

13. The common area 'landscaping' located to the south of Lot 34, 'landscaping' located south of Lot 71/35 and the 'electrical SMSB location' south of lot 35 shall be within the common property area and the plans to be modified as such.

14. Redundant driveways/crossovers shall be removed and the verge and its vegetation shall be reinstated at the full expense of the applicant/landowner.

15. The ground levels located on the boundary of the land reserved for the Wanneroo Road/Whitfords Avenue/Gnangara Road and proposed Lots 12-34 shall be required to conform to the ultimate ground levels planned for the abovementioned intersection and future Gnangara Road alignment.

16. Prior to the commencement of construction of the development, a construction management plan shall be submitted and approved by the City detailing how the construction of the development will be managed in order to limit the impact on the users of the surrounding area. The plan will need to ensure that:

    - adequate space is provided within the subject site for the parking of construction vehicles and for the storage of building materials so as to minimise the need to utilise the surrounding road network;
    - adequate provision is made for the parking of workers vehicles;
    - pedestrian and vehicular access around the site is maintained;
    - bus stops/shelters or other infrastructure on public land is temporarily relocated as may be necessary;
    - the delivery of goods and materials does not adversely impact on the amenity of the surrounding properties; and
    - the hours of construction are limited to ensure that there is no adverse impact on the amenity of the surrounding properties.

    Thereafter, construction shall be undertaken in accordance with the approved construction management plan

Advice Notes:

1. This is a planning approval only and is issued under the City of Wanneroo's District Planning Scheme No. 2 and the Metropolitan Region Scheme. It is the proponent's responsibility to comply with all other applicable legislation and obtain all required approvals, licences and permits prior to commencement of this development.

2. This planning approval does not take into account any restrictive covenants. It is the proponent's responsibility to ensure that the development will not result in a conflict of contractual obligation.

3. This approval should not be construed that the City will support a survey strata or green title subdivision application for the development. A subdivision application for Survey Strata without common property or green title subdivision will need to meet the minimum and average site areas for the dwelling types, as prescribed in the Residential Design Codes.

4. In regards to Condition 10, the common property cannot be legally accessed by the City of Wanneroo as no easement exists over the property. As a result, a *Deed of Easement* is required to ensure refuse bin collection can be completed by the City of Wanneroo.

5. In regards to Condition 11, development is to include noise walls as identified in the Transportation Noise Assessment as well as façade treatment packages A, B and C for required lots.

6. In regards to Condition 12, permeable fencing is only required on lots 12 and 13 to ensure active surveillance of the common property area and is not required for the entirety of the boundary.

7. In regards to Condition 13, the plan identifies these as separate lots. The purpose of the condition is to provide clarity that these areas are common property and not individual lots.

AMENDING MOTION

Moved by: Mr Higham **Seconded by:** Mr Dick

That the words '*being constructed and drained*' be replaced with the words '*being constructed, drained and maintained*' in Condition 9 as follows.

9. The proposed common property access way (private roads) being constructed, drained and maintained at the landowner/applicant's cost to allow the movement of the City of Wanneroo refuse trucks to the specifications and satisfaction of the City of Wanneroo.

REASON: To ensure clear movement for the City of Wanneroo's refuse vehicles.

The Amending Motion was put and CARRIED UNANIMOUSLY.

REPORT RECOMMENDATION / PRIMARY MOTION (AS AMENDED)

Moved by: Cr Cvitan **Seconded by:** Cr Driver

That the Metro North-West Joint Development Assessment Panel resolves to:

Approve DAP Application reference DAP/14/00606 and accompanying plans **(Attachment 1, 2 and 3)** in accordance with the provisions of the City of Wanneroo District Planning Scheme No. 2, subject to the following conditions being met to the satisfaction of the Manager, Planning Implementation.

1. This decision constitutes planning approval only and is valid for a period of 2 years from the date of approval. If the subject development is not substantially commenced within the 2 year period, the approval shall lapse and be of no further effect.

2. A refuse management plan shall be lodged and approved with the City prior to the commencement of construction and shall detail how waste is to be managed on-site including access, egress and manoeuvring of the City's Waste Vehicles and relevant bin pad locations. Thereafter, refuse shall be managed in accordance with the approved refuse management plan

3. Detailed landscaping and reticulation plans for the subject site and adjacent road verges shall be lodged for approval by the City prior to the commencement of construction to the satisfaction of the Manager, Land Development. Planting and installation of landscaping and reticulation shall be provided in accordance with approved landscaping and reticulation plans prior to occupancy of the development and thereafter maintained to the satisfaction of the City.

4. Visitor parking areas shall be designed and constructed in accordance with the Australian Standards for On-street and Off-street Carparking (AS2890), and shall be drained, sealed, marked and permanently set aside as such, and thereafter maintained to the satisfaction of the City.

5. The driveways and crossovers shall be designed and constructed to the residential specifications before occupation of the dwellings.

6. The parking areas and associated access (private roads) indicated on the approved plans shall not be used for the purpose of storage or obstructed in any way at any time, without the prior written approval of the City.

7. Lighting shall be installed along all common access ways, pedestrian pathways and in all common service areas prior to the development first being occupied.

8. An on-site stormwater drainage system, sufficient to contain a 1:100 year storm event (over 24 hours) shall be provided. Plans illustrating the system proposed shall be submitted for approval when application is made for a building licence and the system shall be installed during the construction of the development.

9. The proposed common property access way (private roads) being constructed, drained and maintained at the landowner/applicant's cost to allow the movement of the City of Wanneroo refuse trucks to the specifications and satisfaction of the City of Wanneroo.

10. The applicant shall lodge an Easement for the purpose of collecting refuse pursuant to Section 195 of the *Land Administration Act 1997,* being to the benefit of the City of Wanneroo for access onto the common property, as shown on the approved plans. The Deed shall

be lodged prior to the occupation of the approved development and shall be to the specification and satisfaction of the City of Wanneroo.

11. The development is to be undertaken in accordance with the recommendations of the Lloyd George Acoustics Transportation Noise Assessment as lodged with the application dated 5 August 2014.

12. Permeable fencing as included in Attachment 4 to this report is to be provided on the following lots;

    a. The Northern boundary of Lot 12;
    b. The Western boundary of Lot 13; and
    c. The Northern boundary of Lot 72 – 76.

13. The common area 'landscaping' located to the south of Lot 34, 'landscaping' located south of Lot 71/35 and the 'electrical SMSB location' south of lot 35 shall be within the common property area and the plans to be modified as such.

14. Redundant driveways/crossovers shall be removed and the verge and its vegetation shall be reinstated at the full expense of the applicant/landowner.

15. The ground levels located on the boundary of the land reserved for the Wanneroo Road/Whitfords Avenue/Gnangara Road and proposed Lots 12-34 shall be required to conform to the ultimate ground levels planned for the abovementioned intersection and future Gnangara Road alignment.

16. Prior to the commencement of construction of the development, a construction management plan shall be submitted and approved by the City detailing how the construction of the development will be managed in order to limit the impact on the users of the surrounding area. The plan will need to ensure that:

    - adequate space is provided within the subject site for the parking of construction vehicles and for the storage of building materials so as to minimise the need to utilise the surrounding road network;
    - adequate provision is made for the parking of workers vehicles;
    - pedestrian and vehicular access around the site is maintained;
    - bus stops/shelters or other infrastructure on public land is temporarily relocated as may be necessary;
    - the delivery of goods and materials does not adversely impact on the amenity of the surrounding properties; and
    - the hours of construction are limited to ensure that there is no adverse impact on the amenity of the surrounding properties.

    Thereafter, construction shall be undertaken in accordance with the approved construction management plan.

Advice Notes:

1. This is a planning approval only and is issued under the City of Wanneroo's District Planning Scheme No. 2 and the Metropolitan Region Scheme. It is the proponent's responsibility to comply with all other applicable legislation and obtain all required approvals, licences and permits prior to commencement of this development.

2. This planning approval does not take into account any restrictive covenants. It is the proponent's responsibility to ensure that the development will not result in a conflict of contractual obligation.

3. This approval should not be construed that the City will support a survey strata or green title subdivision application for the development. A subdivision application for Survey Strata without common property or green title subdivision will need to meet the minimum and average site areas for the dwelling types, as prescribed in the Residential Design Codes.

4. In regards to Condition 10, the common property cannot be legally accessed by the City of Wanneroo as no easement exists over the property. As a result, a *Deed of Easement* is required to ensure refuse bin collection can be completed by the City of Wanneroo.

5. In regards to Condition 11, development is to include noise walls as identified in the Transportation Noise Assessment as well as façade treatment packages A, B and C for required lots.

6. In regards to Condition 12, permeable fencing is only required on lots 12 and 13 to ensure active surveillance of the common property area and is not required for the entirety of the boundary.

7. In regards to Condition 13, the plan identifies these as separate lots. The purpose of the condition is to provide clarity that these areas are common property and not individual lots.

The Report Recommendation / Primary Motion (as amended) was put and CARRIED UNANIMOUSLY.

Crs Driver and Cvitan (City of Wanneroo) rotated on the panel with Crs Chester and Norman (City of Joondalup) at 3.11pm.

8.2	Property Location:	Lot 501 (470) Whitfords Avenue, Hillarys
	Application Details:	Extensions and upgrade to existing shopping centre.
	Applicant:	Urbis Pty Ltd on behalf of Centre Group
	Owner:	Westfield Management Ltd, Reco Whitford Pty Ltd and RE1 Ltd
	Responsible authority:	City of Joondalup
	Report date:	26 November 2014
	DoP File No:	DAP/14/00580

REPORT RECOMMENDATION / PRIMARY MOTION

Moved by: Cr Norman **Seconded by:** Cr Chester

That the Metro North-West Joint Development Assessment Panel resolves to:

APPROVE DAP application reference DAP/14/00580 and accompanying plans date stamped DA-01 (Revision A), DA-A01 (Revision A), DA-A02 (Revision A), DA-B01(Revision A), DA-B02 (Revision B), DA-B03 (Revision B), DA-C01 (Revision A) DAC02 (Revision A), DA-C03 (Revision A), DA-C04 (Revision A) in accordance with Clause 6.9 of the *City of Joondalup District Planning Scheme No. 2*, subject to the following conditions:

Conditions:

1. This decision constitutes planning approval only and is valid for a period of two years from the date of approval. If the subject development is not substantially commenced within the two year period, the approval shall lapse and be of no further effect.

2. The applicant shall coordinate with Main Roads WA to produce a Transport Impact Assessment to determine the design of the Whitfords Avenue and Marmion Avenue intersection to the specification of Main Roads WA and satisfaction of the City prior to the commencement of development. This design shall align with the ultimate intersection design as planned. All costs associated with the preparation of the Traffic Impact Assessment shall be at the expense of the applicant.

3. The following Marmion Avenue and Whitfords Avenue intersection turning movements shall be upgraded at the expense of the applicant, to the specification of Main Roads WA and satisfaction of the City, prior to the development first being occupied:

    - Southbound right turn
    - Westbound left turn
    - Eastbound left turn
    - Northbound left turn

These upgrades shall be inclusive of design, review, approval, construction and signal costs, and shall be carried out to the specification of Main Roads WA and the satisfaction of the City.

4. A full schedule of materials, colours and finishes for all external facades shall be submitted to, and approved by the City, prior to the commencement of development. The schedule shall provide for further articulation of the acoustic wall facing Whitfords Avenue, to create greater visual interest as viewed from the street, and details of future signage types and location. Development shall be in accordance with the approved schedule and all external materials and finishes shall be maintained to a high standard to the satisfaction of the City.

5. A Construction Management Plan shall be submitted to, and approved by the City, prior to the commencement of development. The Plan shall detail how it is proposed to manage:

   - all forward works for the site;
   - the delivery of materials and equipment to the site;
   - the storage of materials and equipment on the site;
   - the parking arrangements for the contractors and subcontractors;
   - the management of sand and dust during the construction process;
   - other matters likely to impact on the surrounding properties.

   Construction shall be undertaken in accordance with the Construction Management Plan.

6. Detailed landscaping plans shall be submitted to the City for approval prior to the commencement of development. These landscaping plans are to indicate the proposed landscaping treatment(s) of the subject site and the adjoining road verge(s), and shall:

   - Provide full details of the green wall installations, including the loading dock screening devices and acoustic wall;
   - Be drawn at an appropriate scale of either 1:100, 1:200 or 1:500;
   - Provide all details relating to paving, treatment of verges and tree planting in the car park;
   - Show spot levels and/or contours of the site;
   - Indicate any natural vegetation to be retained and the proposed manner in which this will be managed;
   - Be based on water sensitive urban design principles to the satisfaction of the City;
   - Be based on Designing Out Crime principles to the satisfaction of the City; and
   - Show all irrigation design details.

7. Landscaping and reticulation shall be established in accordance with the approved landscaping plans, Australian Standards and best trade practice prior to the development first being occupied and thereafter maintained to a high standard to the satisfaction of the City.

8. A Refuse Management Plan indicating the method of rubbish collection is to be submitted to the City prior to the commencement of development, and approved by the City prior to the development first being occupied.

9. An on-site stormwater drainage system, with the capacity to contain a 1:100 year storm of 24-hour duration, is to be provided prior to the development first being occupied, and thereafter maintained to the satisfaction of the City. Details of the proposed stormwater drainage system is required to be submitted to, and approved by the City, prior to the commencement of development.

10. All development shall be contained within the property boundaries.

11. Any proposed external building plant, including air conditioning units, piping, ducting and water tanks, being located so as to minimise any visual and noise impact on surrounding landowners, and screened from view from the street, and where practicable from adjoining buildings. Details of the location of such plant shall be submitted to, and approved by the City, prior to the commencement of development.

12. The parking bays, driveways and access points shall be designed in accordance with the Australian Standard for Off-street Car Parking (AS/NZS2890.1 2004) and Off-street Parking for People with Disabilities (AS/NZS2890.6 2009). Such areas are to be constructed, drained and marked prior to the development first being occupied, and thereafter maintained, to the satisfaction of the City. Details shall be provided to, and approved by the City, prior to commencement of development.

13. Bicycle parking facilities provided shall be designed in accordance with the Australian Standard for Off-street Car parking – Bicycles (AS2890.3-1993). Details of bicycle parking area(s) shall be provided to, and approved by the City, prior to the commencement of development.

14. The proposed advertised billboard shall not include fluorescent, reflective or retro reflective colours, and any illumination shall be low level and must not flash, pulsate or chase. Signage is to be established and thereafter maintained to a high standard to the satisfaction of the City.

15. Written approval from the City is required prior to the temporary closure of the area comprising 107 car parking bays in the north-east promenade area within Zone A. A traffic management plan shall be provided to, and approved by the City prior to the closure.

Ms Karen Hyde

Presiding Member, North-West JDAP Karen Hyde

16. Zone C shall be occupied by 'Shop' or 'Department Store' land uses, as defined under the *City of Joondalup District Planning Scheme No.2.*

Advice Notes:

1. Further to condition 1, where an approval has so lapsed, no development shall be carried out without the further approval of the City having first being sought and obtained.

2. Further to condition 2 and 3, Main Roads WA propose that they will manage and deliver the works associated with the upgrade, with costs to be determined by an estimate for the proposed works prepared for Main Roads WA. Costs apportioned to the applicant are to be paid directly to Main Roads WA prior to the award of the road works contract.

3. Further to condition 15, traffic management plans must address the relocation of the taxi pick up and drop off area. It is also expected that traffic management for events include the provision of directional signage and traffic wardens in order to indicate the location of alternative parking areas and discourage verge parking.

4. The applicant is advised that noise emissions from the development shall comply with the provisions of the *Environmental Protection (Noise) Regulations 1997*.

AMENDING MOTION 1

Moved by: Cr Chester **Seconded by:** Mr Higham

That an additional condition be made as follows:

17. A parking strategy shall be submitted to and approved by the City prior to development. The strategy shall include but not be limited to the applicant providing and effective mechanism for directing patrons to available parking bays.

REASON: To effectively manage parking within the site.

The Amending Motion was put and CARRIED UNANIMOUSLY.

AMENDING MOTION 2

Moved by: Mr Dick **Seconded by:** Mr Higham

The changes to conditions of approval be made as follows:

Condition 2 to read:

‘2. The applicant shall coordinate with Main Roads WA and the City of Joondalup to produce a Transport Impact Assessment to determine the design of the Whitfords Avenue and Marmion Avenue intersection to the specification of Main Roads WA and satisfaction of the City prior to the commencement of development. This design shall align with the ultimate intersection design as planned. The Transport Impact

Assessment shall also include intersection analysis to address signal phasing and cycle times, including at the intersection of Whitfords Avenue and Dampier Avenue. All costs associated with the preparation of the Traffic Impact Assessment shall be at the expense of the applicant.'

The last paragraph of Condition 3 be amended and become a new Condition 4 as follows:

'4 All upgrades and works identified in the Traffic Impact Assessment as being required shall be inclusive of design, review, approval, construction and signal costs, and shall be carried out at the expense of the applicant and to the specification of Main Roads WA and the satisfaction of the City.'

The following conditions be renumbered accordingly.

REASON: To determine that all costs, upgrades and works identified in the Traffic Impact Assessment are to be at the expense of the applicant.

The Amending Motion was put and CARRIED UNANIMOUSLY.

REPORT RECOMMENDATION / PRIMARY MOTION (AS AMENDED)

Moved by: Cr Norman **Seconded by:** Cr Chester

That the Metro North-West Joint Development Assessment Panel resolves to:

APPROVE DAP application reference DAP/14/00580 and accompanying plans date stamped DA-01 (Revision A), DA-A01 (Revision A), DA-A02 (Revision A), DA-B01(Revision A), DA-B02 (Revision B), DA-B03 (Revision B), DA-C01 (Revision A) DAC02 (Revision A), DA-C03 (Revision A), DA-C04 (Revision A) in accordance with Clause 6.9 of the *City of Joondalup District Planning Scheme No. 2*, subject to the following conditions:

Conditions:

1. This decision constitutes planning approval only and is valid for a period of two years from the date of approval. If the subject development is not substantially commenced within the two year period, the approval shall lapse and be of no further effect.

2. The applicant shall coordinate with Main Roads WA and the City of Joondalup to produce a Transport Impact Assessment to determine the design of the Whitfords Avenue and Marmion Avenue intersection to the specification of Main Roads WA and satisfaction of the City prior to the commencement of development. This design shall align with the ultimate intersection design as planned. The Transport Impact Assessment shall also include intersection analysis to address signal phasing and cycle times, including at the intersection of Whitfords Avenue and Dampier Avenue. All costs associated with the

preparation of the Traffic Impact Assessment shall be at the expense of the applicant.

3. The following Marmion Avenue and Whitfords Avenue intersection turning movements shall be upgraded at the expense of the applicant, to the specification of Main Roads WA and satisfaction of the City, prior to the development first being occupied:

   - Southbound right turn
   - Westbound left turn
   - Eastbound left turn
   - Northbound left turn

4. All upgrades and works identified in the Traffic Impact Assessment as being required shall be inclusive of design, review, approval, construction and signal costs, and shall be carried out at the expense of the applicant and to the specification of Main Roads WA and the satisfaction of the City.

5. A full schedule of materials, colours and finishes for all external facades shall be submitted to, and approved by the City, prior to the commencement of development. The schedule shall provide for further articulation of the acoustic wall facing Whitfords Avenue, to create greater visual interest as viewed from the street, and details of future signage types and location.

   Development shall be in accordance with the approved schedule and all external materials and finishes shall be maintained to a high standard to the satisfaction of the City.

6. A Construction Management Plan shall be submitted to, and approved by the City, prior to the commencement of development. The Plan shall detail how it is proposed to manage:

   - all forward works for the site;
   - the delivery of materials and equipment to the site;
   - the storage of materials and equipment on the site;
   - the parking arrangements for the contractors and subcontractors;
   - the management of sand and dust during the construction process;
   - other matters likely to impact on the surrounding properties.

   Construction shall be undertaken in accordance with the Construction Management Plan.

7. Detailed landscaping plans shall be submitted to the City for approval prior to the commencement of development. These landscaping plans are to indicate the proposed landscaping treatment(s) of the subject site and the adjoining road verge(s), and shall:

- Provide full details of the green wall installations, including the loading dock screening devices and acoustic wall;
- Be drawn at an appropriate scale of either 1:100, 1:200 or 1:500;
- Provide all details relating to paving, treatment of verges and tree planting in the car park;
- Show spot levels and/or contours of the site;
- Indicate any natural vegetation to be retained and the proposed manner in which this will be managed;
- Be based on water sensitive urban design principles to the satisfaction of the City;
- Be based on Designing Out Crime principles to the satisfaction of the City; and
- Show all irrigation design details.

8. Landscaping and reticulation shall be established in accordance with the approved landscaping plans, Australian Standards and best trade practice prior to the development first being occupied and thereafter maintained to a high standard to the satisfaction of the City.

9. A Refuse Management Plan indicating the method of rubbish collection is to be submitted to the City prior to the commencement of development, and approved by the City prior to the development first being occupied.

10. An on-site stormwater drainage system, with the capacity to contain a 1:100 year storm of 24-hour duration, is to be provided prior to the development first being occupied, and thereafter maintained to the satisfaction of the City. Details of the proposed stormwater drainage system is required to be submitted to, and approved by the City, prior to the commencement of development.

11. All development shall be contained within the property boundaries.

12. Any proposed external building plant, including air conditioning units, piping, ducting and water tanks, being located so as to minimise any visual and noise impact on surrounding landowners, and screened from view from the street, and where practicable from adjoining buildings. Details of the location of such plant shall be submitted to, and approved by the City, prior to the commencement of development.

13. The parking bays, driveways and access points shall be designed in accordance with the Australian Standard for Off-street Car Parking (AS/NZS2890.1 2004) and Off-street Parking for People with Disabilities (AS/NZS2890.6 2009). Such areas are to be constructed, drained and marked prior to the development first being occupied, and thereafter maintained, to the satisfaction of the City. Details shall be provided to, and approved by the City, prior to commencement of development.

14. Bicycle parking facilities provided shall be designed in accordance with the Australian Standard for Off-street Car parking – Bicycles

(AS2890.3-1993). Details of bicycle parking area(s) shall be provided to, and approved by the City, prior to the commencement of development.

15. The proposed advertised billboard shall not include fluorescent, reflective or retro reflective colours, and any illumination shall be low level and must not flash, pulsate or chase. Signage is to be established and thereafter maintained to a high standard to the satisfaction of the City.

16. Written approval from the City is required prior to the temporary closure of the area comprising 107 car parking bays in the north-east promenade area within Zone A. A traffic management plan shall be provided to, and approved by the City prior to the closure.

17. Zone C shall be occupied by 'Shop' or 'Department Store' land uses, as defined under the *City of Joondalup District Planning Scheme No.2.*

18. A parking strategy shall be submitted to and approved by the City prior to development. The strategy shall include but not be limited to the applicant providing an effective mechanism for directing patrons to available parking bays.

Advice Notes:

1. Further to condition 1, where an approval has so lapsed, no development shall be carried out without the further approval of the City having first being sought and obtained.

2. Further to condition 2 and 3, Main Roads WA propose that they will manage and deliver the works associated with the upgrade, with costs to be determined by an estimate for the proposed works prepared for Main Roads WA. Costs apportioned to the applicant are to be paid directly to Main Roads WA prior to the award of the road works contract.

3. Further to condition 15, traffic management plans must address the relocation of the taxi pick up and drop off area. It is also expected that traffic management for events include the provision of directional signage and traffic wardens in order to indicate the location of alternative parking areas and discourage verge parking.

4. The applicant is advised that noise emissions from the development shall comply with the provisions of the *Environmental Protection (Noise) Regulations 1997*.

The Report Recommendation / Primary Motion (as amended) was put and CARRIED UNANIMOUSLY.

9. Form 2 – Responsible Authority Reports - Amending or cancelling DAP development approval

Nil.

10. Appeals to the State Administrative Tribunal

As invited by the State Administrative Tribunal under Section 31 of the *State Administrative Act 2004*, the Metro North-West JDAP will reconsider a Proposed Mixed Use Development at Lots 2 & 157 (46-48) Scarborough Beach Road, Scarborough on 4 December 2014.

11. Meeting Close

There being no further business, the Presiding Member declared the meeting closed at 4.15pm.

Ms Karen Hyde

Presiding Member, North-West JDAP Karen Hyde

Government of **Western Australia**
Development Assessment Panels

Minutes of the Metro North-West Joint Development Assessment Panel

Meeting Date and Time: Thursday, 18 December 2014; 3.00pm
Meeting Number: MNWJDAP/74
Meeting Venue: City of Stirling
25 Cedric Street Stirling

Attendance

DAP Members

Ms Karen Hyde (Presiding Member)
Mr Paul Drechsler (Deputy Presiding Member)
Mr Fred Zuideveld (Specialist Member)
Mayor Giovanni Italiano (Local Government Member, City of Stirling)
Cr Rod Willox (Local Government Member, City of Stirling)

Officers in attendance

Mr Greg Bowering
Neil Maull (City of Stirling)
Ms Christine Collins (City of Stirling)
Ms Kimberley Masuku (City of Stirling)
Ms Pacey Lang (City of Stirling)
Ms Regan Clyde (City of Stirling)

Local Government Minute Secretary

Ms Alana Mulhall (City of Stirling)

Applicant(s), Submitters and Members of the Public

Mr Nick Sissons (Architect)
Mr Peter Goff
Mr Alan Hughes
Ms Belinda Moharich (Flint Moharich)
Mr Malcolm Purcell (Acure Asset Management)

Members of the Public

17 members of the public.

1. Declaration of Opening

The Presiding Member, Karen Hyde declared the meeting open at 3.07pm on 18 December 2014 and acknowledged the past and present traditional owners and custodians of the land on which the meeting was being held.

Ms Karen Hyde
Presiding Member, Metro North-West JDAP

The Presiding Member announced the meeting would be run in accordance with the *Development* Assessment *Panel Standing Orders 2012* under the *Planning and Development (Development Assessment Panels) Regulations 2011*.

The Presiding Member advised that the meeting is being audio recorded in accordance with Section 5.16 of the Standing Orders 2012; No Recording of Meeting, which states: *'A person must not use any electronic, visual or audio recording device or instrument to record the proceedings of the DAP meeting unless the Presiding Member has given permission to do so.'* The Presiding Member granted permission for the minute taker to record proceedings for the purpose of the minutes only.

2. Apologies

Nil.

3. Members on Leave of absence

Nil.

4. Noting of minutes

Note the Minutes of the Metro North-West JDAP meeting no.73 held on 4 December 2014.

The Minutes of the Metro North-West JDAP meeting no.72 held on 3 December 2014 were not available at time of Agenda preparation.

5. Disclosure of interests

Panel member, Cr Rod Willox, declared a financial interest in Item 8.2 as he is a shareholder in Woolworths.

In accordance with Sections 4.6.1 and 4.6.2 of the Standing Orders 2012, the Presiding Member determined that the member listed above, who had disclosed a financial interest, was not permitted to participate in discussion and voting on the items.

Panel Member, Mayor Giovanni Italiano, declared under Clause 2.4.9 DAP Code of Conduct that he participated in a prior Council decision in accordance with his functions as a member of the local government in relation to Items 8.1 and 8.2. He has no particular interest in any decision made today.

In accordance with section 4.6.1 and 4.6.2 of the Standing Orders 2012, the Presiding Member determined that the Mayor Giovanni Italiano was permitted to participate in discussion and voting on the items.

6. Declaration of Due Consideration

All members declared that they had duly considered the documents.

7. Deputations and presentations

7.1 Mr Nick Sissons (Architect) and Mr Peter Goff, presented for the application at Item 8.1

7.2 Mr Alan Hughes presented against the application at Item 8.2.

7.3 Ms Belinda Moharich (Flint Moharich) and Mr Malcolm Purcell (Acure Asset Management) presented for the application at Item 8.2.

8. Responsible Authority reports

8.1

Application Details:	Mixed Use Development
Property Location:	Lot 600, House Number 967, Lot 14, House Number 969 and Lot 13, House Number 971, Beaufort Street, Inglewood
Applicant:	Established & Company Pty Ltd
Owner:	Tan M Hoang & Lanh T Vuong Racing & Wagering WA Tricoli Nominees Pty Ltd
Responsible authority:	City of Stirling
Report date:	10 December 2014
DoP File No:	DAP/14/00632

PROCEDURAL MOTION

Moved by: Cr Rod Willox **Seconded by:** Mayor Giovanni Italiano

The procedural motion is to defer decision for consideration by the City of the additional information presented by the applicant.

The Procedural Motion was put and CARRIED UNANIMOUSLY.

Councillor Rod Willox left the meeting at 3.36pm.

8.2

Application Details:	Hardware Showroom, Showroom, Fast Food Outlet and Garden Centre ("Masters")
Property Location:	Lots 1 and 102, House Number 601, Wanneroo Road, Hamersley
Applicant:	MGA Town Planners
Owner:	Broadcast Australia Pty Ltd
Responsible authority:	City of Stirling
Report date:	11 December 2014
DoP File No:	DAP/14/00635

REPORT RECOMMENDATION / PRIMARY MOTION

Moved by: Mayor Giovanni Italiano **Seconded by:** Nil

That the Metro North-West JDAP resolves to:

Refuse DAP Application reference DAP/14/00635 and accompanying plans (Attachment 1) in accordance with Clause 10.3.1 of the City of Stirling Local Planning Scheme No.3, for the following reasons:-

1. The proposal is not consistent with the intended purpose of the Reserve;

2. The proposal does not satisfy the relevant matters to be considered by Council specified in Clause 10.2 of LPS3, and is therefore not in the interests of orderly and proper planning;

3. The proposal does not provide parking in accordance the City's Local Planning Policy 6.7 – Parking & Access;

4. The proposed building height is not in accordance with the City's Local Planning Policy 4.1 – Reserves and Other Zones Design Guidelines; and

5. The proposed vehicular access is not in accordance with the requirements of Main Roads WA.

The Primary Motion was put and LOST for want of a seconder.

PROCEDURAL MOTION

Moved by: Mr Fred Zuideveld **Seconded by:** Mr Paul Drechsler

The procedural motion is to defer decision on the application for consideration of additional material presented by the applicant and MRWA by the City and to be brought back to the JDAP in the middle of January 2015.

The Procedural Motion was put and CARRIED (3/1).

For: Karen Hyde, Fred Zuideveld, Paul Drecshler

Against: Mayor Giovanni Italiano

9. Amending or cancelling DAP development approval

Nil.

10. Appeals to the State Administrative Tribunal

Nil.

11. Meeting Close

There being no further business, the presiding member declared the meeting closed at 4.10pm.

Ms Karen Hyde
Presiding Member, Metro North-West JDAP

Government of **Western Australia**
Development Assessment Panels

Form 1 - Responsible Authority Report

(Regulation 12)

Property Location:	Lot 929 (1244) Marmion Avenue, Currambine
Application Details:	Proposed Unlisted Use (Self Storage Facility), Showroom and Recreation Centre
DAP Name:	Metro North-West Joint Development Assessment Panel
Applicant:	TPG Town Planning, Urban Design and Heritage
Owner:	Roman Catholic Archbishop of Perth and Davidson Pty Ltd
LG Reference:	DA14/1339
Responsible Authority:	City of Joondalup
Authorising Officer:	Dale Page Director Planning and Community Development
Department of Planning File No:	DAP/14/00643
Report Date:	5 January 2015
Application Receipt Date:	16 October 2014
Application Process Days:	90 days
Attachments:	1: Location and zoning plan 2: Development plans and building perspectives 3: Proposed landscaping concept plans 4: Schedule of materials and finishes 5: Environmentally sustainable design checklist 6: Assessment against *District Planning Scheme No. 2* and *Currambine District Centre Structure Plan*

Officer Recommendation:

That the Metro North-West JDAP resolves to:

Refuse DAP Application reference DAP/14/00643 and accompanying plans (AA-4-010, AA-4-011, AA-4-012, AA-4-201, AA-4-202, and AA-4-302) in accordance with Clause 6.9 of the City of Joondalup *District Planning Scheme No. 2*, for the following reasons:

Reasons:

1. The proposal is considered not to satisfy the objectives of the 'Business Area' set out in the *Currambine District Centre Structure Plan* as:

    1.1 The proposal does not constitute high standards of main street built form and an attractive facade to vehicle and pedestrian routes as a result of the overall height of the structure and the large areas of blank facades without glazing or other articulation;

1.2 ‘Self Storage Facility’ is considered not to be an appropriate land use for the location as it does not create the desired level of activation of the main street. This activation does not occur due to the low number of employees, the low volume of irregular visits by customers and the building design presenting minimal opportunities for interaction and passive surveillance from the ‘Self Storage Facility'.

Alternate Recommendation:

Not applicable.

Background:

Insert Property Address:	Lot 929 (1244) Marmion Avenue, Currambine
Insert Zoning MRS:	Urban
TPS:	Commercial, Business
Insert Use Class:	Self Storage Facility (Unlisted Use), Showroom, Recreation Centre
Insert Strategy Policy:	N/A
Insert Development Scheme:	*City of Joondalup District Planning Scheme No.2* *Currambine District Centre Structure Plan*
Insert Lot Size:	7.5ha
Insert Existing Land Use:	Shop, Restaurant, Cinema Complex, Liquor Store, Office, Recreation Centre, Take Away Food Outlet, Betting Agency
Value of Development:	$6.95 million

The southern portion of the subject site contains a shopping centre commonly known as Currambine Central, which constitutes the major retail portion of the Currambine District Centre. The site is bound by Marmion Avenue to the west, Shenton Avenue to the south and properties zoned ‘Business’ to the east and north. The site shares a common boundary with a City owned ‘Civic and Cultural’ site to the northeast, which includes the recently constructed Currambine Community Centre and Delamere Park. The proposed development is to be constructed on a vacant portion of the site immediately to the north of the Currambine Community Centre (Attachment 1 refers).

The site is zoned ‘Urban’ under the Metropolitan Region Scheme (MRS), and under the City’s *District Planning Scheme No. 2* (DPS2) the portion of the site subject to this application is zoned ‘Business’. The site is subject to the requirements of the *Currambine District Centre Structure Plan No. 6* (CDCSP), which also applies to the other adjoining properties that are bound by Marmion Avenue, Shenton Avenue and Delamere Avenue. The portion of the site where the development is to be located is subject to the requirements of the ‘Business Area’ under the CDCSP.

The buildings on the subject site, including the marketplace, cinema and car park addition approved by the JDAP at its meeting of 26 February 2014 and currently under construction, have a total net lettable area (NLA) of 17,717m^2 and a retail NLA of 10,614m^2. At the completion of that development there will be a total of 896 car bays provided across the site. The assessment of this application has taken into consideration that development being completed.

<u>Amendment No. 65 to DPS2</u>

Consideration must be given to Amendment No. 65 to DPS2, which was adopted by Council in June 2013. Amendment No. 65 is inclusive of 40 separate amendments which propose to correct minor deficiencies and anomalies in DPS2 prior to the full scheme review which is currently being undertaken. The amendments of relevance to this development application seek to:

- Include the land use 'Self Storage Facility' in the Zoning Table, where it will be a discretionary 'D' use in the 'Business' zone, a permitted 'P' use in the 'Service Industrial' zone, and a prohibited 'X' use in all other zones.
- Applying a car parking standard for this land use of 1 per 100m^2 NLA.
- Adding a definition for the land use 'Self Storage Facility' into Schedule 1. This definition reads "means premises where customers rent space in which to store possessions and are provided with their own access to this space".

The amendment has been forwarded to the WAPC for consideration with no determination made to date. The amendment is considered a 'seriously entertained planning proposal' and has been given due regard to in the assessment of this application.

Previous Decision of Council

In addition to the requirements of DPS2, Amendment No. 65 and the CDCSP, due regard must also be given to Council's decision of 18 September 2012 where it was determined that a car parking standard of five car bays for every 100m^2 of NLA was acceptable. This ratio accords with *State Planning Policy 4.2 – Activity Centres for Perth and Peel* (SPP 4.2). This resolution stated that the standard applied not only to that development application but should also apply to any future development on the site.

Joondalup Design Reference Panel

This application was referred to the Joondalup Design Reference Panel (JDRP) on 6 November 2014.

The purpose of the JDRP is to provide advice on the design of development with a particular focus on the impact of buildings on the streetscape, and the environmentally sustainable design features. Council at its meeting held on 24 June 2014 adopted amendments to the Terms of Reference for the JDRP which extended the requirement for applications determined by the JDAP to be referred to the JDRP where they relate to new commercial development or major additions to existing development that impact on the streetscape.

The advice received is discussed further in the planning assessment section of this report.

Details: outline of development application

The proposed development is for a new three storey building on the vacant northern portion of the Currambine Central site. The development consists of:

- A new three storey building immediately to the north of the Currambine Community Centre, with a total NLA of 9,815m^2. The majority of the building will be used for self storage facility purposes.

- A tenancy (295m^2) on the ground floor fronting the continuation of Chesapeake Way. This is proposed to be used for either 'Showroom' or 'Recreation Centre' (gym) purposes.

- Fifty one (51) additional car bays to be used in conjunction with the development. Forty three (43) of these bays will be secure bays behind an automatic gate and will be set aside for the purposes of the self storage facility only.

- Building finishes including clear glazing to the ground floor fronting the continuation of Chesapeake Way, translucent wall sheeting facing Chesapeake Way and on the front panels on the north and south of the building, and metal wall sheeting on the remainder of the walls facing north, south and east.

Development plans and building perspectives are provided as Attachment 2, with landscaping concept plans and a full schedule of materials and finishes provided as Attachments 3 and 4 respectively.

Legislation & policy:

<u>Legislation</u>

Planning and Development Act 2005 and *State Administrative Tribunal Act 2004*

The applicant has the right of review against the JDAP's decision, including any conditions included therein, in accordance with the *State Administrative Tribunal Act 2004* and the *Planning and Development Act 2005.*

Metropolitan Region Scheme (MRS)

The subject site is zoned 'Urban' under the MRS.

City of Joondalup District Planning Scheme No. 2 (DPS2) *and Currambine District Centre Structure Plan No. 6* (CDCSP)

The proposed development must be assessed in accordance with the requirements of DPS2 and the CDCSP. In particular, as 'Self Storage Facility' is an unlisted use for the purposes of DPS2 the procedures set out in Clause 3.3 must be followed.

Clause 3.3 sets out:

If the use of the land for a particular purpose is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the interpretation of one of the use categories the Council may:

(a) Determine the use is consistent with the objectives and purposes of the particular zone and is therefore permitted; or

(b) Determine that the proposed use may be consistent with the objectives and purpose of the zone and thereafter follow the procedures set down for an 'A' use in Clause 6.6.3 in considering an application for planning approval; or

(c) Determine that the use is not consistent with the objectives and purposes of the particular zone and is therefore not permitted.

The City has followed the process set out in (b) above in this instance, ensuring that the application was advertised for public comment in accordance with Clause 6.6.3 of DPS2.

State Government Policies

Not applicable

Local Policies:

Council Policy – Signs

This policy provides guidance on the extent and location of various forms of signage that are not exempt from planning approval under DPS2. The policy aims to protect the quality of the streetscape and the amenity of adjoining and nearby residents by minimising the visual impact of signs and encourage well-designed signs that enhance visual quality and safety of the City of Joondalup.

The signage on the plans is indicative only, and will subject to a separate development application should the development be approved.

Council Policy - Environmentally Sustainable Design

This policy applies to the construction of major residential, commercial and mixed use buildings. The purpose of the policy is to encourage development to incorporate environmentally sustainable principles into the building design. The policy also requires applicants to complete the City's Environmentally Sustainable Design Checklist.

The checklist for the proposed development is provided as Attachment 5.

Consultation:

Public Consultation

The development application was advertised for a period of 21 days, from 1 December to 22 December 2014. Consultation was undertaken by way of letters (outlining the nature of the development application) to land owners and occupiers of all properties within 400 metres of the location of the proposed development.

A total of 30 submissions were received during the consultation period, being 28 objections, and two submissions stating no objections.

The submissions raised the following key concerns:

Land Use:

- The land should be used to accommodate more family friendly facilities such as a much needed child care centre.
- Does not go with the theme of this area. The area is a family and community oriented shopping and recreation precinct.
- More suited to an industrial area such as the Winton Road area in Joondalup.
- We do not believe there is any demand for storage facilities in this area.

Building Design/Appearance:

- The building is out of character with the area.
- The scale of the building is too large – it will overshadow the surrounding buildings and parklands.
- The building is too high at three storeys.
- Tall blank concrete walls to the south of the community centre already form part of the streetscape at the Centre's entrances. Any more will 'swamp' the centre.
- The site is already built up with a large amount of sand.
- It will be an eyesore.
- It will be a blank canvas for graffiti.
- The three storey blank eastern elevation would be too high and aesthetically displeasing. Mature trees will take time to grow.

Planning:

- Does not meet the objectives of *Directions 2031* – does not fulfil community daily and weekly needs. Does not provide sustainable employment or an increased scope for local employment opportunities as a very limited number of staff would be required to operate the business. It also will not build synergies within our local business communities.
- Does not meet the objectives of DPS2 and the Model Scheme Text – it does not provide for retail and commercial business, does not complement other business services, and would not provide an attractive facade to the street.
- City of Joondalup Local Commercial Strategy – a self storage facility with a 24/7 automated access would not provide an adequate number of sustainable employment opportunities for the local population.
- CDCSP – the facility would predominantly be used by external people commuting by car, would not prompt local residents to travel to the area, and would effectively create an unsightly boundary that would split the usage of this main street into two distinct sections.

Other:

- It will destroy the continuity of the area by effectively placing a warehouse in the middle of a community hub.
- Will create a dead zone and waste of space in amongst a wonderful area.
- It has the potential to attract the wrong type of people to the area; will attract undesirable characters.
- Potential to create an area to be used for antisocial behaviour such as drinking, out of view.
- Additional litter.
- Will bring additional traffic to an already congested area (close to a residential area), where the road layout is already difficult to navigate.
- Impact of noise from additional traffic.

- Impact of noise from the day to day use of the facility, particularly at night time.

The applicant has provided the following responses to the concerns raised in these submissions:

Land Use:

The proposal comprises a mixed use development with a gym/showroom tenancy and a self storage facility. The proposed uses collectively, and the self storage facility specifically to which it appears the objections relate to, are considered appropriate for the location as follows:

The proposed self storage facility is a non-retail use that will be open for extended hours into the evening, thereby generating activity on the site and through the 'main street' generally during the day and night. This activity will thereby increase opportunities for passive surveillance to complement the existing after-hours businesses currently located in close proximity on both Lot 929 and the neighbouring site to the north.

The development has been designed to address the 'main street', with an active ground floor tenancy proposed, to accommodate a gym or showroom land use. These tenancies effectively sleeve the self storage component located behind, with the ground level façade to the pedestrian realm to be fully glazed. This therefore creates an active edge to the 'main street' pedestrian route, with opportunities for visual amenity and interaction by the eventual tenants.

The proponent has identified a demand for self storage facilities from residents within the immediate locality, which the proposed development seeks to service.

The proposal is for a mixed use development with a gym/showroom tenancy and a self storage facility on the subject site. The application needs to be considered on its merits and not compared to a hypothetical alternative desired use, or ideal alternative location.

Building Design/Appearance:

The three storey height proposed is consistent with that already existing within the 'main street', being 10.5 metres at the street frontage. This will result in an intimate, human scale environment. The proposed building is also of a lesser height than the maximum height of the cinema.

Any development on the subject site in accordance with the structure plan provisions would result in overshadowing of the neighbouring community centre. The neighbouring community centre is unlikely to be adversely affected by any overshadowing given its design and siting on the site. It is built to the northern boundary (with no windows) for the front portion of the building, and is then provided with a solid masonry boundary wall for the remainder, with minimal setbacks to the north. Therefore the existing boundary wall already causes overshadowing of the neighbouring community centre. Furthermore given that the public open space is located to the east, only very minimal overshadowing of a small portion of this POS will occur.

Any potential concerns regarding graffiti are considered a minor management issue for the building owner/tenant. It can be appropriately addressed through a

combination of landscaping selection (eg. thick hedge planting between the trees to make the area inaccessible), anti-graffiti coating and a repainting program, installation of surveillance cameras and fencing treatment.

The eastern elevation will be effectively screened by trees as shown on the landscaping concept plan submitted.

Planning:

The proposed development needs to be viewed as a whole, as it comprises a mixed use development with a gym/showroom tenancy and a self storage facility. This range of uses will provide for daily and weekly needs and provide local employment opportunities.

The objectives of the 'Business' zone of DPS2 and the CDCSP have been addressed in the DA report submitted.

The 'main street' is already effectively split into two distinct sections, by both the property ownership/land parcels, and the difference in uses between the 'Commercial' and 'Business' zones that apply along the street. The proposed development would not create an "unsightly boundary", noting that it provides an entirely active ground level frontage to the street, including a gym/showroom tenancy.

Other:

The continuity of the main street will be maintained and enhanced by the provision of an entirely active ground level frontage to the street, including a gym/showroom tenancy.

The concerns regarding undesirable characters, anti-social behaviour and litter are unsubstantiated, and in any case will be addressed by building lighting and security features, noting that the building will be a secure facility.

As noted in the traffic report submitted, the expected increase in vehicle traffic associated with the proposed development will have a negligible impact on the overall traffic volumes. As a result, no specific increase in traffic noise is expected as a result of the proposed development, noting that a more intense form of development such as retail would result in a greater number of vehicle trips than the self storage facility proposed. The use of the facility itself will not generate a specific increase in noise levels beyond that of any other typical commercial development. In any case the operation of the self storage facility would be required to comply with the noise regulations.

Following the close of the public consultation period, a further five submissions were received, four of these being objections raising similar concerns to those outlined above, and one being a submission stating no objections to the proposal.

<u>Consultation with other Agencies or Consultants</u>

The application was referred to the Department of Planning's Infrastructure and Land Use Coordination section as the overall development site abuts Marmion Avenue, which is an 'other regional road' at this point.

The Department responded stating they have no objection to the development based on regional transport grounds.

Planning assessment:

The proposed development consists of a new three storey building immediately to the north of the existing Currambine Community Centre. The proposed building will predominantly be used for the purposes of the unlisted land use 'Self Storage Facility', with a ground floor 'Showroom' or 'Recreation Centre' tenancy fronting the continuation of Chesapeake Way which has been designed to provide some street level activation to this main street frontage.

The development has been assessed against the requirements of the 'Business' zone under DPS2 and the 'Business Area' under the CDCSP. The full assessment against these requirements is set out in Attachment 6, and has identified a number of areas where discretion is required to be exercised.

In assessing the appropriateness of the development, specific regard has been given to the objectives of the 'Business' zone set out under Clause 3.6 of DPS2, and the 'Business Area' under Clause 8.2.1 of the CDCSP, which state:

3.6 The Business Zone (DPS2)

3.6.1 The Business Zone is intended to accommodate wholesaling, retail warehouses, showrooms and trade and professional services and small scale complementary and incidental retailing uses, as well as providing for retail and commercial business which require large areas such as bulky goods and category/theme based retail outlets that provide for the needs of the community but which due to their nature are generally not appropriate to, or cannot be accommodated in a commercial area.

The objectives of the Business Zone are to:

(a) Provide for retail and commercial businesses which require large areas such as bulky goods and category/theme based retail outlets as well as complementary business services.

(b) Ensure that development within this zone creates an attractive facade to the street for the visual amenity of surrounding areas.

8.2.1 Objectives (CDCSP)

The general objectives of the Business Area are:

i. To create an active focus for the community with a diversity of non-retail main street uses that generate day and evening activity.

ii. To allow appropriate businesses to locate and develop in close proximity to residential areas for the convenience of the community.

iii. Encourage high standards of 'Main Street' built form and an active edge to create an attractive façade to vehicle and pedestrian routes providing visual amenity and interaction.

iv. *Provide efficient vehicle access and circulation with pedestrian priority.*

v. *Encourage a high level of passive surveillance of public and private spaces.*

Land Use

The proposed land use 'Showroom' is a permitted ("P") use in the 'Business' zone, and is therefore considered appropriate for the site. 'Recreation Centre' is a discretionary ("D") land use in the 'Business' zone. However, given that it is consistent with other land uses in this locality, and will provide a level of daytime and evening activation of the main street, it is also considered to be appropriate in this context.

The proposed land use 'Self Storage Facility' is an unlisted use for the purposes of DPS2, and therefore must be considered in relation to Clause 3.3 of DPS2.

Clause 3.3 requires the decision maker to determine whether the land use proposed meets the purpose and objectives of the zone and is therefore permitted; the land use proposed may meet the purpose and objectives of the zone and therefore the procedures set out for an "A" use should be followed; or the land use proposed does not meet the purpose and objectives of the zone and is therefore a prohibited ("X") use.

In this instance, the procedures for advertising an "A" use as set out in Clause 6.6.3 of DPS2 have been followed as it is considered that in some locations zoned 'Business' the proposed use could potentially meet the objectives of the zone set out under DPS2. The proposal to make the land use 'Self Storage Facility' a "D" use in the 'Business' zone under Amendment No. 65 to DPS2 was also a consideration in this regard.

The applicant has provided the following justification in support of the proposed land uses:

The proposed self storage facility is wholly consistent with objective (a), specifically being a commercial business which requires a large area to operate. The mixed use nature of the development is also consistent with objective (b) in terms of providing an active frontage to the 'main street' pedestrian environment via the gym/showroom tenancies and front office component, effectively sleeving the self storage component to the rear. The proposed building is also three stories in height, thereby creating an intimate 'main street' built form, consistent with the scale of development opposite the site, which has an effective two storey appearance (for the gym) , and two true storeys for the mixed use building immediately opposite the Currambine Community Centre. In this regard the proposed development is consistent with the objectives of the Business Zone under DPS2.

The proposed self storage facility is a non-retail use that will be open for extended hours into the evening, thereby generating activity on the site and through the 'main street' generally during the day and night. This activity will thereby increase opportunities for passive surveillance to complement the existing after-hours businesses currently located in close proximity on both Lot 929 and the neighbouring site to the north, which include tavern and take away food businesses (objectives I and V). There is a strong demand for self storage facilities from residents within the immediate locality, which the proposed development seeks to cater to. This is particularly evident noting the residential suburbs that predominantly characterise the

wider area surrounding the shopping centre. Demand for self storage is also increased by the tendency towards smaller lot sizes, an example of which is the higher density residential development located within the Structure Plan area, comprising the northeast corner of the street block. The self storage proposed is therefore seeking to provide a convenience to the community, being a service in demand (objective II).

The development has been designed to address the 'main street' with an active ground floor tenancy proposed, to accommodate a gym or showroom land use. These tenancies effectively sleeve the self storage component located behind with the ground level facade to the pedestrian realm to be fully glazed with openings to suit the eventual tenants' requirements. This therefore creates an active edge to the 'main street' pedestrian route, with opportunities for visual amenity and interaction by the eventual tenants. The building itself has been designed in accordance with 'main street' built form principles, being of increased height and therefore creating an intimate pedestrian environment (Objective III).

Efficient vehicle access is proposed, whilst prioritising pedestrian movements within the 'main street'. The crossover to serve the car park has been intentionally located at the northern end of the site, in close proximity to the existing crossover to the tavern immediately to the north. This design thereby concentrates the two crossovers, resulting in a longer uninterrupted pedestrian route, being approximately 130 metres of crossover free pedestrian footpath from the proposed crossover to the main shopping centre building. Noting the approved cinema expansion and associated car park, the eventual pedestrian route would be approximately 100 metres crossover-free. The building also provides an awning over the footpath ensuring weather protection for pedestrians (Objective IV).

On the basis of the above, the proposed development is consistent with the objectives of the Business Zone under the Structure Plan.

The City has also assessed the proposed land uses against the above objectives, and it is considered that the development does not fully satisfy these objectives, in particular the proposed 'Self Storage Facility', for the following reasons:

- The nature of the proposed land use means that the development will not create an active focus for the community. Although it is acknowledged that the facility is able to be accessed during both the day and evening, it is also noted that there is a low number of employees on-site at any time, and low amounts of visitation by customers that is generally irregular. This will not assist in the activation of the main street or the passive surveillance of the area in general. Furthermore, there are no windows on the upper floors of the building where the self storage units are predominantly located, further restricting the ability for passive surveillance over the surrounding streets and park to occur.
- Although the self storage facility will provide a service to the surrounding community, it is considered not to be an appropriate use in this main street location.
- The proposed development is considered not to satisfy the objectives that relate to building design and appearance. These objectives are discussed further under 'building design' below.

Traffic and Car Parking

The amount of required car parking has been assessed against the ratio approved by Council in September 2012, as well as against the standards set out in Amendment No. 65. The latter of the two assessments applies the standard set out in Amendment No.65 to the 'Self Storage Facility' portion of the development only as it is considered that it may not be appropriate to apply the more intensive 5 per 100m^2 NLA ratio to this land use. For the purposes of consistency, the ratio of 5 per 100m^2 NLA has been applied to the 'Showroom'/'Recreation Centre' portion of the development.

An assessment against the current standards provided in DPS2 has not been undertaken as there is no standard provided for the unlisted land use 'Self Storage Facility'.

The table below shows the car parking assessment, noting that these calculations apply to the entire Currambine Central site, not just the portion of the site that is the subject of this application.

Standard	**NLA**	**Required**	**Provided**
Council Resolution 18 September 2012			
A standard of 5:100m^2 NLA is appropriate for the Currambine Central shopping centre and should be applied to this and future development applications on the shopping centre site.	27,532m^2	1,376.6 bays (1,377 bays)	947 bays
Amendment No. 65 (standard applied to Self Storage Facility use only)			
'Self Storage Facility' 1:100m^2 NLA	9,455m^2	94.55 bays	
Office (incidental to the Self Storage Facility) 1:100m^2 NLA	65m^2	0.65 bays	
Existing development and proposed 'Showroom'/ 'Recreation Centre' 5:100m^2 NLA	18,012m^2	900.6 bays	
Total required where Amendment No. 65 standard applied to Self Storage Facility		995.8 (996)	947 bays

The proposed development will result in a car parking shortfall when considering it as part of the overall shopping centre site. Where the standard for 'Self Storage Facility' set out in Amendment No. 65 is applied to that component of the development a 49 bay shortfall (4.9% of the total requirement) results.

Notwithstanding the shortfall that will exist, it is considered that adequate parking is provided for the development, and that it will not impact on the parking demands or utilisation for the remainder of the shopping centre site. This consideration is based on patrons of the self storage facility utilising only bays immediately adjacent to the building as a result of the nature of the land use, and that 43 secure bays are set aside for the exclusive use of this facility. Furthermore, the eight bays provided

outside of the secure gates, coupled with the 13 angled bays immediately in front of the proposed development along Chesapeake Way will be adequate to service the tenancy at the front of the development.

A traffic report was submitted by the applicant as part of the development application. This report was reviewed by the City and generally found to be acceptable. As noted in the public consultation section of this report, the application was referred to the Department of Planning's Infrastructure and Land Use Coordination section and no objections were raised to the proposal.

Building Design

There are a number of aspects of the proposed development that are considered not to satisfy the technical requirements of the CDCSP. Of particular concern are:

- The lack of active frontages towards vehicular and pedestrian routes.
- The extent of blank facades, and the lack of glazing or other articulation.
- The overall bulk of the development which results from the lack of articulation and glazing, and the three storey building height.

The development is also considered not to satisfy the requirement of DPS2 in relation to building materials.

The applicant has provided the following justification for these aspects of the development:

Building Height
The development proposes a building height of three storeys for the self storage facility, with an overall height of 10.5 metres (42.625 metres RL). Whilst it is acknowledged that this does not comply with the two storey building height prescribed under the structure plan, it is considered that the proposed building height is consistent with existing development fronting Chesapeake Way and consistent with the intent of the building height provisions in terms of encouraging a human scale street environment and providing an urban edge to the street boundary.

The additional height is considered appropriate with respect to existing development in the Currambine District Centre and will have no adverse impact on the streetscape or the amenity of the locality.

Facade Treatments
The development has been designed to provide an active edge to the pedestrian environment through the provision of active ground floor land uses and significant glazing at the ground floor interface with the public realm.

The development does not present any blank facades to the public realm, with the sides of the building facing an associated car park and the City's Currambine Community Centre building. Landscaping is also proposed, as specified on the landscaping plan provided, in order to soften the building edge and improve the interface with surrounding development.

As outlined above, the City has also assessed the proposed development against the 'Business Area' objectives, and it is considered that the development does not fully satisfy these objectives in relation to building design for the following reasons:

- While the ground floor facade fronting the main street is well glazed, and provides a high degree of articulation, the overall built form standard of the development is considered not to satisfy objective III. The lack of articulation above the ground floor on the street facade does not deliver an attractive facade to vehicle and pedestrian routes. The blank facade facing Delamere Park, which will be visible from Delamere Avenue and surrounding pedestrian routes is of particular concern, as are the primarily blank northern and southern facades which will also be visible from vehicle and pedestrian routes, including the main street of the District Centre. This concern will be exacerbated as a result of the difference in height between the proposed development and the buildings on either side.
- As outlined above, the blank walls of the development, particularly of the upper floors do not provide for any opportunity of passive surveillance of public and private spaces. Limited surveillance of the street and public realm may be provided from the car park and from users coming and going from the street front tenancy. However, due to the level difference between the subject site and Delamere Park, no passive surveillance will be afforded to that space.
- The overall bulk of the development, particularly in contrast to the developments on either side does not create an attractive facade to the street for the visual amenity of the surrounding area. This bulk is as a result of the three storey building height, the lack of glazing and articulation of the development above the ground floor level, and on the sides and rear of the building, much of which will also be visible from the street(s).
- The proposed vehicle access and circulation does not comply with all requirements of the CDCSP, but is considered to be acceptable in this instance.

The City acknowledges that the proposed building has been designed to serve a particular purpose and accommodate specific land uses. However, this does not alleviate the City's concerns in relation to the appearance of the proposed building as viewed from the public realm.

It is considered that the form of the proposed building although being a similar height to those across the road, and adjacent to the main shopping centre, is not appropriate in the context of the buildings either side of the subject development. The lack of glazing or other articulation on the upper floors of the front facade, and on the northern, southern and eastern facades exacerbates the impact of the building in this regard. The applicant's justification states that there are no blank facades presented to the public realm, however this is considered not to be the case.

The design of this building with the extent of blank facades allows very little opportunity for passive surveillance over adjoining and nearby public spaces, and may provide a target for increased vandalism. It is acknowledged that the building, particularly the rear facade (adjoining and highly visible from Delamere Park) is within a secure area, and that landscaping will be provided along this facade. However, it is likely that these measures will not be sufficient to prevent that wall in particular being a target for graffiti.

The building will also cast a substantial shadow over the adjoining Currambine Community Centre, detrimentally impacting on the energy efficiency measures currently in place.

Environmentally Sustainable Design:

The applicant has completed the City's Environmentally Sustainable Design Checklist which has been provided as Attachment 5 to this report. In relation to the information provided on this checklist, the following is noted:

- The checklist indicates that the development has a northerly orientation of daytime living/working areas with large windows and minimal windows to the east and west. However, there is only a small portion of glazing to the north (being the office associated with the 'Self Storage Facility'), and the only other significant amount of glazing provided is to the western ground floor facade. However, it is further noted that there will be some passive shading of the glass which will assist in this regard.
- The checklist indicates that low energy technologies will be used, however this is not demonstrated on the plans.
- It is indicated that the development makes use of recyclable materials (eg. timber, glass, cork etc), however it is not clear the extent to which this is the case.

Signage:

It is understood that the proposed signage for the development does not form part of this application and will be the subject of future applications to be submitted to the City for determination.

Joondalup Design Reference Panel:

The JDRP met on 6 November 2014 to discuss the proposal. Overall the Panel were concerned about the nature of the land use and the design of the building in the proposed location on the main street of the District Centre. The key points raised by the Panel and the applicant's response are provided below:

- Queried the rear wall and whether it was a concrete tilt. It was felt that the blank walls would be a target and create and issue with graffiti. The Panel were advised that the north facing wall would not be accessible to the public as it would be a secure area. Regarding the rear wall, the Panel were advised that there would be landscaping located to the rear of the lot and that previous issues with graffiti in the area had reduced, however, that they would be ready to repaint the wall whenever graffiti occurred. The Panel stated that the three metre landscaping strip proposed was not adequate to address the blank wall and that the issue would need to be addressed through this application.

  Applicant's response:

  This is a minor management issue for the building owner/tenant.

  It will be appropriately addressed through a combination of landscaping selection (eg. thick hedge planting between the trees to make the area inaccessible), anti-graffiti coating and a repainting program, installation of surveillance cameras/lighting and fencing treatment to secure the area.

Both the cinema and Woolworths components of the centre comprise large expanses of wall that is 'unsecured' and therefore potentially prone to graffiti. The centre owner has advised that these areas have not had any graffiti incidents for almost 2 years.

- The Panel queried the type of tenancies proposed. The Panel were advised that one tenancy will be used for the self storage business and the other tenancy will potentially be used by the gym that is located across the road.
- The Panel noted that this type of use is not permitted within a District Centre and queried how the applicant will deal with it. The Panel were advised that the City will need to assess the development application as a use not listed, and that under DPS2 the proposal would need to be assessed on its merits.

  Applicant's response:

  The comment by the Panel that the self storage use is "not permitted" is incorrect.

  As the City has noted, self storage is to be considered as a use not listed, as required by the City's scheme and previous applications for other self storage development within the City of Joondalup. Furthermore Scheme Amendment No. 65 proposes to introduce 'Self Storage Facility' as a discretionary land use within the 'Business' Zone, so clearly it is a contemplated use that can be considered appropriate within the zone and the subject site.

- The Panel queried the parking arrangement and whether it would be shared. The Panel were advised that a parking needs assessment has been completed and that the site would be self sufficient and meet the parking requirements of its clients.

  Applicant's response:

  Noted. A Transport Assessment has been prepared by Shawmac to address the car parking proposed.

- The Panel expressed concern regarding the potential overshadowing of this proposal onto the neighbouring community centre.

  Applicant's response:

  Any development on the subject site in accordance with the structure plan provisions would result in overshadowing of the neighbouring community centre.

  The neighbouring community centre is unlikely to be adversely affected by any overshadowing given its design and siting on the site. It is built to the northern boundary (with no windows) for the front portion of the building, and is then provided with a solid masonry boundary wall for the remainder, with minimal setbacks to the north. Therefore the existing boundary wall already causes overshadowing of the neighbouring community centre.

- The Panel reiterated their concern regarding the blank walls, in particular that they could be a target for graffiti.

Applicant's response:

As per response above.

- The Panel expressed concerns regarding the location of the development on the main street and adjoining public open space within a District Centre. The Panel felt that a self storage land use was not appropriate in a District Centre and that the built form did not deliver the required activation of the main street or the public open space.

  Applicant's response:

  The development provides a highly activated ground floor use, to both the main street frontage, and the return to the front setback area of the neighbouring community centre, with the commercial tenancy, potentially as a gym. This use comprises the majority of the ground level frontage, and the self storage use will be occurring behind this, away from the main street.

  It is not feasible for the building to provide an active frontage to both the main street, and the public open space to the rear, given the significant level differences across the site and the commercial necessity to provide level floor plates.

City Comment:

The City shares a number of the concerns raised by the JDRP, particularly in relation to the height and scale of the building, the large blank facades, and the amount of shadow that will be cast over the adjoining community centre building. Furthermore, the proposed land use is considered not to be appropriate for the proposed location on the main street of the District Centre.

<u>Options/Alternatives</u>

Not applicable

Council Recommendation:

The application was not presented to Council for a recommendation.

Conclusion:

The proposed development is considered not to satisfy the relevant objectives of the CDCSP and DPS2, for reasons relating primarily to the design and appearance of the proposed building, and the proposed land use 'Self Storage Facility'.

As a result of both this proposed land use and the proposed overall building design the desired level of activation of, and interaction with, the main street is considered not to be achieved.

Notwithstanding the extent of glazing proposed to the 'Showroom'/'Recreation Centre' tenancy, the proposed building design is also considered not to meet the high standards of main street built form that the CDCSP requires for this area.

As such it is recommended that the application be refused.

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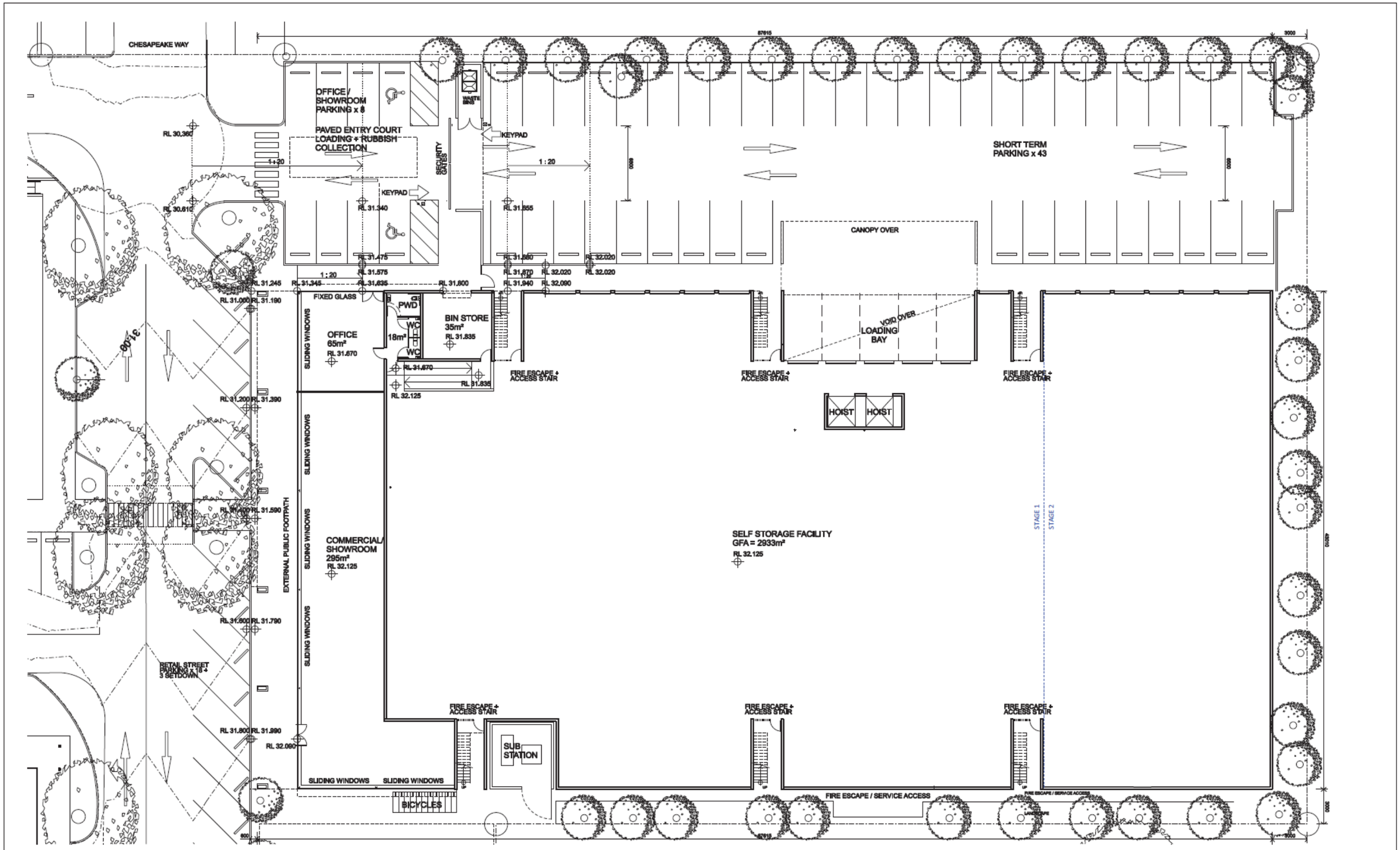

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02	CLIENT REVIEW		25.11.2011
03	DIMS ADDED		12.12.2011
04	COUNCIL REVIEW PRELIM		16.02.2012
05	COUNCIL MEETING		20.02.2012
06	BIN STORE RELOCATED		17.07.2014
07	CLIENT REVIEW		04.08.2014
08	CLIENT REVIEW		21.08.2014
09	CLIENT REVIEW		10.09.2014
10	CLIENT REVIEW		13.09.2014

Keyplan

Northpoint: North

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Original Scale at A1: 0 1 2 3 4 5 10

Project: **CURRAMBINE MARKET REDEVELOPMENT**

Client: **LANDSIDE PARTNERS**

Drawing Title: **PRECINCT 4 PLANS - GROUND LEVEL**

Drawn: AS | Date: 21.08.11 | Proj. Director: | Date:
Proj. Architect: | Date: | Co-ordinated: | Date:
Cad File: | Scale: 1:100 @ A1, 1:200 @ A3 | Project No: 100005
Drawing Number: AA-4-010 | Revision: 10

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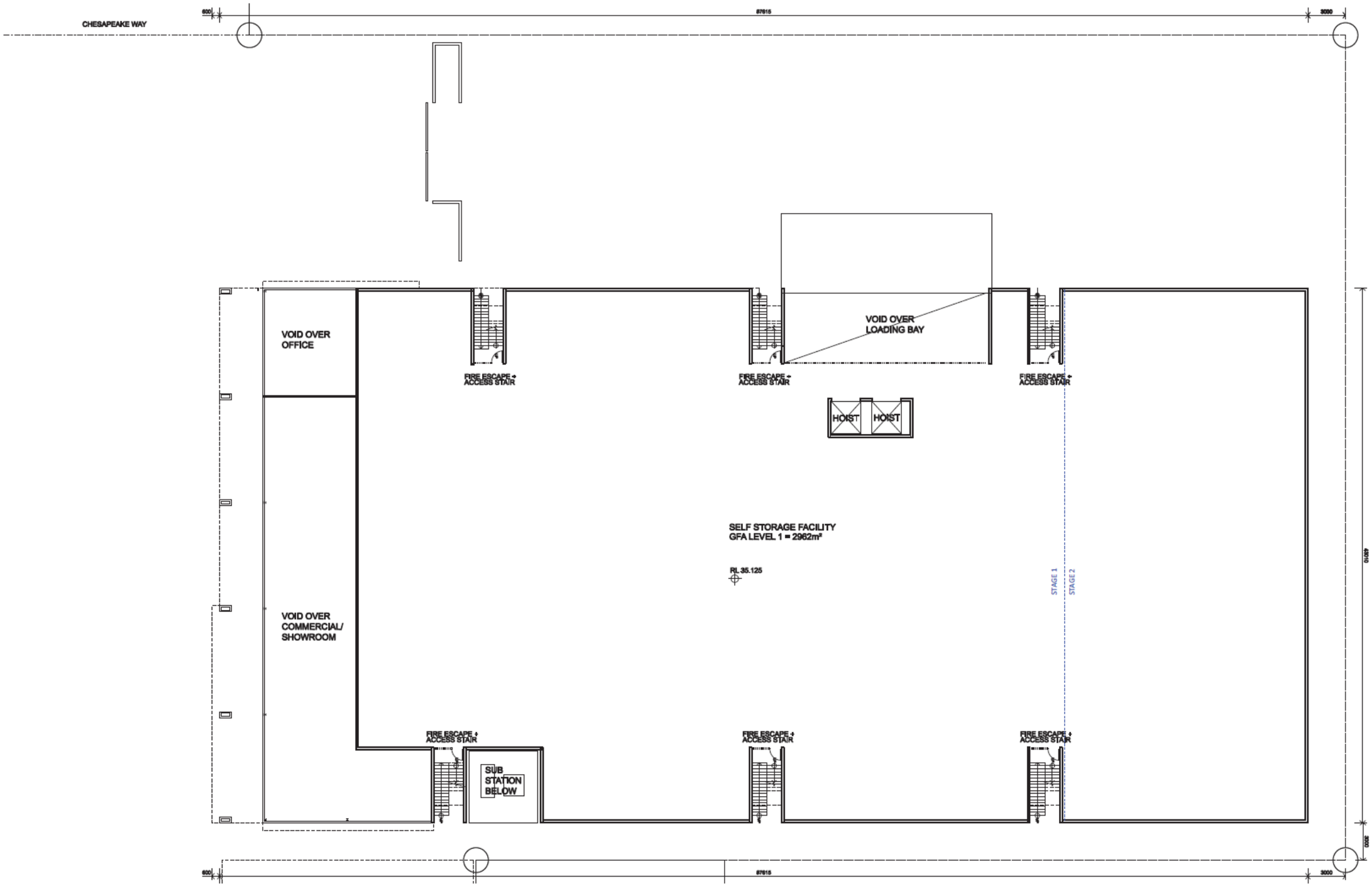

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02	CLIENT REVIEW		25.11.2011	10	CLIENT REVIEW		17.09.2014				
03	DBMS ADDED		12.12.2011								
04	COUNCIL REVIEW PRELIM		18.02.2012								
05	COUNCIL MEETING		20.02.2012								
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07	CLIENT REVIEW		04.08.2014								
08	CLIENT REVIEW		21.08.2014								

Keyplan

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Project: **CURRAMBINE MARKET REDEVELOPMENT**

Client: **LANDSIDE PARTNERS**

Drawing Title: **PRECINCT 4 PLANS - LEVEL 1**

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Drawing Number: AA-4-011			Revision: 10

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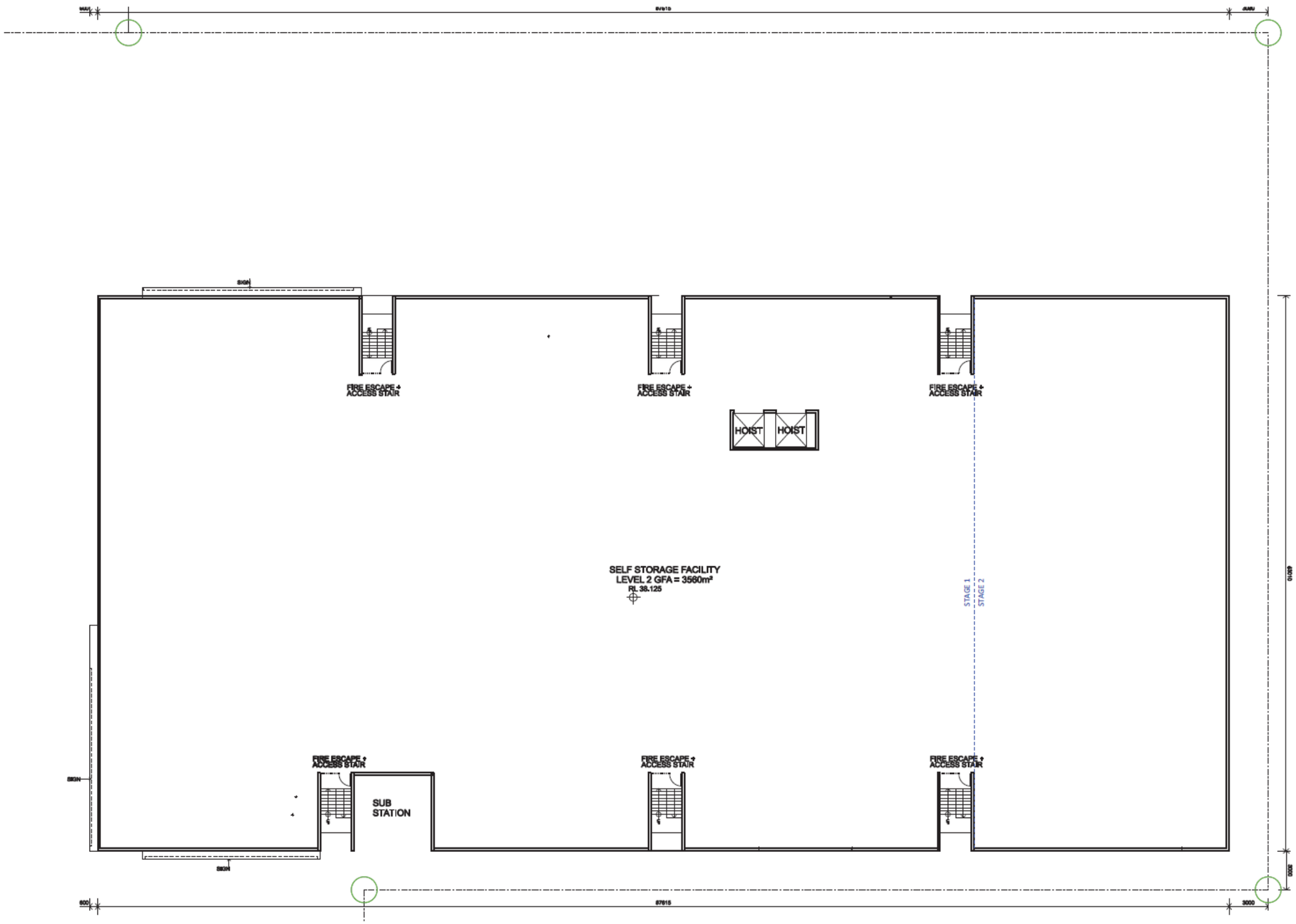

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07	CLIENT REVIEW		04.08.2014
08	CLIENT REVIEW		21.08.2014
09	CLIENT REVIEW		13.09.2014

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Drawing Title: **PRECINCT 4 PLANS - LEVEL 2**

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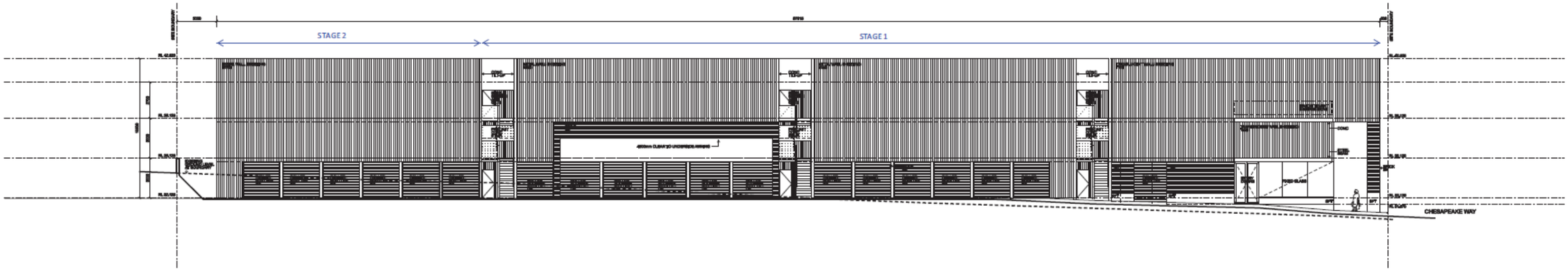
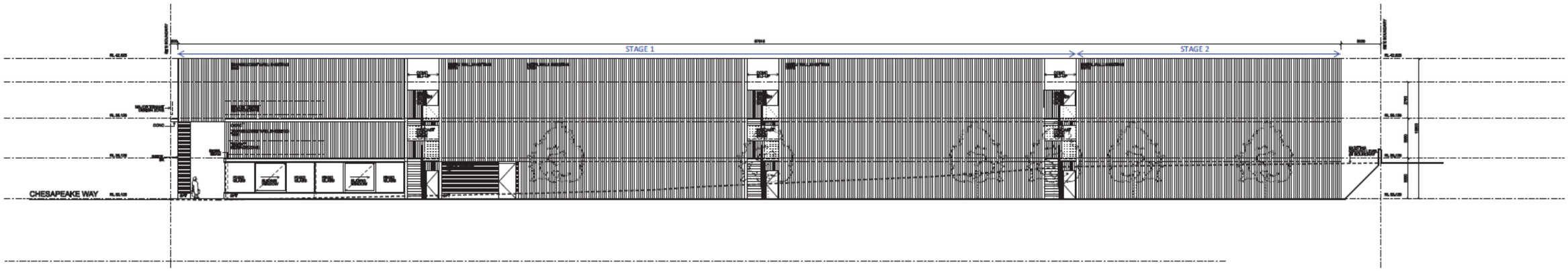


01 ELEVATION - NORTH



02 ELEVATION - SOUTH

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02	COUNCIL REVIEW PRELIMINARY		18.02.2012
03	CLIENT REVIEW		21.06.2014
04	CLIENT REVIEW		13.09.2014
05	GLAZING AMENDED		17.09.2014

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Project
CURRAMBINE MARKET REDEVELOPMENT

Client
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Drawing Title
PRECINCT 4 ELEVATIONS - NORTH & SOUTH

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Proj. Architect: IR / AS	Date: 15.11.11	Co-ordinated:	Date:
Cad File:		Scale: 1:150 @ A1	Project No: 100005
Drawing Number: AA-4-201			Revision: 05

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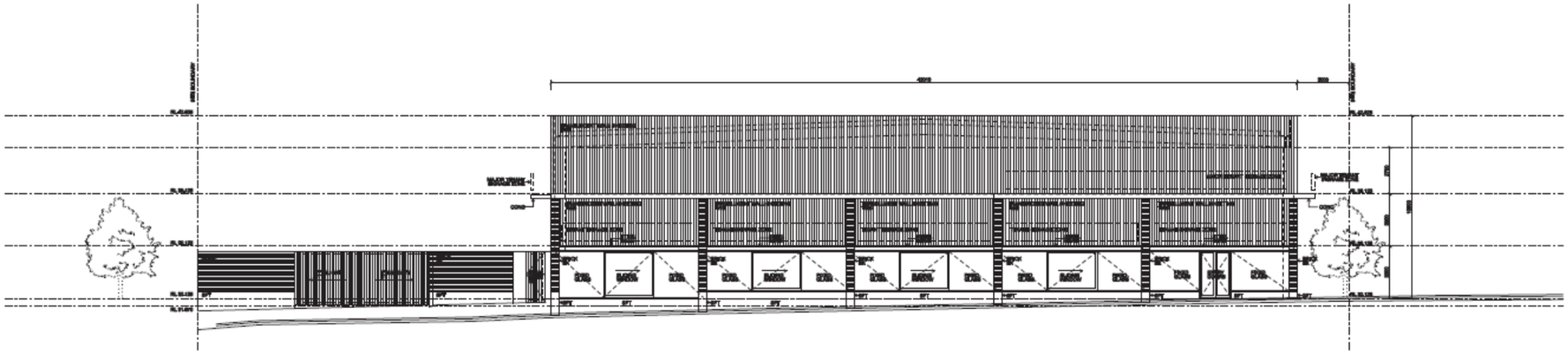

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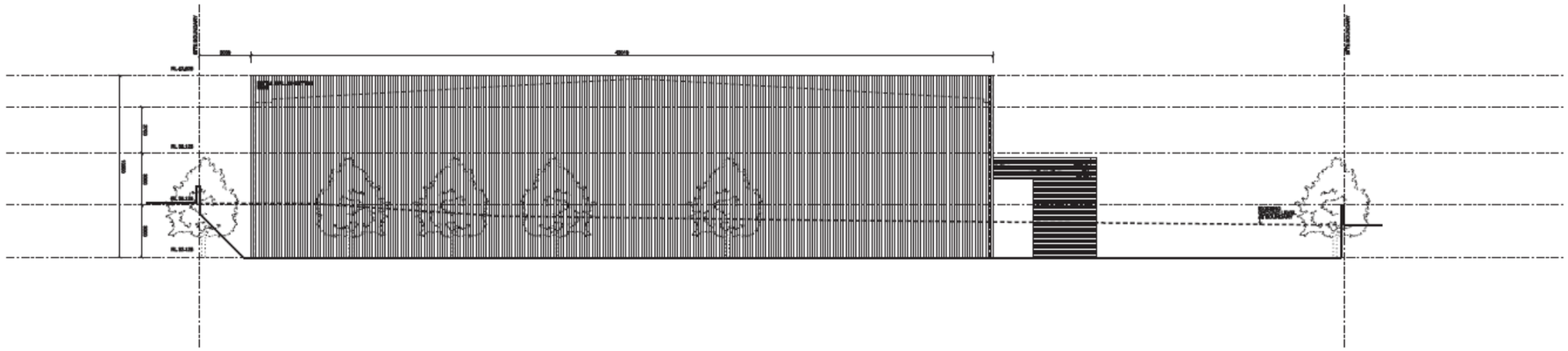

02 ELEVATION - EAST

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03	CLIENT REVIEW		13.09.2014
04	GLAZING AMENDED		17.09.2014

Keyplan

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Original Scale at A1:
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Project
CURRAMBINE MARKET REDEVELOPMENT

Client
LANDSIDE PARTNERS

Drawing Title
PRECINCT 4 ELEVATIONS - EAST & WEST

Drawn: AS	Date: 21.08.14	Proj. Director:	Date:
Proj. Architect: AS / IR	Date: 15.11.11	Co-ordinated:	Date:
Cad File:		Scale: 1:150 @ A1	Project No: 100005
Drawing Number: AA-4-202			Revision: 04

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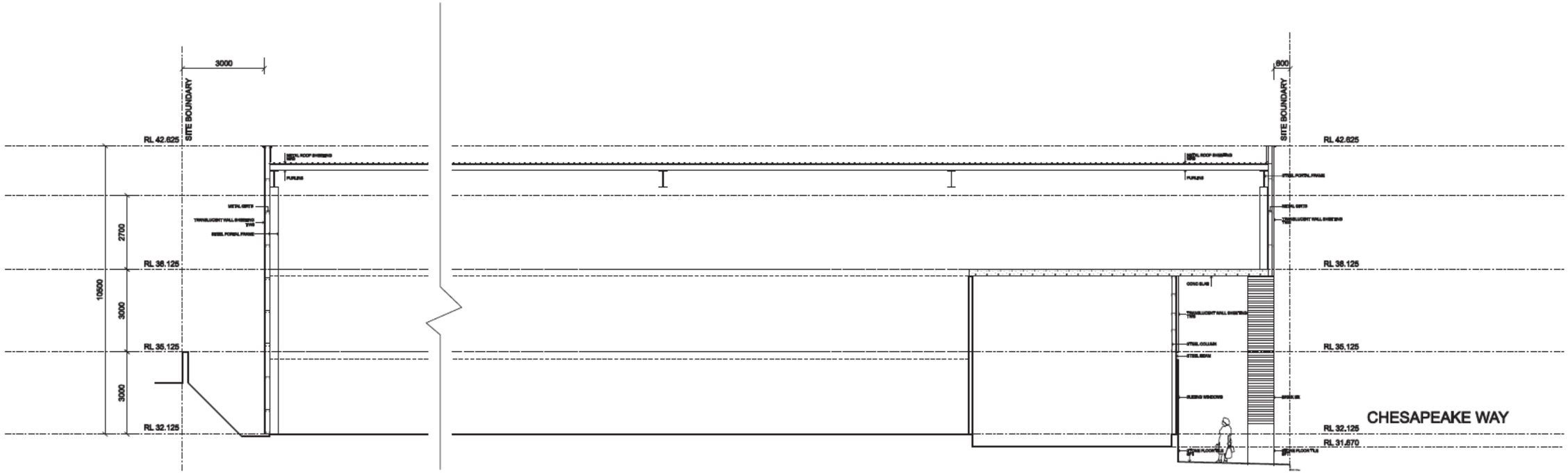

01 SECTION EAST-WEST

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Rev	Description	By	Date
01	CLIENT REVIEW		18.02.2012
02	CLIENT REVIEW		21.08.2014
03	CLIENT REVIEW		13.09.2014
04	GLAZING AMENDED		17.09.2014

Keyplan

Northpoint

Document Control Status
PRELIMINARY
NOT FOR CONSTRUCTION

Original Scale at A1:
0 1 2 3 4 5

Project
CURRAMBINE MARKET REDEVELOPMENT

Client
LANDSIDE PARTNERS

Drawing Title
PRECINCT 4 SECTIONS - EAST-WEST

Drawn: AS	Date: 21.08.14	Proj. Director:	Date:
Proj. Architect: IR / AS	Date: 15.11.11	Co-ordinated:	Date:
Cad File:		Scale: 1:100 @ A0 1:200 @ A1	Project No: 100005
Drawing Number: AA-4-302			Revision: 04

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PERSPECTIVE - NORTH WEST

PERSPECTIVE - SOUTH WEST

View of Development from Delamere Avenue

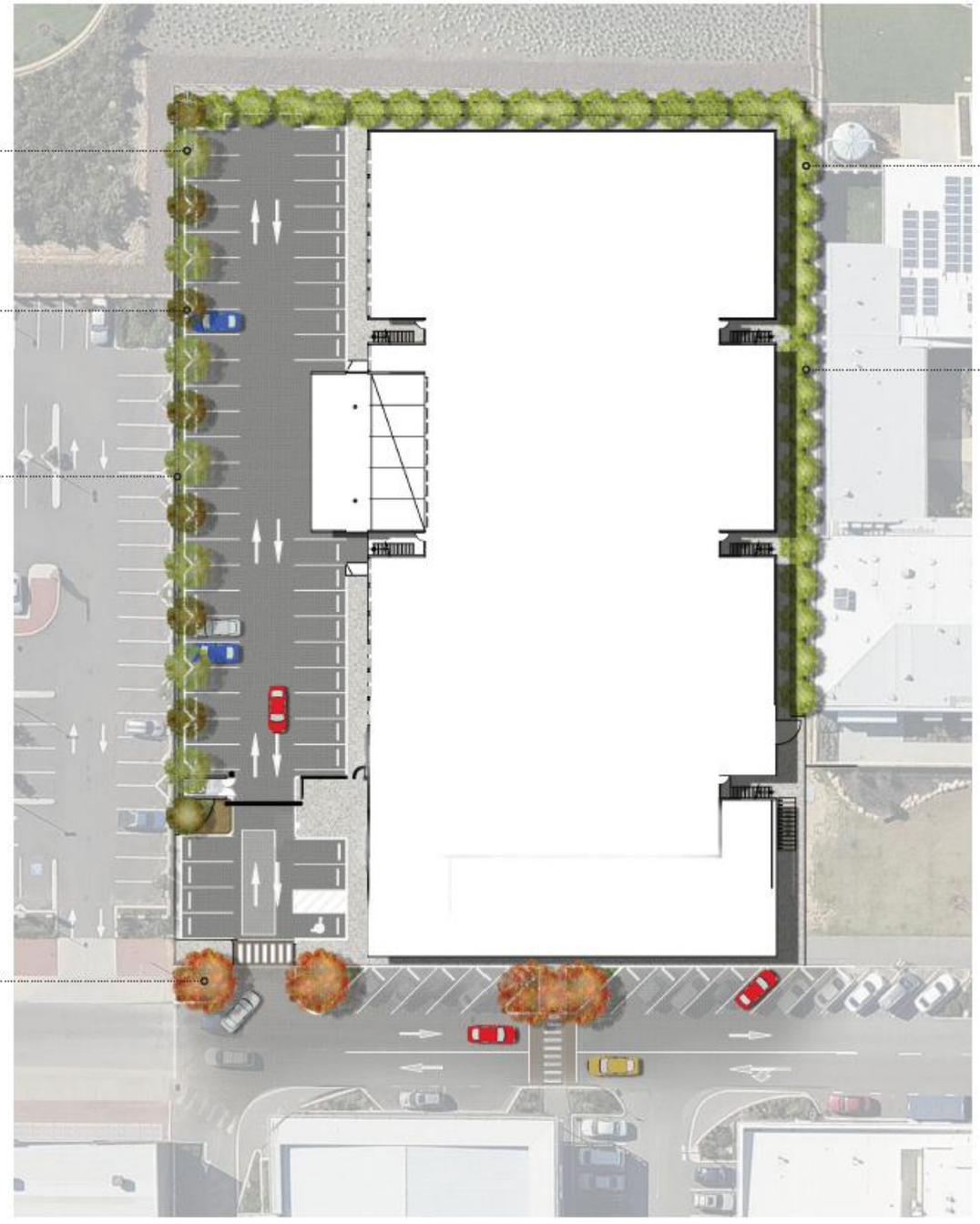
Landscape concept plan

Eucalyptus victrix 'Snow Queen'

Eucalyptus torquata

Fraxinus griffithii

Pyrus calleryana, Chanticleer



Liriope muscari 'Just Right'

Lepidosperma gladiatum

Pimelea furruginea

Grevillea juniperina 'Gold cluster'

Olearia axillaris 'Little Silver'

dwg • XX-XX-XX
date • SEPT 2014
rev • a
scale • 1:500 @ A3

0 10 20 m

CURRAMBINE SELF STORAGE

CONCEPT MASTERPLAN

emerge ASSOCIATES
Integrated Science & Design

MATERIALS SCHEDULE

CODE	ITEM	PRODUCT	COLOUR/ FINISH	SUPPLIER
BK	face brick	Austral Bricks - Bowral range - dry pressed solid brick - mixed size to match existing - 50 x 230 x 110/ 75 x 230 x110	Charolais Cream / paint finish PF3	Austral Bricks
CONC	concrete	off-form /precast concrete	steel trowel / class 2 / paint finish PF3	
GL	fixed glass	clear glass to AS 2047 and AS 1288 with black satin powdercoat aluminium frame	clear	G. James
INS	thermal insulation	Tontine "Insuloft " polyester insulation		Tontine Fibres
FC	fibre cement	9mm flushset fibre cement	paint finish PF2	James Hardie
FL	flashing	folded colorbond flashings. refer details for size and quantity.	colorbond "surfmist"	Lysaght
MRS	Metal roof sheeting	lysaght "Spandek" roof sheeting	colorbond "surfmist"	
MWS	Metal wall sheeting	lysaght "Longline" roof sheeting	colorbond "surfmist"	
SAR	sarking	CSR "thermofoil" (or similar)		CSR (07) 3875 9600
SFT	stone floor tile	italian porphry stone paver		
ST	steel	fabricated mild steel - refer details for section sizes	paint finsih PF1	
TWS	Translucent wall sheeting	translucent opal fibre glass sheet backlit with linear LED light fittings mounted to framing	opal BB305 profile	Alsynite (02) 9890 9922

PAINT FINISHES SCHEDULE

PF1	Steel Paint	International Paint - Interthane 870 (semi gloss) with Interplus 356 primer	black	AkzoNobel
PF2	Acrylic paint	Dulux low sheen acrylic	Natural White	Dulux
PF3	clear sealant	Dry Treat Stainproof Penetrating Sealer (or similar to approved sample)	clear low shen	Dry Treat

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Rev	Description	By	Date
A	CLIENT REVIEW	AS	25.09.14

Keyplan

Northpoint: North

Document Control Status: FOR CONSTRUCTION

Original Scale at A1:

Project: CURRAMBINE MARKET REDEVELOPMENT

Client: RAY WHITE INVEST

Drawing Title: PRECINCT 4 - SCHEDULES

Drawn: | Date: | Proj. Director: | Date:
Proj. Architect: | Date: | Co-ordinated: | Date:
Cad File: | Scale: | Project No: 100005
Drawing Number: AA-4-000 | Revision: A

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City of Joondalup

Environmentally Sustainable Design – Checklist

Under the City's planning policy, *Environmentally Sustainable Design in the City of Joondalup*, the City encourages the integration of environmentally sustainable design principles into the construction of all new residential, commercial and mixed-use buildings and redevelopments (excluding single and grouped dwellings, internal fit outs and minor extensions) in the City of Joondalup.

Environmentally sustainable design is an approach that considers each building project from a 'whole-of-life' perspective, from the initial planning to eventual decommissioning. There are five fundamental principles of environmentally sustainable design, including: siting and structure design efficiency; energy efficiency; water efficiency; materials efficiency; and indoor air quality enhancement.

For detailed information on each of the items below, please refer to the *Your Home Technical Manual* at: **www.yourhome.gov.au**, and *Energy Smart Homes* at: **www.clean.energy.wa.gov.au**.

This checklist must be submitted with the planning application for all new residential, commercial and mixed-use buildings and redevelopments (excluding single and grouped dwellings, internal fit outs and minor extensions) in the City of Joondalup.

The City will seek to prioritise the assessment of your planning application and the associated building application if you can demonstrate that the development has been designed and assessed against a national recognised rating tool.

Please tick the boxes below that are applicable to your development.

Siting and structure design efficiency

Environmentally sustainable design seeks to affect siting and structure design efficiency through site selection, and passive solar design.

Does your development retain:

- ○ existing vegetation; and/or
- ○ natural landforms and topography

Does your development include:

- ☒ northerly orientation of daytime living/working areas with large windows, and minimal windows to the east and west
- ☒ passive shading of glass
- ☒ sufficient thermal mass in building materials for storing heat
- ☒ insulation and draught sealing
- ☒ floor plan zoning based on water and heating needs and the supply of hot water; and/or
- ○ advanced glazing solutions

Energy efficiency

Environmentally sustainable design aims to reduce energy use through energy efficiency measures that can include the use of renewable energy and low energy technologies.

Do you intend to incorporate into your development:

- ○ renewable energy technologies (e.g. photo-voltaic cells, wind generator system, etc); and/or
- ⊗ low energy technologies (e.g. energy efficient lighting, energy efficient heating and cooling, etc); and/or
- ○ natural and/or fan forced ventilation

Water efficiency

Environmentally sustainable design aims to reduce water use through effective water conservation measures and water recycling. This can include stormwater management, water reuse, rainwater tanks, and water efficient technologies.

Does your development include:

- ○ water reuse system(s) (e.g. greywater reuse system); and/or
- ○ rainwater tank(s)

Do you intend to incorporate into your development:

- ⊗ water efficient technologies (e.g. dual-flush toilets, water efficient showerheads, etc)

Materials efficiency

Environmentally sustainable design aims to use materials efficiently in the construction of a building. Consideration is given to the lifecycle of materials and the processes adopted to extract, process and transport them to the site. Wherever possible, materials should be locally sourced and reused on-site.

Does your development make use of:

- ○ recycled materials (e.g. recycled timber, recycled metal, etc)
- ○ rapidly renewable materials (e.g. bamboo, cork, linoleum, etc); and/or
- ⊗ recyclable materials (e.g. timber, glass, cork, etc)
- ○ natural/living materials such as roof gardens and "green" or planted walls

Indoor air quality enhancement

Environmentally sustainable design aims to enhance the quality of air in buildings, by reducing volatile organic compounds (VOCs) and other air impurities such as microbial contaminants.

Do you intend to incorporate into your development:

- ○ low-VOC products (e.g. paints, adhesives, carpet, etc)

'Green' Rating

Has your proposed development been designed and assessed against a nationally recognised "green" rating tool?

- ○ Yes
- ⊗ No

If yes, please indicate which tool was used and what rating your building will achieve:

_____

_____

_____

If yes, please attach appropriate documentation to demonstrate this assessment.

If you have not incorporated or do not intend to incorporate any of the principles of environmentally sustainable design into your development, can you tell us why:

Is there anything else you wish to tell us about how you will be incorporating the principles of environmentally sustainable design into your development:

When you have checked off your checklist, sign below to verify you have included all the information necessary to determine your application.

Thank you for completing this checklist to ensure your application is processed as quickly as possible.

Applicant's Full Name: Dan Lees (TPG Town Planning, Urban Design and Heritage) **Contact Number:** 9289 8300

Applicant's Signature: _____ **Date Submitted:** 15/10/2014

Accepting Officer's Signature: _____

Checklist Issued: March 2011

Assessment against DPS2 (Business Zone)

3.6 - The Business Zone

3.6.1 The Business Zone is intended to accommodate wholesaling, retail warehouses, showrooms and trade and professional services and small scale complementary and incidental retailing uses, as well as providing for retail and commercial business which require large areas such as bulky goods and category/them based retail outlets that provide for the needs of the community but which due to their nature are generally not appropriate to, or cannot be accommodated in a commercial area.

The objectives of the Business Zone are to:

(a) Provide for retail and commercial businesses which require large areas such as bulky goods and category/theme based retail outlets as well as complementary business services.
(b) Ensure that development within this zone creates an attractive facade to the street for the visual amenity of surrounding areas.

	Standard	**Proposed**	**Complies**
3.6.2 (a)	Buildings shall be set back a minimum of 6m from the street boundary. A lesser setback may be encouraged where location and design issues would make this appropriate.	Refer structure plan setback requirements below.	Not applicable
3.6.2 (b)	Setbacks to side and rear boundaries shall comply with the Building Code of Australia	Within the building envelope shown in the structure plan	Not applicable
3.6.2 (c)	With the exception of lots around which authorised screen walls have been erected, landscaping to the satisfaction of Council shall be planted and maintained by the owners on all portions of the property not covered by approved buildings, storage areas, accessways or parking areas (notwithstanding that shade trees shall be planted and maintained by the owners in car parking areas to the Council's satisfaction). Owners shall establish and maintain landscaping to Council's satisfaction on adjoining street verges.	Landscaping plan indicates that this will be the case.	Yes
3.6.2 (d)	Screen walls 1.8 metres high to a specification provided by and to the satisfaction of the council shall be provided to screen the rear access of all lots where necessary to	No adjoining residential lot(s)	Not applicable

	protect the amenity of adjoining residential lots.		
3.6.2 (e)	Provisions relating to building construction:		
(i)	Every building shall have a facade of brick, plate glass or other approved material to all street frontages.	See schedule of materials and finishes – does not fully accord with this clause	No
(ii)	Where under the BCA metal clad walls are permitted, they must have a factory applied painted finish to the satisfaction of the City Building Surveyor.	Colorbond surfmist	Yes

Assessment against the Currambine District Centre Structure Plan

8.2.1 (Business Zone)

The general objectives of the Business Area are:

i. To create an active focus for the community with a diversity of non-retail main street uses that generate day and evening activity.
ii. To allow appropriate businesses to locate and develop in close proximity to residential areas for the convenience of the community.
iii. Encourage high standards of 'Main Street' built form and an active edge to create an attractive façade to vehicle and pedestrian routes providing visual amenity and interaction.
iv. Provide efficient vehicle access and circulation with pedestrian priority.
v. Encourage a high level of passive surveillance of public and private spaces.

8.2.2 Criteria

	Standard	**Proposed**	**Complies**
i	The provisions of the Business Zone in the Scheme shall apply to this area.	See scheme assessment above.	No
ii	The design criteria of the Commercial Area are to be applied to development	See commercial area assessment below	No
iii	All buildings within the Business Zone that front Delamere Avenue...	Development does not front Delamere Avenue	Not applicable

8.1.2 Criteria (Commercial Area)

	Standard	**Proposed**	**Complies**
i	The provisions of the Commercial Zone in the scheme shall apply to this area unless otherwise specified in this section	Business Zone provisions apply in this instance	Not applicable
ii	Urban Edges (as shown on the	Urban Edge (front) set	Yes

	development plan) are to be zero setback other than for minor recesses of up to 1.5 metres deep and a maximum of 2 metres long.	back at nil with no recesses	
iii	Non urban edges of the building (as shown on the development plan) may fall anywhere within the building envelope indicated on the same plan.	Non urban edges (rear and part of southern side of development) located within building envelope	Yes
iv	Urban and non urban edges of buildings shall be designed to have active frontages towards vehicle and pedestrian routes and at grade parking areas with continuous awnings and/or colonnades along these frontages to give pedestrians protection from the weather.	Awning at front of building towards Chesapeake way. No awning to non-urban edge adjoining Delamere Park, or along the facade adjoining the at grade parking area.	No
v	There shall be no blank facades to the building other than where the building directly abuts another building or a loading bay.	Completely blank facade facing towards Delamere Park (eastern facade) Blank facades above ground floor on all other sides. 75% of southern facade, and >75% of northern facade are also blank in their entirety.	No
vi	Loading bays are to be located away from the urban edge and are to be no more than 15 metres wide or otherwise located in a service yard away from areas of pedestrian use.	Loading bay(s) located away from the urban edge. Width of 17 metres – partly located away from areas of pedestrian use, but not within a service yard. Bin store loading located in close proximity to Urban Edge	No
vii	Building facades shall be two storeys high or equivalent parapet height to create a human scaled street and an urban edge to the street boundary. Design should give the impression of a habitable upper floor even if such a floor is not created as leasable area.	Proposed building is three storeys high. Building design does not give the impression of a habitable upper floor, even though the area is in fact leasable.	No
viii	Where a development area fronts a mall and a street, tenancies shall interface and integrate with both frontages. However, a single tenancy shall not interface with both a pedestrian mall and a street	The proposed development does not front a mall	Not applicable

	except those tenancies at the end of a development area, subject to pedestrian access being provided from at least two of the three building facades.		
ix	Other than for areas of blank facade allowed for under previous clauses, building frontages are to comprise a minimum 70% of windows and visually permeable doors. Window sills shall be set no less than 600mm from the ground floor level, open shop fronts are encouraged.	Rear (east) – 0% Front (west) – 23.5% Side (south) – 3.5% Side (north) – 2.5% Window sills – minimum ~400mm above ngl	No
x	Access and circulation shall reinforce the creation of sub blocks akin to a fine grain town centre. Urban edges and non urban edges may include breaks for vehicle access up to 15 metres wide. These shall be no closer than 40 metres apart.	Total width of break in urban edge for vehicle access and car parking is 20.2 metres. Width of access alone is ~6.8m. Tavern crossover is approximately 6.3 metres from the common boundary. This means the separation between the two will be approximately 12.4 metres.	No
xi	A continuous footpath (3 metres minimum) shall be provided along the building edge other than where a loading bay abuts the building or vehicle crossover is present.	No footpath provided to the rear of the building, or to the majority of the southern side of the building.	No
xii	Car parking areas shall be designed to provide pedestrian paths separate from vehicle flow at a rate of one path every 40 metres. The paths shall be aligned with the predominant pedestrian flow direction.	Pedestrian path provided along northern side of building as per xi above. Note, no crossing points provided.	Yes
xiii	The car park shall be designed to ensure slow speeds. Lengths of road exceeding 50 metres shall incorporate speed control devices such as minor level changes.	Car park is ~70 metres in length and does not incorporate speed control devices	No
xiv	Car park landscaping requirements shall be in accordance with the scheme	See scheme assessment below.	Yes
xv	The tree species shall be such that it has a high branch tree stem to allow surveillance and visibility of shop fronts and a large canopy to	Tree species are considered appropriate.	Yes

	achieve adequate shading of car parking areas and west facing portions of building. Planting of natives is preferable however they must meet this criteria.		
xvi	Publically accessible space shall be provided in accordance with the development plan allowing for some variation in shape and exact location. Additional landscape space beyond required footpaths, pedestrian street, and the plazas is not required.	No publically accessible space required on this site.	Not applicable
xvii	The open pedestrian street shall be no less than 8 metres wide and neither plaza less than 15 metres.	No change in street or plaza widths proposed as a result of this application.	Not applicable
xviii	Service areas, bins and material storage areas and services such as air conditioners, compressors and other machinery shall be located away from public areas and screened from view from streets and public areas by an enclosure in the style and material of the building.	All building plant and services will be screened from public view. Bin store is enclosed and therefore will generally not be visible from the public realm.	Yes
xix	Roof mounted mechanical equipment, if required, shall be screened from view by the roof form or parapet walls.	Applicant has advised no roof mounted equipment.	Not applicable
xx	Buildings and all streets, parks and parking areas shall be well lit to encourage safe use after hours with light spill into neighbouring residential areas minimised.	Applicant has advised will be appropriately lit.	Yes
xxi	Convenient, safe and direct pedestrian access shall be provided throughout the area as an extension to the 3 metres footpath required along Urban and non-urban edges.	The existing 3 metre wide footpath along the building frontage is to be retained. Path at rear of Delamere Park not impacted.	Not applicable
xxii	Security bollards shall not conflict with pedestrian flow.	No security bollards proposed in pedestrian realm	Not applicable
xxiii	Security shutters (if required) shall be visually permeable and retractable.	No security shutters are proposed. Noted that roller shutters/doors along northern facade are not visually permeable.	Not applicable

Government of **Western Australia**
Development Assessment Panels

Form 2 - Responsible Authority Report

(Regulation 17)

Property Location:	Lot 3801 (1001) Joondalup Drive, BANKSIA GROVE
Application Details:	Drive-through Food Outlet
DAP Name:	Metro North-West JDAP
Applicant:	TPG Town Planning
Owner:	Coles Group Property Dev Ltd
LG Reference:	DA2014/2124
Responsible Authority:	City of Wanneroo
Authorising Officer:	Mark Dickson Acting Director, Planning and Sustainability
Department of Planning File No:	DAP/14/00180
Report Date:	24 December 2014
Application Receipt Date:	6 November 2014
Application Process Days:	34 days
Attachment(s):	**Attachment 1** DA2013/223 approval letter and plans **Attachment 2** DA2014/275 approval letter and plans **Attachment 3** DA2014/626 approval letter and plans **Attachment 4** DA2014/1499 approval letter and plans **Attachment 5** **5a** SK07 Site location plan **5b** SK02 Tenancy site plan **5c** SK03 Floor plan **5d** SK04 Front and entry elevations **5e** Drive thru and rear elevations **5f** Signage details **5g** Drive thru tunnel plan and elevations **Attachment 6** Schedule of Submissions

Officer Recommendation:

That the Metro North-West Joint Development Assessment Panel resolves to:

1. **Approve** that the DAP Application reference DAP/14/00/180 as detailed on the DAP Form 2 dated 7 November 2014 is appropriate for consideration in accordance with regulation 17 of the *Planning and Development (Development Assessment Panels) Regulations 2011*;

2. **Approve** the DAP Application reference DAP/14/00/180 as detailed on the DAP Form 2 date 7 November 2014 and all plans provided in **Attachment 5**)

in accordance with the provisions of the City of Wanneroo District Planning Scheme and the Metropolitan Region Scheme, for the proposed minor amendment to the approved Banksia Grove Town Centre (Stage 1) at Lot 3801 (1001) Joondalup Drive, Banksia Grove, subject to:

Amended Conditions

1. Tenancies within the proposed development shall accord with the following land uses and their corresponding definitions under the City of Wanneroo District Planning Scheme No. 2:

   Plan A9.01
   - T01, T04-T06, T12 and T17 – 'Shop';
   - T02 – 'Liquor Store';
   - T03 – 'Bank';
   - T07-T11 – Take-Away Food Outlet and 'Restaurant';
   - T16 – 'Medical Centre'; and
   - M28 and M29 – Take-Away Food Outlet.

   Plan DA03
   - T01 – Drive Through Food Outlet;
   - T02 – Drive Through Food Outlet; and
   - Fuel Station: – 'Convenience Store'

New conditions

1. The elevations provided on Plans SK04 and SK05 (**Attachments 5d** and **5e respectively)**, dated 14 November 2014 shall supersede the elevations provided for tenancy T02 on Plan DA11 dated May 2013 (**Attachment 1**).

2. Detailed landscaping and reticulation plans for the Drive Through Food Outlet shall be submitted for approval by the City within 60 days of the date of this approval. Planting and installation shall be in accordance with the approved plans and shall be complete prior to the occupation of the development and thereafter maintained to the satisfaction of the City.

3. Signage shall be in accordance with the approved plans (**Attachments 5a, 5b, 5d, 5e and 5f**. The applicant/landowner shall ensure that any boxing or casing which encloses the signs shall be constructed of incombustible materials, shall not comprise of flashing, pulsating, chasing or running lights and shall not have such intensity as to cause annoyance to the public or illuminate beyond the extent of the lot boundaries.

Advice Notes

i All other conditions and requirements detailed on the previous approvals dated 10 June 2013, 22 May 2014, 7 August 2014 and 21 October 2014 shall remain unless altered by this application.

ii The applicant/owner is advised to contact the City's Regulatory Services Unit on 9405 5000 to discuss requirements for a Sign Licence, prior to the erection of any signage approved as part of this application.

Background:

Insert Property Address:	Lot 3801 (1001) Joondalup Drive, Banksia Grove
Insert Zoning MRS:	Urban
DPS 2: ASP 65:	Urban Development Commercial
Insert Use Class:	Drive Through Food Outlet
Insert Lot Size:	5.63 hectares
Insert Existing Land Use:	Shopping Centre, Convenience Store, Drive Through Food Outlet (under construction)
Value of Development:	$12,000,000 (Stage 1 Banksia Grove Town Centre)

On 30 May 2013, the Metro North-West Joint Development Assessment Panel (JDAP) conditionally approved an application for the Banksia Grove Town Centre (Stage 1). The centre incorporated a supermarket and several speciality retail and commercial tenancies. The DA2013/223 approval letter, along with the approved site plan, floor plan and elevations is provided as **Attachment 1**.

On 13 May 2014, the JDAP conditionally approved an application to amend DA2013/223 by modifying the number, layout and use of tenancies, and to modify condition d) to allow the legal agreement to be secured by a bank guarantee. The DA2014/275 approval letter, along with the approved site plan and elevations is provided as **Attachment 2**.

On 28 July 2014, the JDAP conditionally approved an application for a Change of Use for tenancy T01 from Take-Away Food Outlet to Drive Through Food Outlet. A copy of the DA2014/626 approval letter, along with the approved site plan, floor plans and elevations is provided as **Attachment 3**.

On 15 October 2014, the JDAP conditionally approved an application for modifications to an approved Convenience Store. A copy of the DA2014/1149 approval letter, along with the approved site plan is provided as **Attachment 4**.

Details: outline of development application

The proposed amendment to the Banskia Grove Town Centre (Stage 1) seeks to modify condition b) of the DA2014/626 approval (which amended condition b of the original DA2013/223 Stage 1 application), to change the land use permitted in tenancy T02 as depicted on DA01 (**Attachment 1**) from a Take Away Food Outlet to a Drive Through Food Outlet.

The Drive Through Food Outlet will comprise of the following elements:

- Indoor and outdoor dining areas with a 50 seat capacity;
- Drive through facility;
- Kitchen, preparation and storage areas;
- Bathroom facilities; and
- Parking for 19 vehicles (plus ability for 9 vehicles within the drive through facility).

In addition, the proposed amendment seeks to replace the approved elevation for tenancy T02 as depicted on DA11 (refer to **Attachment 1** for currently approved

elevations) and modify the layout of the parking area approved through the original Stage 1 application.

A site plan, floor plan, elevations and signage detail for the proposed development are provided in **Attachment 5**.

A Drive Through Food Outlet is an 'A' (discretionary, subject to advertising) land use within the Retail Core of the Banksia Grove Town Centre.

Legislation & policy:

Legislation

Metropolitan Region Scheme
City of Wanneroo District Planning Scheme No. 2
Banksia Grove District Centre Local Structure Plan No. 65 (ASP 65)

State Planning Policies

State Planning Policy 4.2: Activity Centres for Perth and Peel

Local Planning Policies

Local Planning Policy 3.2: Activity Centres
Signs Local Planning Policy

Consultation:

Public Consultation

DPS 2 requires the City to undertake public notice for 'A' land uses in accordance with Part 6.7 of DPS 2, which states one or more of the following may be undertaken:

- Advertisement in a newspaper circulating in the district for a period of not less than 3 weeks;
- A sign or signs erected on the subject land for a period of not less than 3 weeks;
- Any other methods or media to ensure widespread notice of the proposal; and
- Notice to ratepayers and/or occupiers likely to be affected by granting of any approval for a period of not less than 3 weeks.

The proposal was advertised by way of letters to 33 property owners immediately opposite or adjacent to the development site. The consultation period to nearby property owners was from 18 November 2014 to 10 December 2014. In addition, a sign was erected on the subject lot, and notification was placed in the *North Coast Times, Sun City News, Wanneroo Times* and on the City's website.

At the close of advertising four submissions were received. The main issues raised by submitters related to noise, traffic, odour and whether another Drive Through Food Outlet is necessary. A Schedule of Submissions containing a summary of the issues raised in the submissions and Administration's response is provided as **Attachment 6**.

Planning assessment:

An assessment of the subject application has been carried out against the provisions of the City's DPS 2, ASP 65 and Signs Local Planning Policy (SLPP). It is considered that the application generally accords with the requirements of these documents with the exception of minor variations to the SLPP. The change of use and minor variations to the SLPP are discussed in detail below.

It is noted that whilst the application proposes to modify the car park layout surrounding tenancy T02 it will not affect the number of car parking bays being provided.

Change of Use

A Drive Through Food Outlet is a Take-Away Food Outlet which also permits the sale of food directly to persons in motor vehicles. Therefore, the only distinguishable difference between the currently approved use and proposed use is the drive through component. Administration is of the view that a Drive Through Food Outlet is an appropriate use in the Commercial zone and within a Town Centre environment and capable of approval in this location.

Signage

The applicant has submitted a Signage Strategy for approval as part of this application and seeks two variations to the SLPP. The SLPP permits one wall sign per street frontage to a maximum size of $8m^2$, however, it is proposed to provide two wall signs on both the front and entry elevations (please refer to **Attachment 5d**). The combined size of the two walls signs on each elevation is $4.63m^2$. Administration considers the variation is minor and capable of approval given that the combined size of the two wall signs is less than the prescribed limit for a single wall sign.

In addition, the SLPP does not permit signs to protrude above the top of the roof. It is proposed that a sign on the rear elevation (please refer to **Attachment 5d**) protrudes 0.75 metre above the roof line. Administration is of the view this variation is minor and will not detract from the development or the amenity of the locality and is therefore capable of being supported.

Conclusion:

The proposed modification to the approved Banksia Grove Town Centre (Stage 1) has been assessed against the provisions of the City's DPS 2 and ASP 65. The proposal generally complies with the development standards and is considered to be satisfactory. It is therefore recommended that the modified proposal be approved subject to conditions.

Approved by Author: _____ Date: _____

Approved by Coordinator: _____ Date: _____

Approved by Manager: _____ Date: _____

A/Director Comments: _____

_____

_____

_____

_____

_____

Signed: _____ Date: _____

Attachment 1

Government of **Western Australia**
Development Assessment Panels

COPY

LG Ref: DA2013/223
DoP Ref: DP/13/00180
Enquiries: Development Assessment Panels
Telephone: (08) 6551 9919

Mr Chris Harman
TPG Town Planning, Urban Design and Heritage
P O Box 7375
Cloisters Square WA 6850

Dear Mr Harman

Metro North-West JDAP – City of Wanneroo – DAP Application DA2013/223
Lot 3801 (1001) Joondalup Drive, Banksia Grove
Banksia Grove Town Centre (Stage 1)

Thank you for your application and plans submitted to the City of Wanneroo on 27 February 2013 for the above development at the above mentioned site.

This application was considered by the Metro North-West JDAP at its meeting held on Thursday 30 May 2013, where in accordance with the provisions of the City of Wanneroo Town Planning Scheme No.6, it was resolved to approve the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, a DAP Form 2 application may be made to amend or cancel this planning approval in accordance with Regulation 17 of the Development Assessment Panel Regulations 2011.

Also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. An application must be made within 28 days of the determination in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any enquiries in respect to the conditions of approval please contact Mr Ben Hesketh at the City of Wanneroo on 9405 5073.

Yours sincerely

DAP Secretariat

10 / 6 /2013

Encl. DAP Determination Notice
Approved plans

Cc: Mr Ben Hesketh
City of Wanneroo
Locked Bag 1
Wanneroo WA 6946

City Of Wanneroo IM 13/6/2013

Government of **Western Australia**
Development Assessment Panels

Planning and Development Act 2005

City of Wanneroo Town Planning Scheme No.6

Metro North-West JDAP

Determination on Development Assessment Panel Application for Planning Approval

Location: Lot 3801 (1001) Joondalup Drive, Banksia Grove
Description of proposed Development: Banksia Grove Town Centre (Stage 1)

In accordance with Regulation 8 of the *Development Assessment Panels Regulations 2011*, the above application for planning approval was **granted** on Thursday, 30 May 2013, subject to the following resolution and conditions:

That the Metro North-West Joint Development Assessment Panel resolves to:

Approve DAP Application reference DA2013/223 and accompanying plans DA03a (Feb 2013); DA06a (dated February 2013); DA07a (dated February 2013); and DA11a (dated May 2013) and the revised Intersection Layout FIG. 3 provided, in accordance with the provisions of the Metropolitan Region Scheme and City of Wanneroo District Planning Scheme No. 2, subject to compliance with the following conditions to the satisfaction of the Manager, Planning Implementation:

a) Revised plans of the development shall be lodged with, and to the satisfaction of, the City for its approval prior to the commencement of development, which address the following matters:

   i) The proposed full access driveway at Joondalup Drive being redesigned to delete the right-turn out movement;

   ii) The proposed 'take-away food outlet' indicated as T02 on approved site plan (DA03a) being redesigned so as to locate the proposed loading bay away from the pedestrian walkway;

   iii) The southern elevation of the main shopping centre being provided with additional glazing, materials, cladding, colours or other design treatments to improve its presentation to the public realm; and

   iv) The 'feature entry canopies' on the eastern elevation of the main shopping centre building being redesigned so as to increase their scale and prominence within the development.

b) Tenancies within the proposed development shall accord with the following land uses and their corresponding definitions under the City of Wanneroo District Planning Scheme No.2:

   Plan DA03:

   - T01 and T02: 'take-away food outlet'; and

City Of Wanneroo IM 13/6/2013

- Fuel Station: 'convenience store'.

Plan DA06:

- T01, T04, T05 and T11-19: 'shop';
- T02: 'liquor store';
- T03: 'bank';
- T06: 'office';
- T07, T08, K1 and K2: 'take-away food outlet';
- T09 and T10: 'consulting room'; and
- T20: 'restaurant'.

A change in use from that outlined above will require the approval of the City.

c) Detailed engineering drawings of the proposed access treatments and driveways at Pinjar Road and Joondalup Drive, including any modifications required to those roads to accommodate those treatments, shall be lodged with the City for its approval prior to the commencement of development. The access treatments and driveways shall be thereafter constructed in accordance with the approved drawings at the absolute cost of the proponent.

d) The proponent entering into a legal agreement with the City of Wanneroo prior to the commencement of operation of any uses on the subject lot, to ensure that the proposed accesses at Pinjar Road and Joondalup Drive are redesigned and constructed as left-in, left-out accesses only at the proponent's cost, once alternative access to the subject site is available from the future eastward extension of Golf Links Drive between Pinjar Road and Joondalup Drive through the adjoining lot to the north. The legal agreement is to be prepared at the proponent's cost to the satisfaction and specification of the City of Wanneroo and is to be secured by way of a caveat in the City's favour on the title of the subject lot.

e) The proposed access treatments to Pinjar Road and Joondalup Drive shall be redesigned and constructed as left-in, left-out accesses only once alternative vehicular access to the site is available from the future eastward extension of Golf Links Drive between Pinjar Road and Joondalup Drive through the adjoining lot to the north. Detailed drawings of this connection and accompanying vehicle swept path movements shall be lodged with the City for its approval prior to the works commencing and the works shall thereafter be carried out in accordance with those drawings and maintained to the City's satisfaction and specification.

f) Any verge infrastructure that is damaged or requires modification as a result of the proposed development shall be reinstated or rectified to the satisfaction of the City of Wanneroo and at the absolute cost of the proponent.

g) The existing bus embayment and associated infrastructure on Joondalup Drive shall be relocated to a suitable location in consultation with the Public Transport Authority and the City of Wanneroo, at the absolute cost of the proponent.

h) Parking areas, driveways, and points of ingress and egress shall be designed and constructed in accordance with the Australian Standard for Off-street Car Parking (AS 2890) and shall be drained, sealed and marked.

City Of Wanneroo IM 13/6/2013

i) The parking areas and associated access indicated on the approved plans shall not be used for the purpose of storage or obstructed in any way at any time, without the prior written approval of the City.

j) Provision of at least one shopping trolley collection area for each two rows of car bays in a mid block location. The shopping trolley collection areas shall be designed sufficient to contain the trolleys, protect them from damage by vehicles and be sign posted for easy identification by shoppers.

k) Disabled parking bays shall be provided in accordance with the National Construction Code and designed in accordance with AS 2890.6 – 2009.

l) Lighting shall be installed along all driveways and pedestrian pathways and in all common service areas prior to the development first being occupied.

m) The design levels of the proposed development shall be coordinated with those of the future extension of Golf Links Drive.

n) The landowner shall enter into an easement in gross in favour of the public at large pursuant to Section 196 of the Land Administration Act. The easement shall cover areas generally identified as car parking, vehicle accessways and pedestrian paths. The easement shall be registered on the title of the subject land prior to the development first being occupied. All costs associated with the preparation of the easement shall be met by the proponent.

o) All pedestrian pathways are to be connected into an existing or proposed path network and shall be constructed prior to the development first being occupied and where in private property, thereafter maintained to the satisfaction of the City.

p) Detailed landscaping, reticulation and street furniture plans, for the subject site and adjacent road verges, shall be lodged for approval by the City prior to the commencement of development. Planting and installation shall be in accordance with the approved landscaping and reticulation plans, and thereafter maintained by the landowner to the City's satisfaction.

q) A schedule of material colours and finishes of all external faces of the development shall be submitted prior to construction commencing. Unless otherwise approved by the City, the building shall be in accordance with that schedule.

r) An Urban Water Management Plan (UWMP) shall be submitted to the City for its approval prior to the commencement of development. The UWMP shall, amongst other matters, demonstrate how the development will maximise the efficient use of wastewater and harvested water and minimise pollutant inputs through structural and non-structural source controls.

s) A waste management plan shall be submitted to the City for its approval prior to the commencement of development, depicting collection areas and demonstrating how collection vehicles will manoeuvre on the internal access ways of the development. Collection vehicle movements shall thereafter accord with the approved management plan.

City Of Wanneroo IM 13/6/2013

t) An energy efficiency plan, demonstrating initiatives to reduce energy requirements and emissions, shall be provided to the City for its approval prior to the commencement of development.

u) An acoustic consultant's report is to be provided for the City's approval, prior to the commencement of the development. This report is to indicate the anticipated sound level measurements for all types of noise associated with the development indicating plant and equipment noise as well as noise associated with operational activities. The report must also indicate any specific requirements that are needed to ensure noise emissions comply with the Environmental Protection (Noise) Regulation 1997. Upon approval of that report by the City, any modifications required to the development as a result of its recommendations, shall be made to the City's satisfaction.

v) A on site stormwater drainage system, sufficient to contain a 1:100 year storm event (over 24 hours) must be provided. Plans illustrating the system proposed shall be submitted for approval when application is made for a building licence and the system shall be installed during the construction of the development.

w) All piped and wired services, mechanical plant, equipment and service and storage areas are to be screened from public view to the City's satisfaction. Relative to this condition, details of such screening shall be submitted to the City for approval prior to the commencement of development.

x) This approval does not relate to any signage being erected on site. A signage strategy for the development shall be submitted to the City for its approval prior to the erection of any signage on site. Signage erected on site shall thereafter comply with the approved signage strategy.

y) Where the angle of natural repose of the land cannot be maintained, retaining walls must be provided in accordance with plans that have been certified by a practising structural engineer. Relative to this condition, details of any retaining walls proposed within the development shall be lodged with the City for its approval prior to the commencement of development.

z) A non-sacrificial anti-graffiti coating shall be applied to external shopping centre walls or other measures taken to the satisfaction of the City. In the event of any graffiti being applied to the development, steps are to be taken to remove it as soon as is reasonably possible to the City's satisfaction.

aa) The proponent and its contractors shall implement appropriate dust and sand drift control measures on site in accordance with Department of Environmental Protection Guidelines. Disturbed areas shall be stabilised on completion of development and thereafter maintained.

bb) This approval is valid for a period of two years from the date of approval. If the subject development is not substantially commenced within the two year period, the approval shall lapse and be of no further effect.

Advice Notes

a) This is a planning approval only and is issued under the City of Wanneroo's District Planning Scheme No. 2 and the Metropolitan Region Scheme. It is the proponent's responsibility to comply with all other applicable legislation and

City Of Wanneroo IM 13/6/2013

obtain all required approvals, licences and permits prior to commencement of this development.

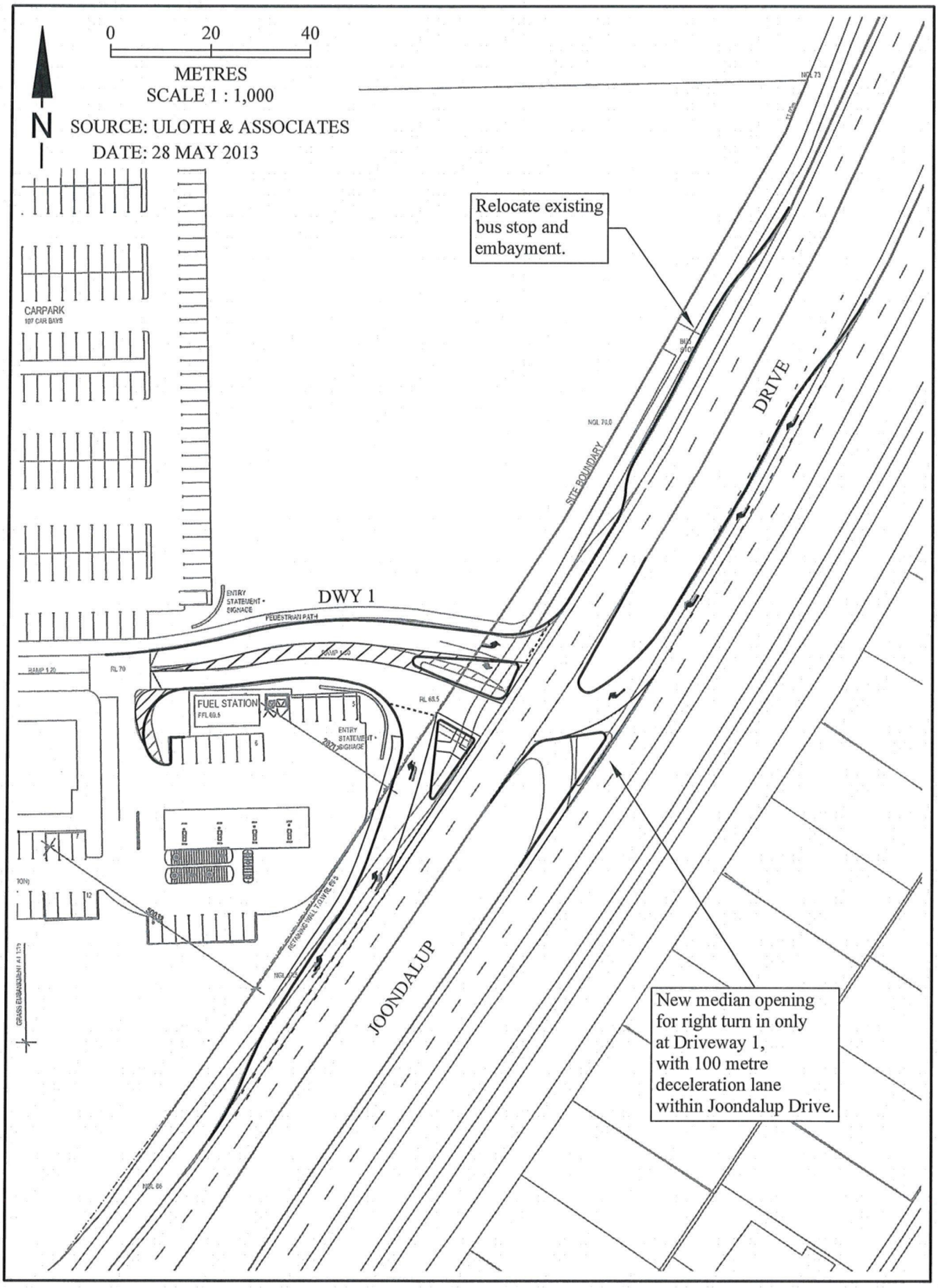
b) This planning approval does not take into account any restrictive covenants. It is the proponent's responsibility to ensure that the development will not result in a conflict of contractual obligations.

c) Application must be made for, and a licence to erect a sign obtained, from the City prior to any sign being erected.

d) Car bay grades are generally not to exceed 6% and disabled bays are to have a maximum grade of 2.5%.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) of the *Development Assessment Panel Regulations 2011*.

City Of Wanneroo IM 13/6/2013



Revised Intersection Layout

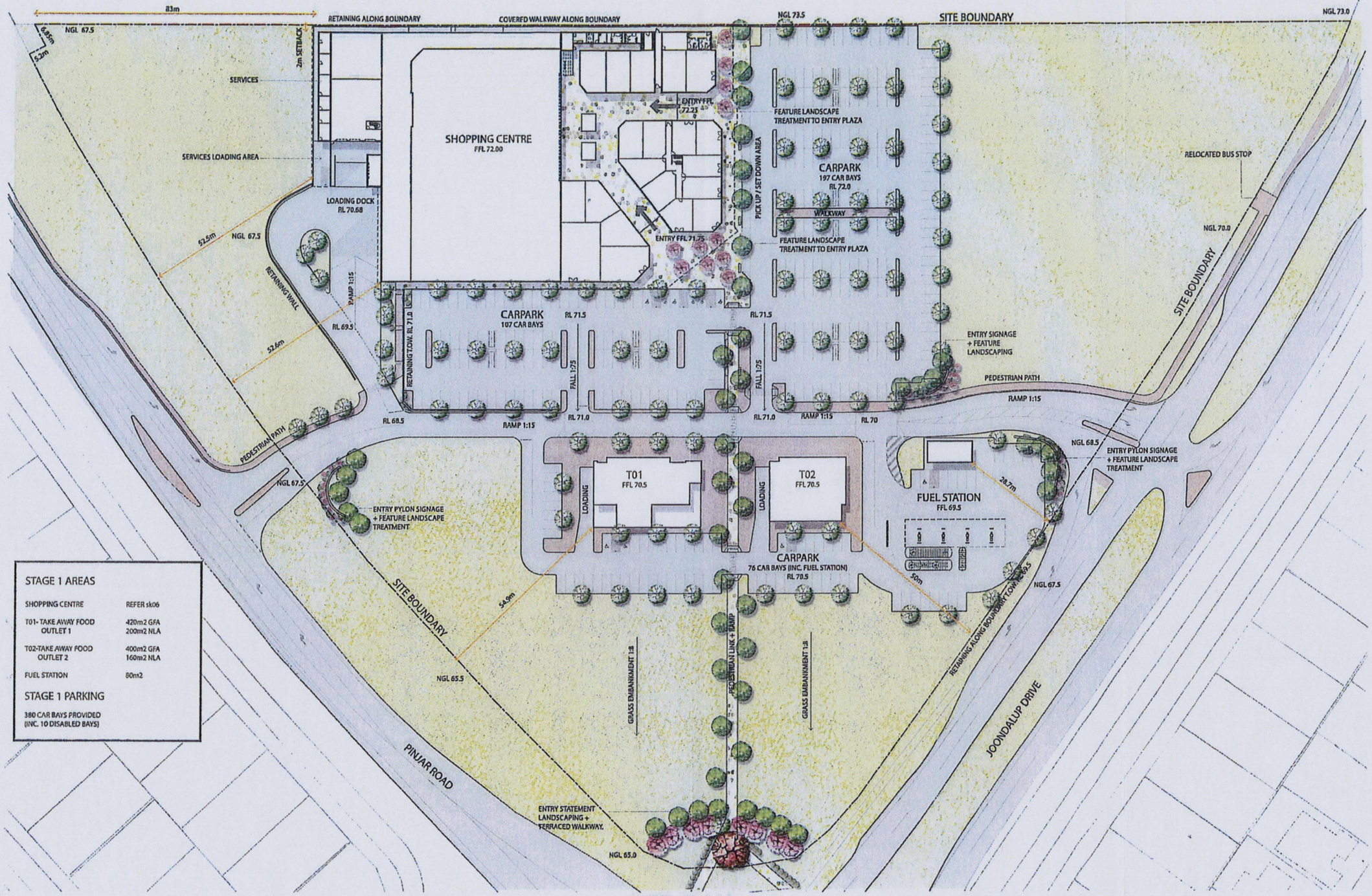
JOONDALUP DRIVE - DRIVEWAY 1

FIG. 3

DEVELOPMENT ASSESSMENT PANELS
30 MAY 2013
APPROVED

City Of Wanneroo IM 13/6/2013

Attachment 3



STAGE 1 AREAS

SHOPPING CENTRE	REFER sk06
T01- TAKE AWAY FOOD OUTLET 1	420m2 GFA 200m2 NLA
T02-TAKE AWAY FOOD OUTLET 2	400m2 GFA 160m2 NLA
FUEL STATION	80m2

STAGE 1 PARKING

380 CAR BAYS PROVIDED (INC. 10 DISABLED BAYS)

SITE PLAN

BANKSIA GROVE VILLAGE

Development Application

TAYLOROBINSON

1259

DA03

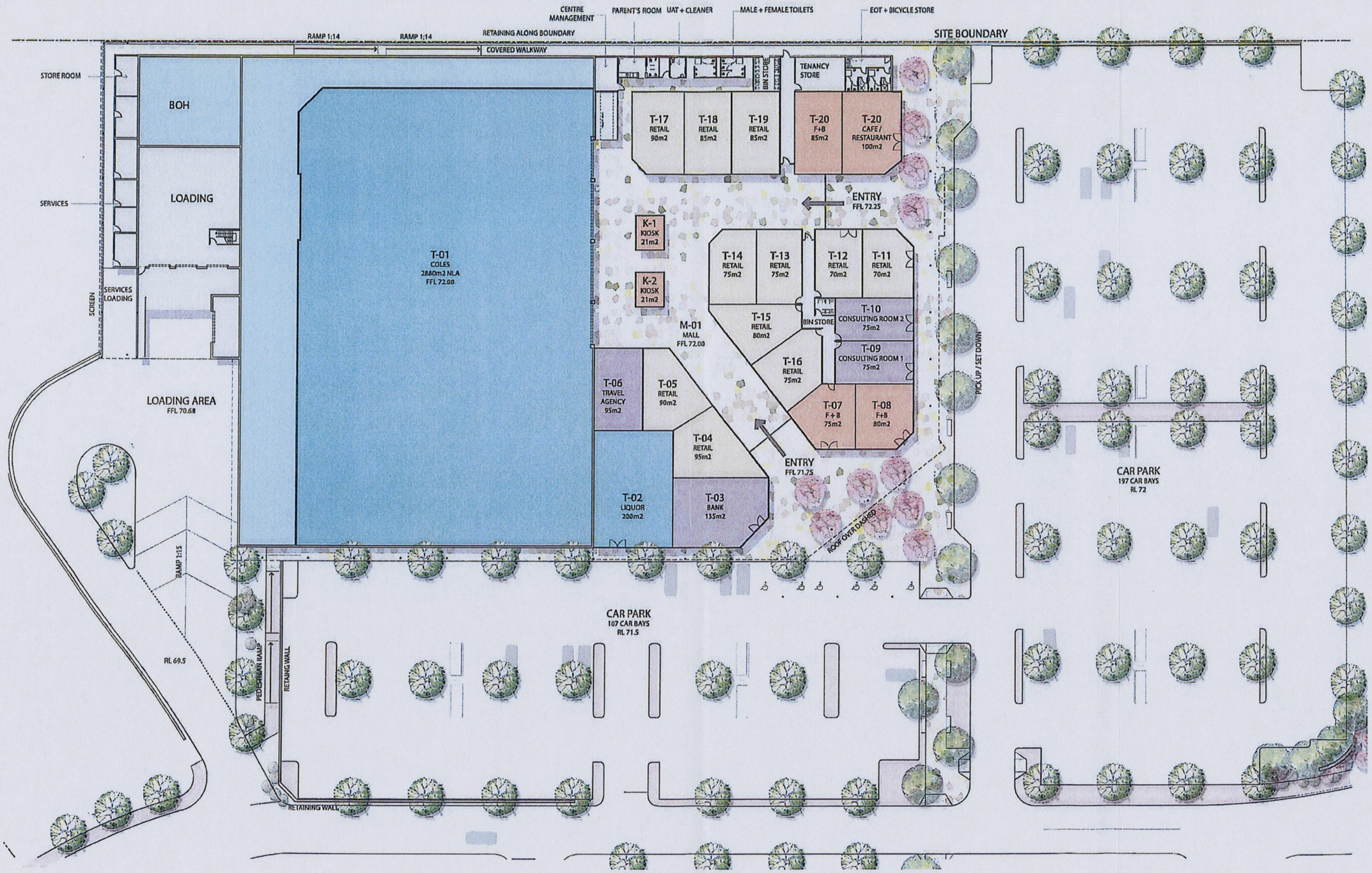
a

DEVELOPMENT ASSESSMENT PANELS

30 MAY 2013

APPROVED

City Of Wanneroo IM 13/6/2013



FLOOR PLAN

BANKSIA GROVE VILLAGE

Cnr Joondalup Dr + Pinjar Rd
Development Application

TAYLOROBINSON
www.taylorobinson.com.au

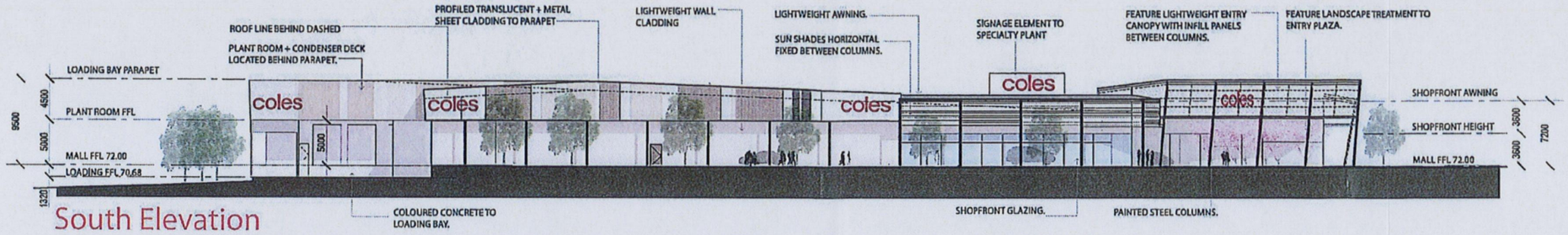
234 railway pde.
west leederville
T 08 9388 6111
F 08 9388 6177

1:500@A3 / 1:250@A1
1259
feb 2013
tr

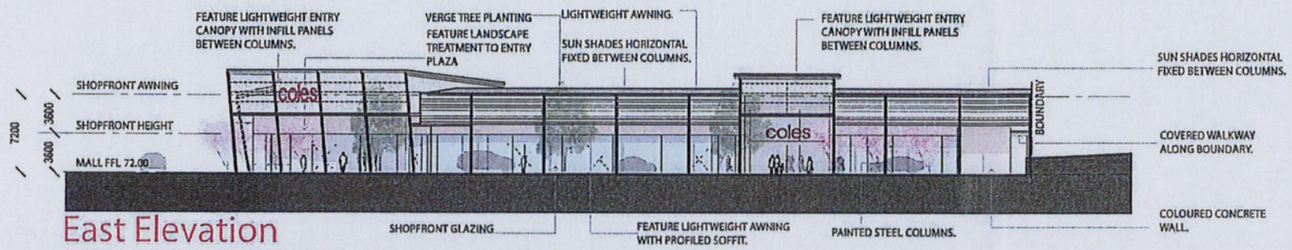
a
DA06

DEVELOPMENT ASSESSMENT PANELS
30 MAY 2013
APPROVED

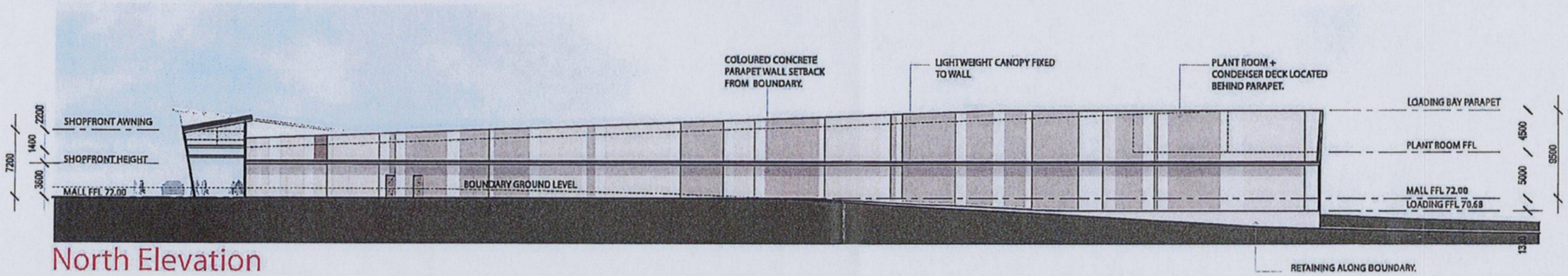
City of Wanneroo IM 13/6/2013



South Elevation



East Elevation



North Elevation

West Elevation

OVERALL ELEVATIONS
BANKSIA GROVE VILLAGE
Cnr Joondalup Dr + Pinjar Rd
Development Application

TAYLOROBINSON
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1:500@A3 / 1:250 @A1
1259
feb 2013
tr

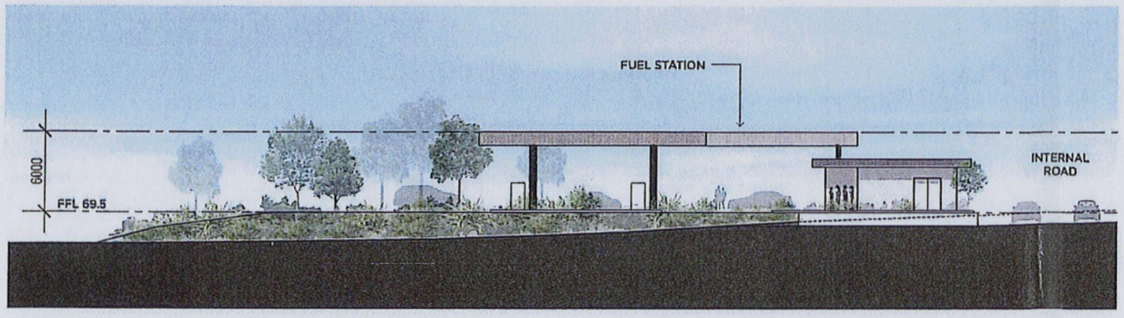
DA07 a

DEVELOPMENT ASSESSMENT PANELS
30 MAY 2013
APPROVED

City Of Wanneroo IM 13/6/2013

South Elevation

North Elevation



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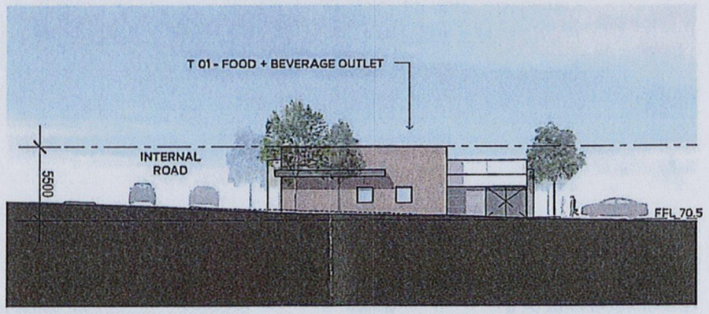

West Elevation

PAD SITE ELEVATIONS

BANKSIA GROVE VILLAGE

Cnr Joondalup Dr + Pinjar Rd
Amendment to Development Application

TAYLORROBINSON
www.taylorrobinson.com.au

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west leederville
T 08 9388 6111
F 08 9388 6177

1:400 @ A3 / 1:200 @ A1
1259
may 2013
tr

DA11 a

DEVELOPMENT ASSESSMENT PANELS
30 MAY 2013
APPROVED

City Of Wanneroo IM 13/6/2013

Government of **Western Australia**
Development Assessment Panels

LG Ref: DA2014/275
DoP Ref: DP/13/00180
Enquiries: Development Assessment Panels
Telephone: (08) 6551 9919

Mr Chris Harman
TPG
PO Box 7375
Cloisters Square WA 6000

Dear Mr Chris Harman

Metro North-West JDAP – City of Wanneroo – DAP Application DA2014/275
Lot 3801 (1001) Joondalup Drive, Banksia Grove
Amendment to Banksia Grove Town Centre (Stage 1) – tenancy layout and use (condition b) and modification to condition d.

Thank you for your application and plans submitted to the City of Wanneroo on 5 March 2014 for the above development at the above mentioned site.

This application was considered by the Metro North-West Joint Development Assessment Panel at its meeting held on 13 May 2014, where in accordance with the provisions of the City of Wanneroo District Planning Scheme No.2, it was resolved to approve the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, a DAP Form 2 application may be made to amend or cancel this planning approval in accordance with Regulation 17 of the Development Assessment Panel Regulations 2011.

Also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. An application must be made within 28 days of the determination in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any enquiries in respect to the conditions of approval please contact Ms Cathrine Temple at the City of Wanneroo on (08) 9405 5073.

Yours sincerely

Richard Rome

DAP Secretariat

22/05/2014

Encl. DAP Determination Notice
Approved plans

Cc: Ms Cathrine Temple
City of Wanneroo
Locked Bag 1
Wanneroo WA 6946

City Of Wanneroo IM 27/5/2014

Planning and Development Act 2005

City of Wanneroo District Planning Scheme No.2

Metro North-West Joint Development Assessment Panel

Determination on Development Assessment Panel Application for Planning Approval

Location: Lot 3801 (1001) Joondalup Drive, Banksia Grove
Description of proposed Development: Amendment to Banksia Grove Town Centre (Stage 1) – tenancy layout and use (condition b) and modification to condition d.

In accordance with Regulation 8 of the *Development Assessment Panels Regulations 2011*, the above application for planning approval was **granted** on 13 May 2014, subject to the following:

1. Accept that the DAP Application reference DP/13/00180 as detailed on the DAP Form 2 dated 5 March 2014 is appropriate for consideration in accordance with regulation 17 of the *Planning and Development (Development Assessment Panels) Regulations 2011*;

2. Approve the DAP Application reference DP/13/00180 as detailed on the DAP Form 2 dated 5 March 2014 and accompanying plans (Plan A9.01 dated 17/3/2014, Elevations dated 12/02/2014) in accordance with the provisions of the Metropolitan Region Scheme and the City of Wanneroo District Planning Scheme No. 2, for the proposed minor amendment to the approved Banksia Grove Town Centre (Stage 1) at Lot 3801 (1001) Joondalup Drive, BANKSIA GROVE, subject to:

Amended Conditions

b) Tenancies within the proposed development shall accord with the following land uses and their corresponding definitions under the City of Wanneroo District Planning Scheme No. 2:

Plan A9.01
- T01, T04-T06, T12 and T17 – 'Shop';
- T02 – 'Liquor Store';
- T03 – 'Bank';
- T07-T11 – 'Take-Away Food Outlet' and 'Restaurant';
- T16 – 'Medical Centre; and
- M28 and M29 – 'Take-Away Food Outlet'.

Plan DA03:
- T01 and T02: 'Take-Away Food Outlet'; and
- Fuel Station: 'Convenience Store'.

d) Satisfactory arrangements being made with the City of Wanneroo prior to any occupancy of the development, to ensure that the proposed accesses at Pinjar Road and Joondalup Drive are redesigned and reconstructed as

City Of Wanneroo IM 27/5/2014

left-in, left-out accesses only at the proponent's cost, once alternative access to the subject site is available from the future eastward extension of Golf Links Drive between Pinjar Road and Joondalup Drive through the adjoining lot to the north.

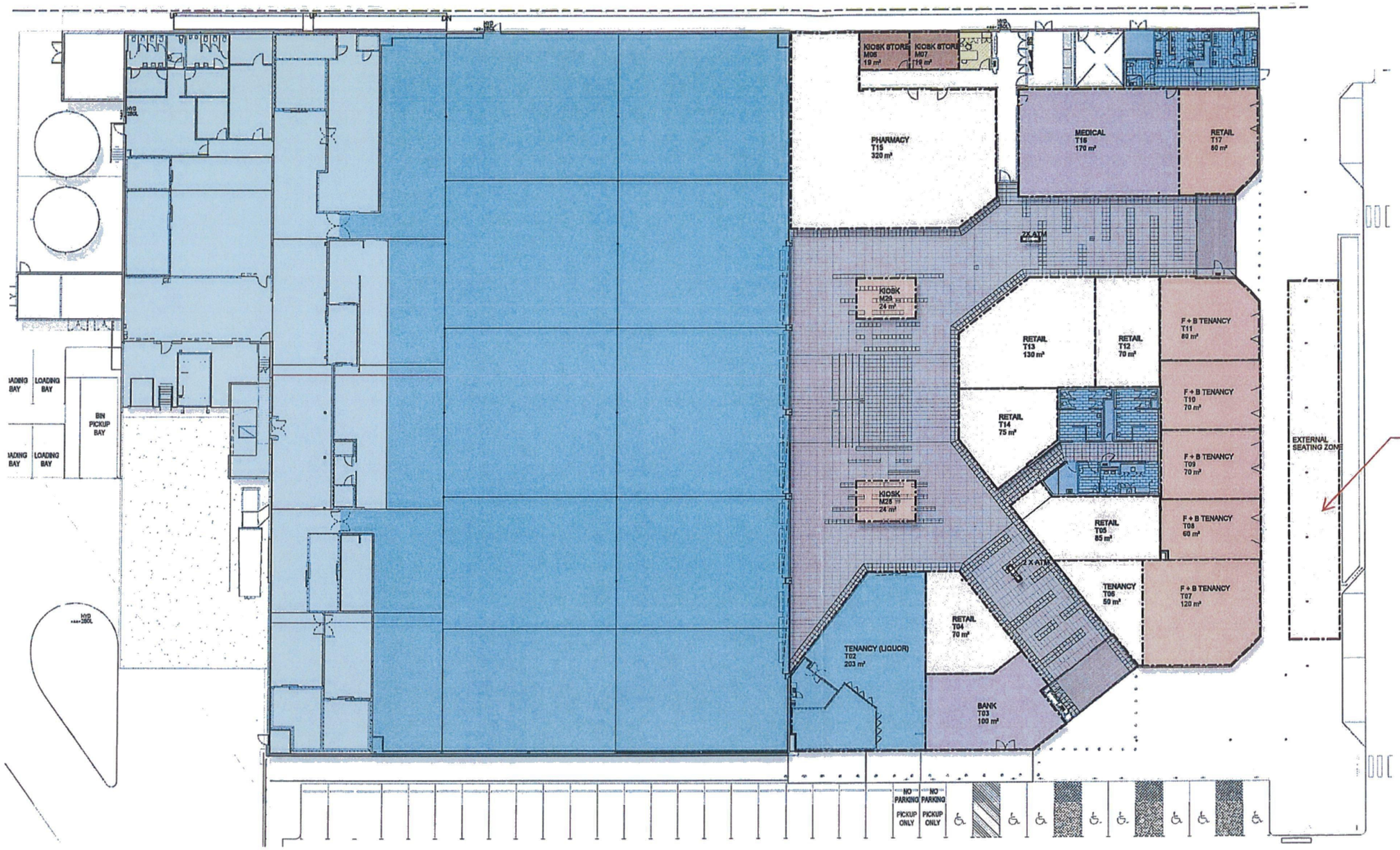
Advice Notes

All other conditions and requirements detailed on the previous approval dated 30 May 2013 (LG ref DA2013/223) shall remain unless altered by this application.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) of the *Development Assessment Panel Regulations 2011*.

City Of Wanneroo IM 27/5/2014

Attachment 2a



1 CONTROL LEASE PLAN
SCALE: 1 : 200

Coles trading Floor
Coles Back of House
Specialty Retail
Retail / Kiosks Store
Kiosks
Commercial
Services
Centre Management
Amenities

COPY
DEVELOPMENT ASSESSMENT PANELS
13 MAY 2014
APPROVED

Plan issued 17.03.14

Total alfresco area = 180 sq.m

GENERAL NOTES:
FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DO NOT SCALE REDUCED SIZE DRAWINGS VERIFY DIMENSIONS PRIOR TO COMMENCING ANY ON-SITE OR OFF-SITE WORKS OR FABRICATION IF IN DOUBT - ASK PROMPTLY INFORM ARCHITECT OF ANY CONFLICT BETWEEN SITE CONDITIONS AND DOCUMENTS ARCHITECTURAL DOCUMENTS TO BE READ IN CONJUNCTION WITH SPECIFICATION AND CONSULTANTS DOCUMENTS
THIS DRAWING AND ITS CONTENTS ARE ELECTRONICALY GENERATED, ARE CONFIDENTIAL AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH THEY ARE INTENDED TAYLOR ROBINSON WILL NOT ACCEPT RESPONSIBILITY FOR ANY CONSEQUENCES ARISING FROM THE USE OF THE DRAWING FOR OTHER THAN ITS INTENDED PURPOSE OR WHERE THE DRAWING HAS BEEN ALTERED, AMENDED OR CHANGED EITHER MANUALLY OR ELECTRONCALLY BY ANY THIRD PARTY THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF TAYLOR ROBINSON IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF TAYLOR ROBINSON

REVISION

DATE	DESCRIPTION	BY	REV

AREA - 180 sq.m

INDICATIVE TENANCY PLAN

FOR PLANNING DEVELOPMENT
COLES COMMERCIAL PROPERTY

THIS TENANCY PLAN IS ILLUSTRATIVE ONLY AND IS SUBJECT TO CHANGE THIS PLAN DOES NOT CONSTITUTE ANY OFFER, WARRANT OR REPRESENTATION AS TO THE PROPOSED DESIGN, MIX, PROFITABILITY, STYLE, LAYOUT OR APPEARANCE OF THE SHOPPING CENTRE OR THE SURROUNDING ROADS THIS PLAN OF THE SHOPPING CENTRE OR SURROUNDING ROADS MAY CHANGE AT ANY TIME, SUBJECT TO NECESSARY APPROVALS

THIS INFORMATION CONTAINED IN THIS DRAWING IS PROVIDED IN GOOD FAITH AND IS BELIEVED TO BE CORRECT AS AT DATE OF ISSUE THE INFORMATION HOWEVER CANNOT BE RELIED UPON AS A STATEMENT OF FACT AND YOU MUST THEREFOR SATISFY YOURSELF AS TO THE CORRECTNESS OF EACH PARTICULAR

POTENTIAL LESSEES SHOULD ALSO BE AWARE THAT ALL LEASES INCLUDING THOSE OF THE MAJOR STORE) CONTAIN CLAUSES ALLOWING TENANTS TO ASSIGN THEIR LEASE AND SUCH EVENTS MAY OCCUR WITHOUT INSTIGATION BY THE LESSOR

GENERAL NOTE - SERVICES
SERVICES LOCATION SUBJECT TO CLIENT APPROVAL OF CO-ORDINATED SERVICES LAYOUT

ISSUE FOR CHANGE OF USE DA

334 RAILWAY PARADE, WEST LEEDERVILLE, WA 6007
P/ 9388 8111 F/ 9388 8117
E/ mail@taylorrob.com.au
TAYLOROBINSON

PROJECT
coles
Banksia Grove Village

DRAWING
LEASE CONTROL PLAN

PLOT DATE 17.03.2014	JOB NUMBER 12059
DRAWN TR	DRAWING NO. A9.01
SCALE As indicated @A1	NORTH
CHECKED AE	REVISION

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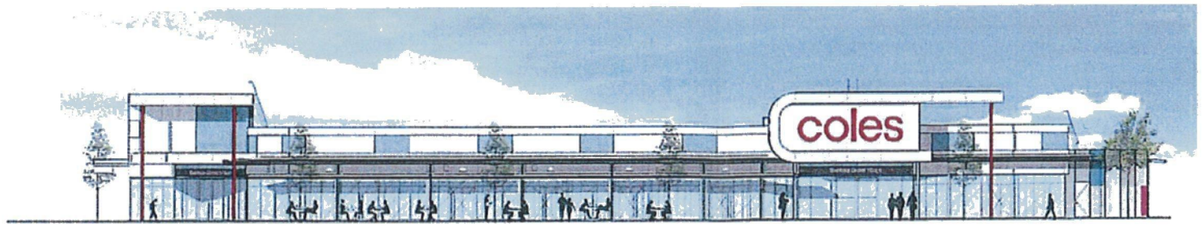
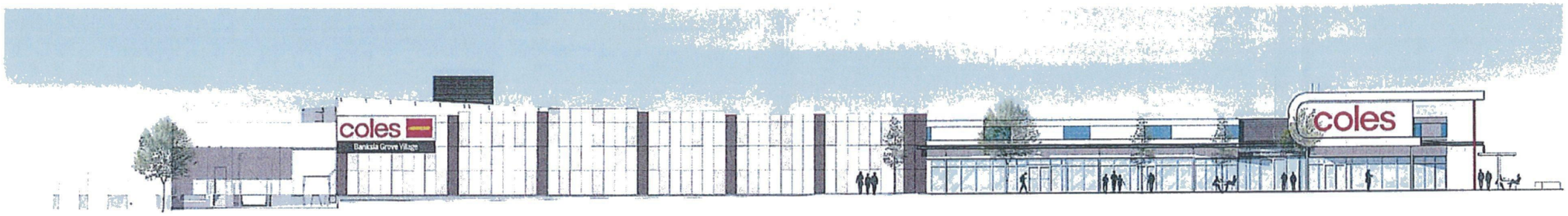
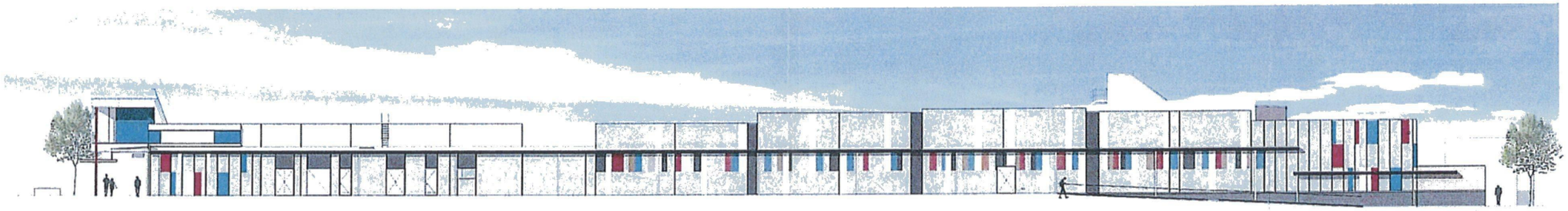
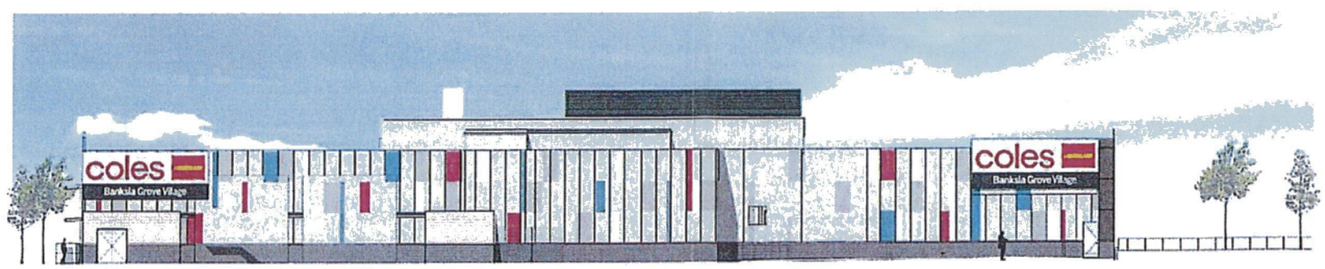
City Of Wanneroo IM 27/5/2014

Attachment 2b









coles
Banksia Grove Village

DEVELOPMENT ASSESSMENT PANELS
13 MAY 2014
APPROVED

TAYLOROBINSON

elevations

City Of Wanneroo IM 27/5/2014

Government of **Western Australia**
Development Assessment Panels

LG Ref: DA2014/626
DoP Ref: DP/13/00180
Enquiries: Development Assessment Panels
Telephone: (08) 6551 9919

Mr Chris Harman
TPG
chris.harman@tpg.com.au

Dear Mr Chris Harman

Metro North-West JDAP – City of Wanneroo – DAP Application DA2014/626
Lot 3801 (1001) Joondalup Drive, Banksia Grove
Amendment to Banksia Grove Town Centre (Stage 1) – Change of Use for Tenancy T1 from 'Take-Away Food Outlet' to 'Drive-Through Food Outlet'

Thank you for your application and plans submitted to the City of Wanneroo on 12 May 2014 for the above development at the above mentioned site.

This application was considered by the Metro North-West Joint Development Assessment Panel at its meeting held on 28 July 2014, where in accordance with the provisions of the City of Wanneroo District Planning Scheme No. 2, it was resolved to approve the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, a DAP Form 2 application may be made to amend or cancel this planning approval in accordance with Regulation 17 of the Development Assessment Panel Regulations 2011.

Also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. An application must be made within 28 days of the determination in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any enquiries in respect to the conditions of approval please contact Ms Cathrine Temple at the City of Wanneroo on (08) 9405 5073.

Yours sincerely

DAP Secretariat

7/08/2014

Encl. DAP Determination Notice
Approved plans

Cc: Ms Cathrine Temple
City of Wanneroo
Cathrine.temple@wanneroo.wa.gov.au

Planning and Development Act 2005

City of Wanneroo District Planning Scheme No. 2

Metro North-West Joint Development Assessment Panel

Determination on Development Assessment Panel Application for Planning Approval

Location: Lot 3801 (1001) Joondalup Drive, Banksia Grove
Description of proposed Development: Amendment to Banksia Grove Town Centre (Stage 1) – Change of Use for Tenancy T1 from 'Take-Away Food Outlet' to 'Drive-Through Food Outlet'

In accordance with Regulation 8 of the *Development Assessment Panels Regulations 2011*, the above application for planning approval was **granted** on 28 July 2014, subject to the following:

1. Accept that the DAP Application reference DAP/13/00180 as detailed on the DAP Form 2 dated 15 May 2014 is appropriate for consideration in accordance with regulation 17 of the *Planning and Development (Development Assessment Panels) Regulations 2011*;

1. Approve the DAP Application reference DAP/13/00180 as detailed on the DAP Form 2 date 15 May 2014 and accompanying plans (Plan A9.01 dated 17 March 2014 [provided in **Attachment 2**], Plan DA03 [marked in red ink and provided as **Attachment 5**] and all plans provided in **Attachment 3**) in accordance with the provisions of the District Planning Scheme No. 2 and the Metropolitan Region Scheme, for the proposed minor amendment to the approved Banksia Grove Town Centre (Stage 1) at Lot 3801 (1001) Joondalup Drive, Banksia Grove, subject to:

Amended Conditions

b) Tenancies within the proposed development shall accord with the following land uses and their corresponding definitions under the City of Wanneroo District Planning Scheme No. 2:

Plan A9.01
- T01, T04-T06, T12 and T17 – 'Shop';
- T02 – 'Liquor Store';
- T03 – 'Bank';
- T07-T11 – 'Take-Away Food Outlet' and 'Restaurant';
- T16 – 'Medical Centre'; and
- M28 and M29 – 'Take-Away Food Outlet'.

Plan DA03
- T01 – 'Drive-Through Food Outlet';
- T02 – 'Take-Away Food Outlet'; and
- Fuel Station: – 'Convenience Store'

New conditions

1. The elevations provided on Plans DA05 and DA06 **(Attachments 3d and 3e respectively),** dated 29 April 2014 and Floor Plans provided on DA01 dated 29 April 2014 and DA02 dated 17 June 2014 shall supersede the elevations provided for T01 on Plan DA11 dated May 2013 and the floor provide for T01 on Plan DA03 dated May 2013 (**Attachment 1)**

2. Detailed landscaping and reticulation plans for the 'Drive-Through Food Outlet' shall be submitted for approval by the City within 60 days of the date of this approval. Planting and installation shall be in accordance with the approved plans and shall be completed prior to the occupation of the development and thereafter maintained to the satisfaction of the City.

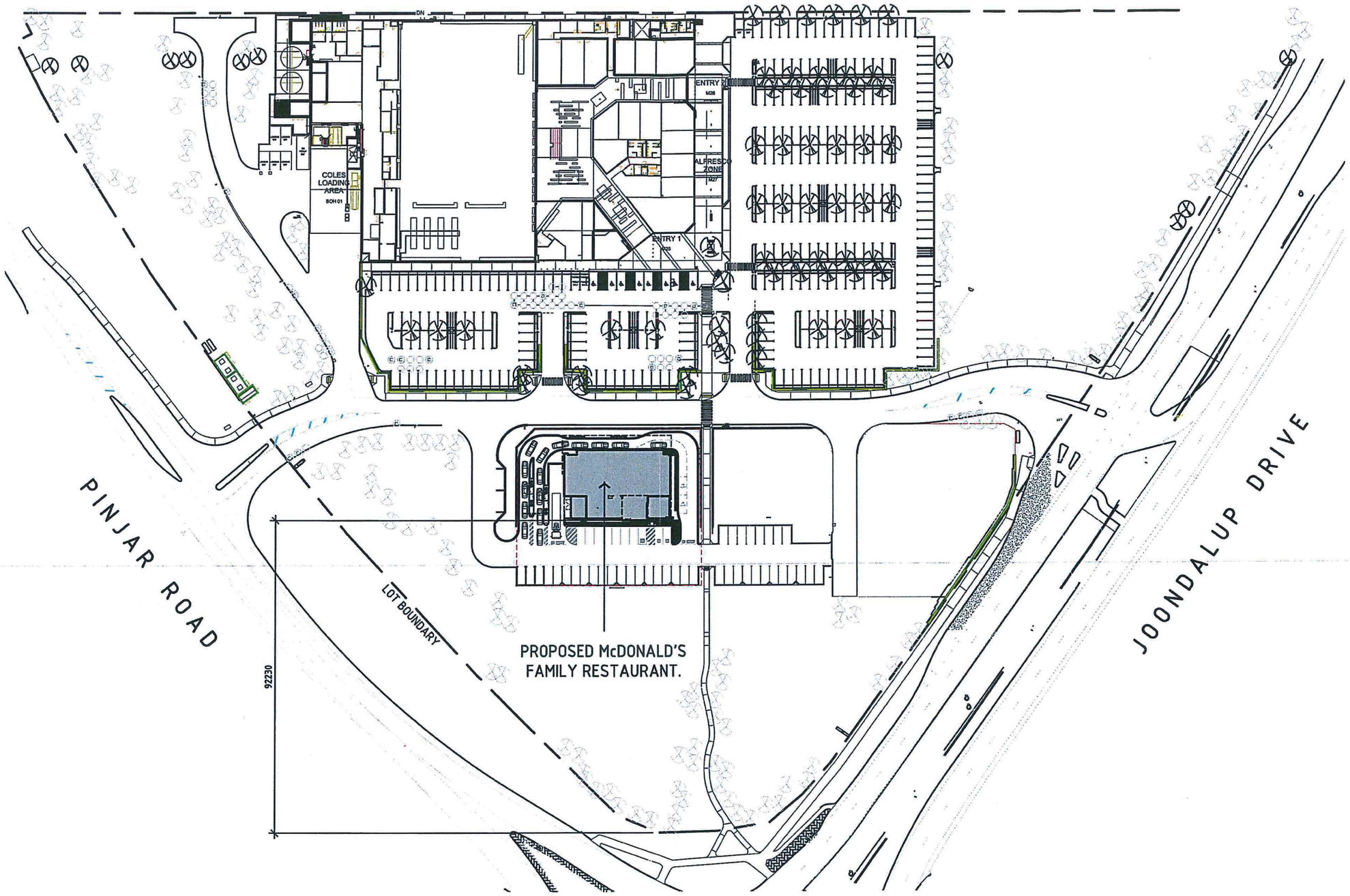
3. This approval does not relate to the erection of any signage for the proposed development. Signage for the proposed 'Drive-Through Food Outlet' shall be considered with an overall Signage Strategy for the entire Stage 1 Banksia Grove District Centre.

Advice Notes

i All other conditions and requirements detailed on the previous approval dated 30 May 2013 and 13 May 2014 shall remain unless altered by this application.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) of the *Development Assessment Panel Regulations 2011*.

Attachment 3a



ISSUE	AMENDMENT	DATE	INT
A	ISSUED FOR APPROVAL	17.03.14	AJJ
B	ISSUED FOR PLANNING APPROVAL	29.04.14	AJJ

NOTES.

1. DO NOT SCALE THIS DRAWING.
2. THE DRAWING SHOWS DESIGN INTENT ONLY. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION OR PRODUCTION. CONSTRUCTION DETAILS TO BE CONFIRMED BY CONTRACTOR /MANUFACTURER.
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6. ALL DIMENSIONS ARE IN MILLIMETERS

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STATUS AMENDED PLANNING APPROVAL

SERIES MOD_FAMILY | REF. 01

UNMODIFIED MASTER DRAWING
PROJECT SPECIFIC DRAWING
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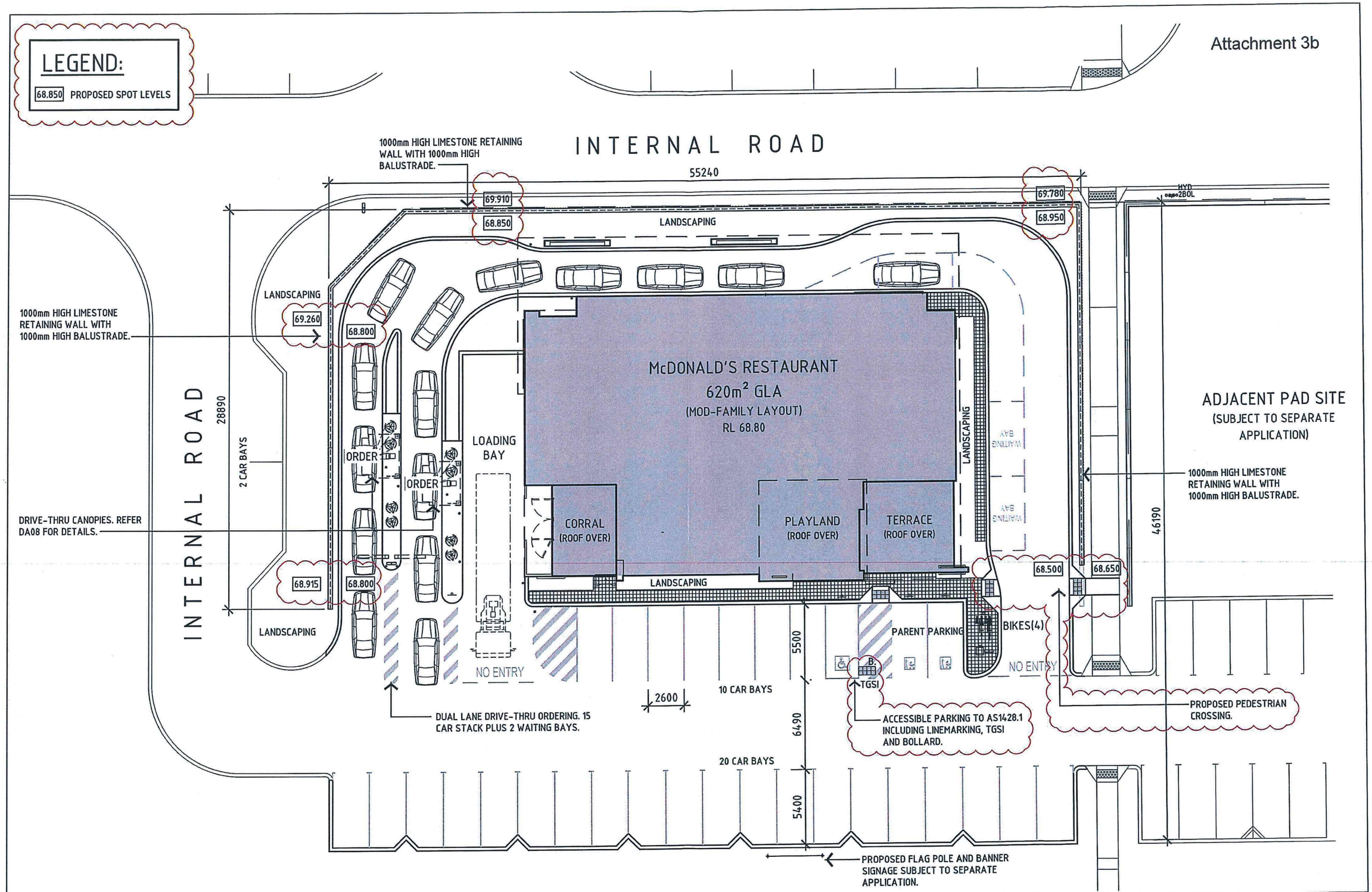
PROJECT: PROPOSED McDONALD'S RESTAURANT BANKSIA GROVE, WA

JOB No: 0526

TITLE : OVERALL SITE PLAN

DRAWN	CHECKED	SCALE	DWG. NO.	REV.
DIA	AJJ	1:250	DA01	B

Attachment 3b



ISSUE	AMENDMENT	DATE	INT
A	ISSUED FOR APPROVAL	17.03.14	AJJ
B	ISSUED FOR PLANNING APPROVAL	29.04.14	AJJ
C	REVISED WHERE CLOUDED	17.06.14	AJJ

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STATUS AMENDED PLANNING APPROVAL

SERIES MOD_FAMILY | REF. 01

UNMODIFIED MASTER DRAWING
PROJECT SPECIFIC DRAWING

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PROJECT: PROPOSED McDONALD'S RESTAURANT BANKSIA GROVE, WA

JOB No: 0526

TITLE : SITE PLAN

DRAWN	CHECKED	SCALE	DWG. NO.	REV.
DIA	AJJ	1:250	DA02	C

Attachment 3c

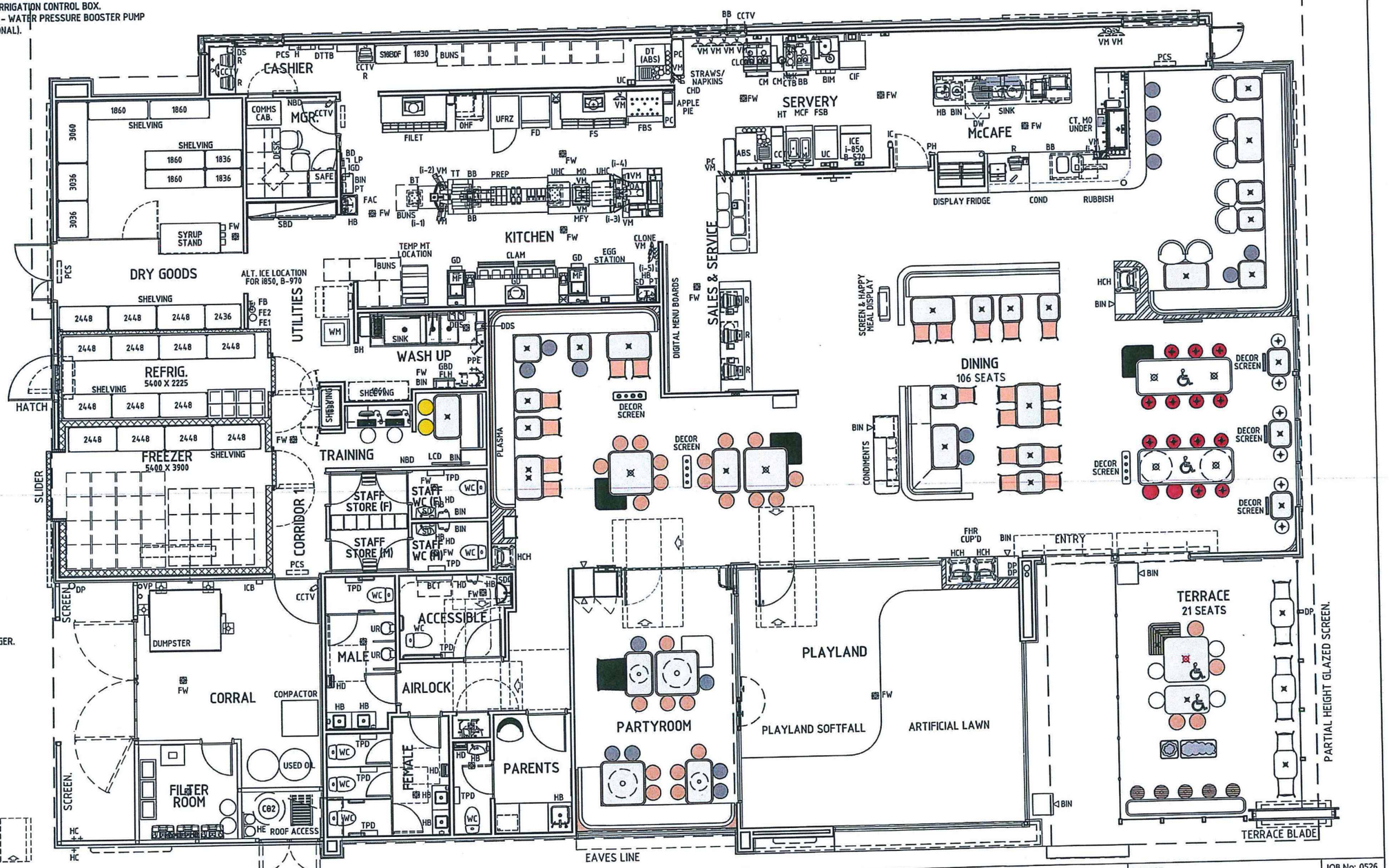
LEGEND

ABS - AUTOMATIC BEVERAGE SYSTEM.
BB - BUMPBAR
BIM - BLENDED ICE MACHINE
BCT - BABY CHANGE TABLE.
BD - BUNDY CLOCK.
BH - BROOM HOLDER.
BT - BUN TROLLEY.
BUSC - BACK-UP STORAGE CABINET
CARB - CARBONATORS
CCTV - CCTV (SECURITY) CAMERA.
CF - COMBI FREEZER
CHD - CUP HOLDER DISPENSER.
CIF - CENTRE ISLAND FRIDGE.
CLAM - CLAMSHELL GRILL.
CM - COFFEE MACHINE.
COND - CONDIMENT TRAY.
CO - COMBI OVEN
COH - COMBI OVEN HOOD.
CP - CONTROL PANEL
CPT - COMBI PREP TABLE
CT - CONTACT TOASTER.
CTB - COFFEE & TEA BREWER.
DP - DOWNPIPE.
DS - DROP SAFE.
DDS - DETERGENT DISPENSER SYSTEM
DTTB - DRIVE THRU TIMER BASE STATION.
DW - DISHWASHER.
EMC - ELECTRICAL METERING CUBICLE.
FAC - FIRST AID CABINET.
FB - FIRE BLANKET.
FBS - FRY BAGGING STATION.
FD - FRY DISPENSER.
FSB - FROZEN SPARKLING BEVERAGE.
FE1 - CO2 FIRE EXTINGUISHER.
FE2 - WET CHEMICAL FIRE EXTINGUISHER.
FILET - PIE / FILET / CHICKEN STATION.
FLH - FRY LID HOLDER.
FRP - FRAPPE.
FS - FRY STATION.
FW - FLOOR WASTE.
GBD - GARBAGE BAG DISPENSER.
GD - GLOVES DISPENSER.
H - HELIUM OUTLET.
HB - HAND BASIN.
HCH - HIGH CHAIR.
HD - HAND DRYER.
HLZ - HEATED LANDING ZONE.
HT - HEAT TREAT.
HWU - HOT WATER UNIT.
It (x)- Itona
LP - LABEL PRINTER.
MCF - McFLURRY.
MF - MEAT FREEZER.
MFY - MADE FOR YOU EQUIP. LINE.
MLK - MILK DISPENSER.
MO - MICROWAVE OVEN.
MT - MUFFIN TOASTER TROLLEY.
NBD - NOTICE BOARD.
OHF - OVERHEAD FREEZER.
OR - OVEN COOLING RACK
P - PALLET.
PC - PRESENTER CART
PCS - PEST CONTROL SYSTEM.
PFC - POWER FACTOR CORRECTION SYSTEM
PH - PHONE.
PPE - PERSONAL PROTECTIVE EQUIPMENT HANGER.
PRE - DRINKS PRECHILLER (OPTIONAL).
PT - PAPER TOWEL DISPENSER.
R - CASH REGISTER.
RO - REVERSE OSMOSIS UNIT (OPTIONAL)
SBD - SWITCHBOARD.
SD - SOAP DISPENSER.
TPD - TOILET PAPER DISPENSER.
TR - TOMATO RACK.
TT - TOASTER TABLE.
UC - UNIVERSAL CHASE
UFRZ - UPRIGHT FREEZER.
UHC - UNIVERSAL HOLDING CABINET.
UR - URINAL.
VM - VIDEO MONITOR.
VP - VENT PIPE.
WC - WATER CLOSET.
WM - WASHING MACHNE.

DDA CIRCULATION SPACE INDICATED THUS:
(ARROW INDICATES DIRECTION OF APPROACH)

CORRAL LEGEND

BC - BEVERAGE COMPRESSOR.
CO2 - BULK CO2 TANK.
DP - DOWNPIPE.
FW - FLOOR WASTE.
HC - HOSECOCK.
HE - HELIUM TANKS.
ICB - IRRIGATION CONTROL BOX.
WPBP - WATER PRESSURE BOOSTER PUMP (OPTIONAL).



ISSUE	AMENDMENT	DATE	INT
A	ISSUED FOR APPROVAL	17.03.14	AJJ
B	ISSUED FOR PLANNING APPROVAL	29.04.14	AJJ
C	TERRACE & SEATING REVISED	17.06.14	AJJ

NOTES.
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PROJECT: PROPOSED McDONALD'S RESTAURANT BANKSIA GROVE, WA

JOB No: 0526

STATUS: AMENDED PLANNING APPROVAL

TITLE : FLOOR PLAN

SERIES: MOD_FAMILY | REF. 01

UNMODIFIED MASTER DRAWING
PROJECT SPECIFIC DRAWING

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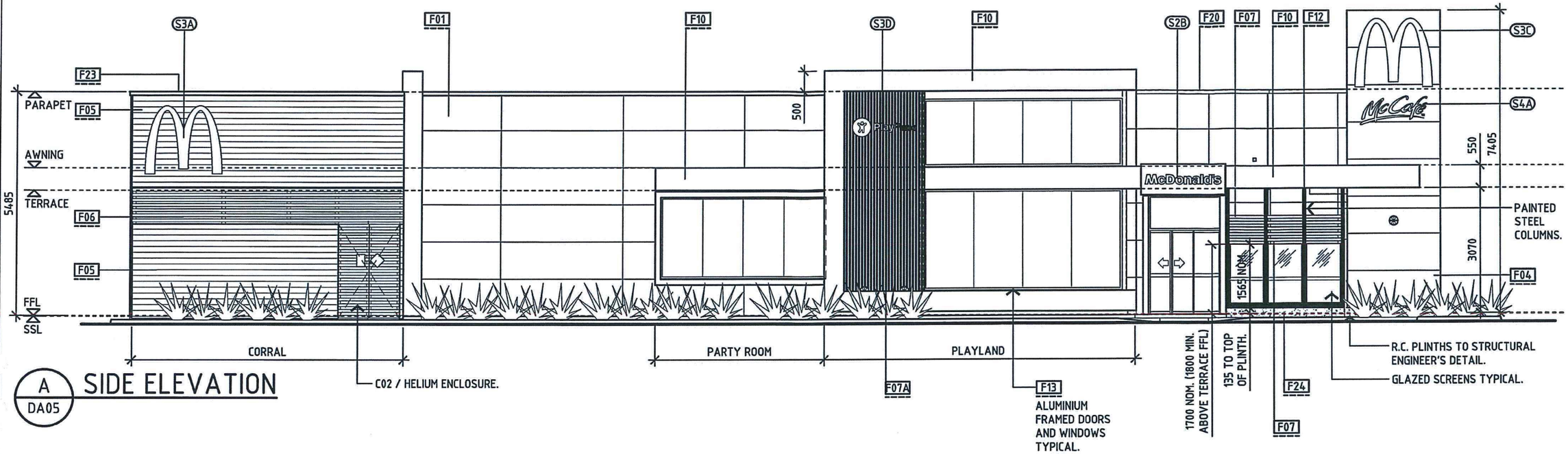
DRAWN	CHECKED	SCALE	DWG. NO.	REV.
AJJ	-	1:100	DA04	C

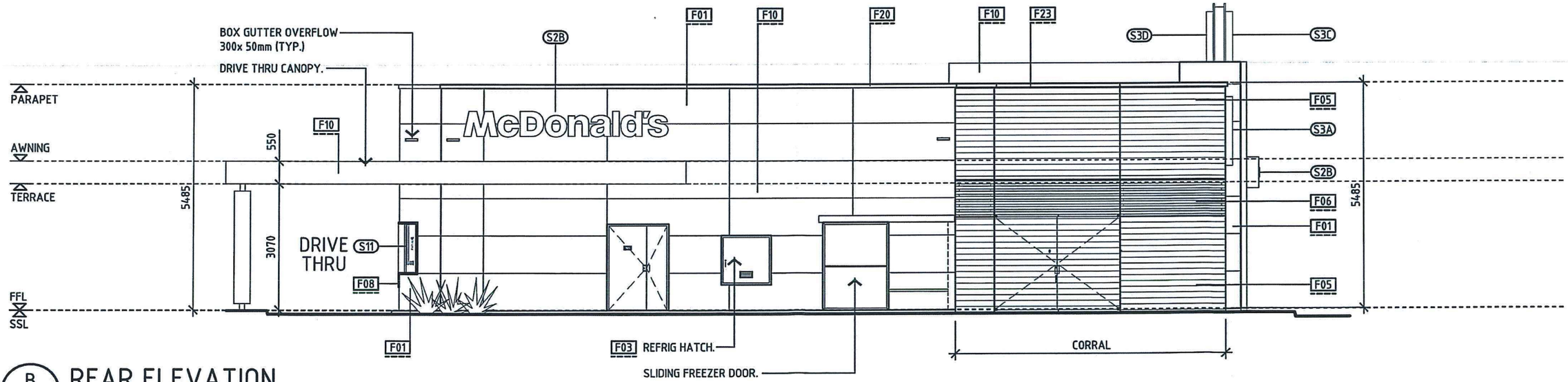
Attachment 3d

LEGEND

XXX FINISHES TAG.



A DA05 SIDE ELEVATION



B DA05 REAR ELEVATION

ISSUE	AMENDMENT	DATE	INT
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B	ISSUED FOR PLANNING APPROVAL	29.04.14	AJJ

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PROJECT: PROPOSED McDONALD'S RESTAURANT BANKSIA GROVE, WA

JOB No: 0526

STATUS: AMENDED PLANNING APPROVAL

TITLE : ELEVATIONS A AND B

SERIES	REF.		DRAWN	CHECKED	SCALE	DWG. NO.	REV.
MOD_FAMILY	01	UNMODIFIED MASTER DRAWING / PROJECT SPECIFIC DRAWING	AJJ	-	1:100	DA05	B

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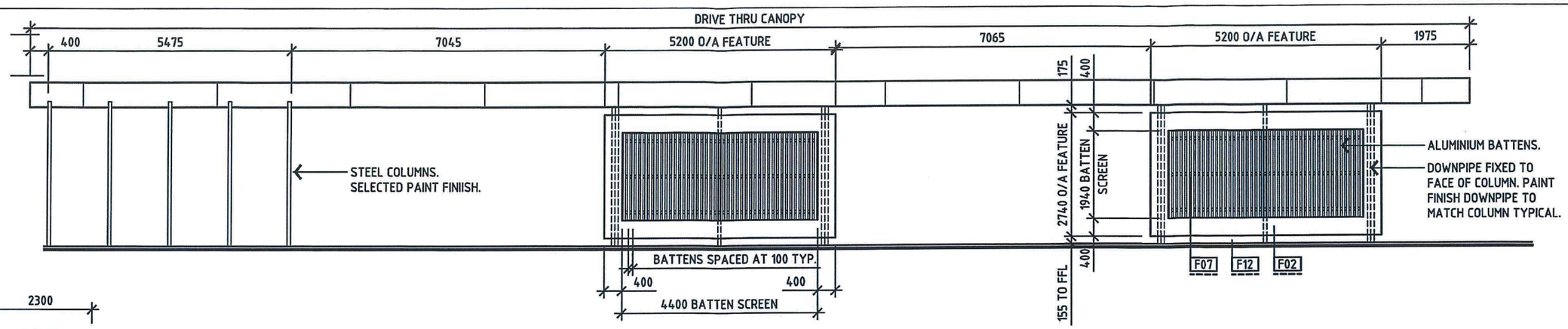
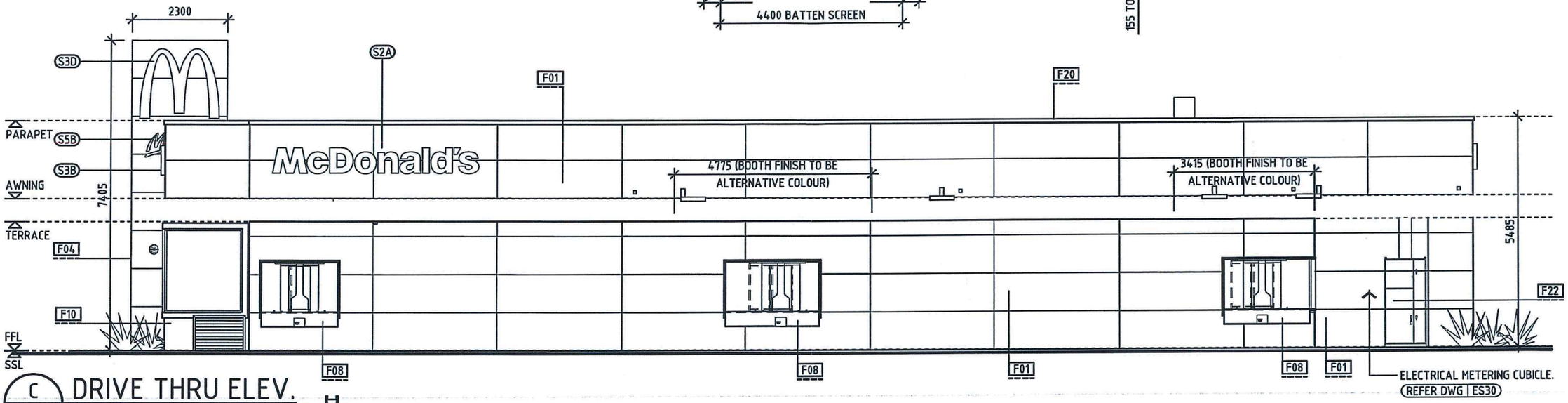
Attachment 3e

LEGEND

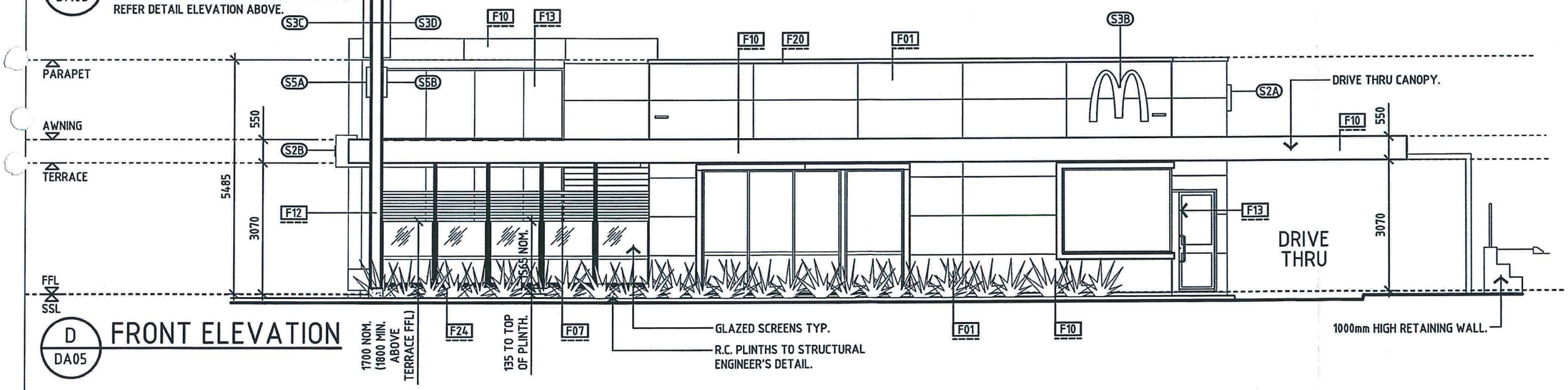
XXX FINISHES TAG.





C / DA05 **DRIVE THRU ELEV.**

DRIVE-THRU SCREENS NOT SHOWN FOR CLARITY. REFER DETAIL ELEVATION ABOVE.



D / DA05 **FRONT ELEVATION**

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A	ISSUED FOR APPROVAL	17.03.14	AJJ
B	ISSUED FOR PLANNING APPROVAL	29.04.14	AJJ

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PROJECT: PROPOSED McDONALD'S RESTAURANT BANKSIA GROVE, WA

JOB No: 0526

STATUS: AMENDED PLANNING APPROVAL

TITLE: ELEVATIONS C AND D

SERIES	REF.		DRAWN	CHECKED	SCALE	DWG. NO.	REV.
MOD_FAMILY	01	○ UNMODIFIED MASTER DRAWING ● PROJECT SPECIFIC DRAWING	AJJ	-	1:100	DA06	B

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Government of **Western Australia**
Development Assessment Panels

LG Ref: DA2014/1499
DoP Ref: DP/13/00180
Enquiries: Development Assessment Panels
Telephone: (08) 6551 9919

Mr Michael Kevill
TPG
Michael.kevill@tpgwa.com.au

Dear Mr Michael Kevill

Metro North-West JDAP – City of Wanneroo – DAP Application DA2014/1499
Lot 3801 (1001) Joondalup Drive Banksia Grove
Modifications to approved convenience store

Thank you for your application and plans submitted to the City of Wanneroo on 18 August 2014 for the above development at the above mentioned site.

This application was considered by the Metro North-West Joint Development Assessment Panel at its meeting held on 15 October 2014, where in accordance with the provisions of the City of Wanneroo District Planning Scheme No. 2, it was resolved to approve the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, a DAP Form 2 application may be made to amend or cancel this planning approval in accordance with Regulation 17 of the Development Assessment Panel Regulations 2011.

Also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. An application must be made within 28 days of the determination in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any enquiries in respect to the conditions of approval please contact Ms Cathrine Temple at the City of Wanneroo on (08) 9405 5073.

Yours sincerely

DAP Secretariat

21/10/2014

Encl. DAP Determination Notice
Approved plans

Cc: Ms Cathrine Temple
City of Wanneroo
Catherine.temple@wanneroo.wa.gov.au

Planning and Development Act 2005

City of Wanneroo District Planning Scheme No. 2

Metro North-West Joint Development Assessment Panel

Determination on Development Assessment Panel Application for Planning Approval

Location: Lot 3801 (1001) Joondalup Drive Banksia Grove
Description of proposed Development: Modifications to approved convenience store

In accordance with Regulation 8 of the *Development Assessment Panels Regulations 2011*, the above application for planning approval was **granted** on 15 October 2014, subject to the following:

1. Accept that the DAP Application reference DP/13/00180 as detailed on the DAP Form 2 dated 13 August 2014 is appropriate for consideration in accordance with regulation 17 of the *Planning and Development (Development Assessment Panels) Regulations 2011*;

2. Approve the DAP Application reference DP/13/00180 as detailed on the DAP Form 2 date 13 August 2014 and accompanying plan (**Attachment 4**) in accordance with the provisions of the City of Wanneroo District Planning Scheme No. 2 and the Metropolitan Region Scheme, for the proposed minor amendment to the approved Banksia Grove Town Centre Stage 1 at 1001 Joondalup Drive, Banksia Grove, subject to:

Additional Conditions

cc. Removable bollards shall be installed in the location depicted on plan WD01 in **Attachment 4**.

Advice Notes

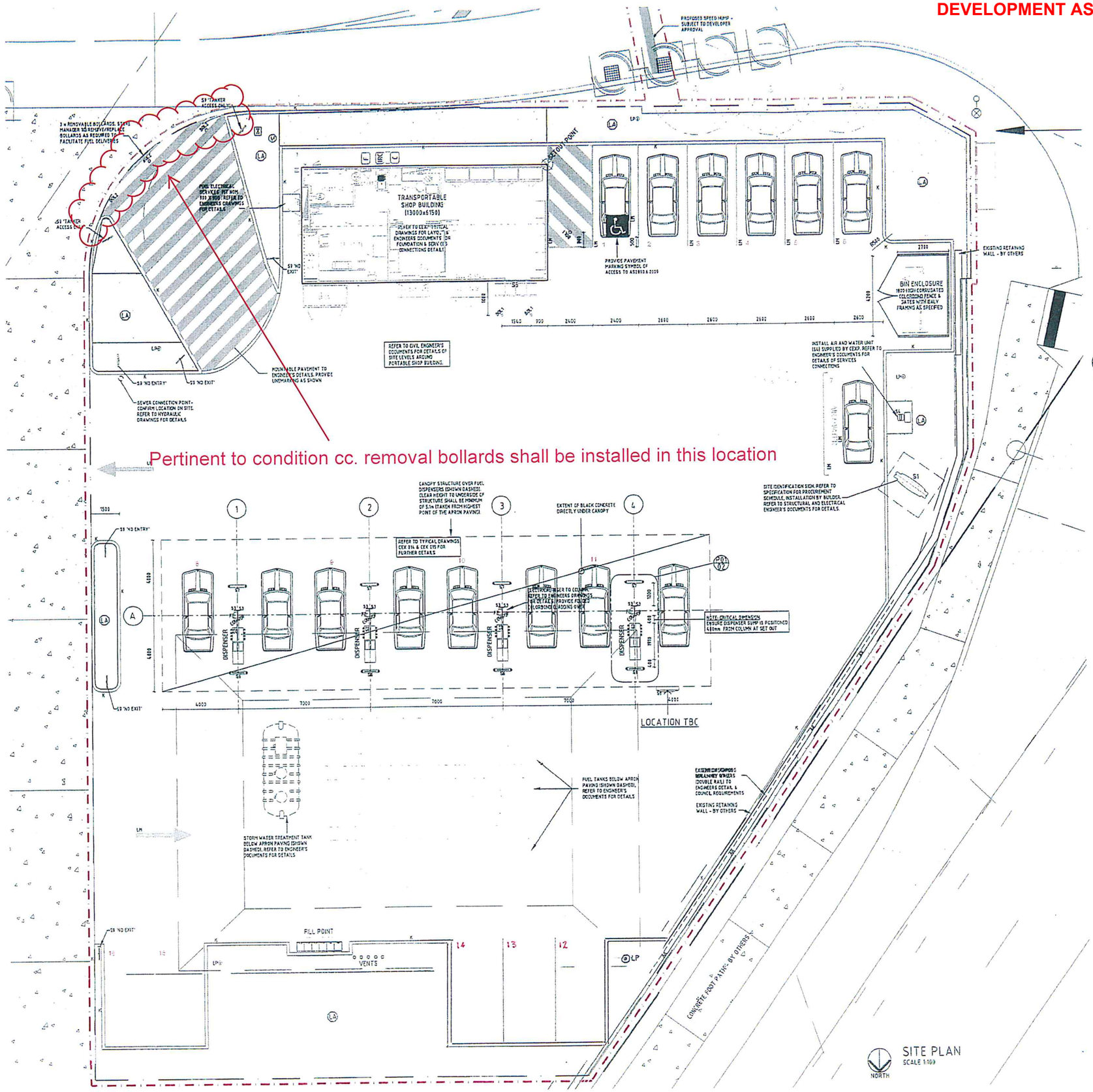
i All other conditions and requirements detailed on the previous approvals dated 10 June 2013 (**Attachment 1**) and 22 May 2014 (**Attachment 2**) shall remain unless altered by this application.

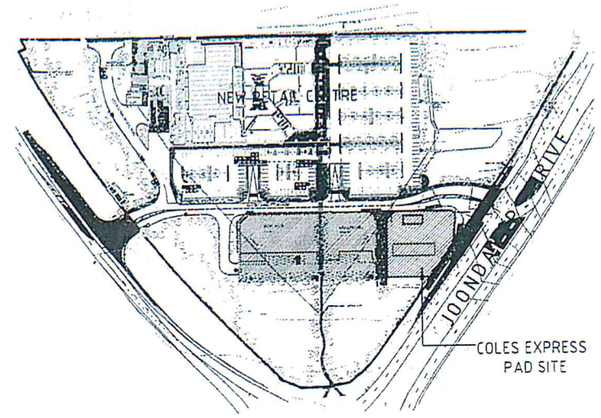
ii In relation to condition cc. the bollards shall be in place at all times and shall only be removed to allow fuel tanker access to the site.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) of the *Development Assessment Panel Regulations 2011*.

DEVELOPMENT ASSESSMENT PANELS APPROVED 15 OCTOBER 2014

Attachment 4





LOCATION PLAN
SCALE 1:2000
NORTH

LEGEND

- LEASE BOUNDARY
- EXTENT OF SITE FOR WORKS IN CEXP PAD SITE CONTRACT
- BOL1 STEEL BOLLARD, CONCRETE FILLED. REFER TO ENGINEERS DRAWINGS FOR DETAILS
- BOL2 REMOVABLE BOLLARD AS SPECIFIED. REFER TO ENGINEERS DRAWINGS FOR DETAILS
- COL STEEL COLUMN - REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR DETAILS. PAINT FINISH AS SPECIFIED
- DP 125Ø UPVC DOWNPIPE. PAINT FINISH. REFER TO CIVIL ENGINEER'S DOCUMENTS FOR DETAILS.
- K CONCRETE KERB. REFER ENGINEERS DRAWINGS FOR TYPE & DETAILS
- BR BIKE RACKS. 75Ø GALVANISED TUBE. 920 LONG x 920 HIGH WITH 250mm RADIUS BENDS. CONCRETE INTO GROUND MIN 600mm
- LP(S) LIGHTPOLE. REFER TO ELECTRICAL ENGINEER'S DOCUMENTS FOR DETAILS & SETOUT.
- LM PAINTED LINEMARKING COMPLYING WITH AS2890.1 & AS2890.6
- PA PAINTED PAVEMENT ARROW COMPLYING WITH AS2890.1
- DISPENSER FUEL DISPENSER- BY NOMINATED SUBCONTRACTOR
- SIGN 'S1' SHELL INTERNALLY ILLUMINATED SITE IDENTIFICATION SIGN. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S2' NON ILLUMINATED 'P POWER' SPREADER. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S3' NON ILLUMINATED DISPENSER NUMBERS SIGN. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S4' AIR AND WATER UNIT. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S5' INTERNALLY ILLUMINATED COLES EXPRESS' LOGO SIGN. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S6' STANDARD SHELL HOPPED LEADERBOARD. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S7' STANDARD SHELL 'NO ENTRY' SIGN WITH 'PECTEN' GRAPHIC. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S8' ILLUMINATED SHELL LOGO 'PECTEN' SIGN. REFER TO SPECIFICATION FOR PROCUREMENT SCHEDULE
- SIGN 'S9' SUPPLY & INSTALL PROPRIETARY VEHICLE SIGN AS NOTED. ON GALV STEEL POST MIN. 900 HIGH - TO COMPLY WITH RELEVANT CODES & STANDARDS.
- FE FIRE EXTINGUISHER IN WEATHERPROOF CABINET- BY CEXP.
- STORM WATER SUMP WITH HEEL GUARD GRATES. REFER TO CIVIL ENGINEERS DOCUMENTS FOR DETAILS
- WS PROPRIETARY CONCRETE WHEEL STOP AS SPECIFIED. 1800 LONG x 150 HIGH
- STORM WATER JUNCTION BOX. REFER TO CIVIL ENGINEERS DOCUMENTS FOR DETAILS
- M WATER METER & RPZ VALVE IN LOCKABLE HD GALV ENCLOSURE ON CONCRETE HARDSTANDREFER TO HYDRAULIC ENGINEERS DRAWINGS FOR DETAILS
- WV WATER ISOLATION VALVE IN GROUND BOX- REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR DETAILS
- SIP SEWER INSPECTION OPENING- REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS
- E ELECTRICAL PIT- REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS
- C COMMS PIT- REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS
- SV REFE. IRRIGATION SOLENOID PIT. REFER TO WD03 FOR DETAILS
- LA LANDSCAPED AREA- REFER TO LANDSCAPE DRAWING WD03 FOR DETAILS
- BR DOUBLE RAIL 'ARMCO BARRIER' -TO ENGINEERS DETAILS

PRELIMINARY DRAWING

Revision	Date	Issue
CAR PARKS ADDED TO NORTH	07.08.14	P5
CHANGES AS CLOUDED- southern entry & car parks deleted, vapour wall & wheel stops deleted, car park added to north east corner, vents moved	31.07.14	P4
LEASE BOUNDARY CORRECTED	16.07.14	C2
CONSTRUCTION ISSUE	18.06.14	C1
KERB EXTENT CLARIFIED, ARMCO BARRIER & RETAINING WALL ADDED	18.06.14	T2
TENDER ISSUE	06.06.14	T1
PRE TENDER REVIEW	03.06.14	P3
PRELIMINARY ISSUE	28.05.14	P2
PRELIMINARY ISSUE	02.05.14	P1

swanbury penglase
architects *of human space*

COLES EXPRESS PAD SITE
NEW SERVICE STATION
BANKSIA GROVE

COLES GROUP PROPERTY DEV

JOONDALUP DRIVE
BANKSIA GROVE, WA

LOCATION PLAN

SITE PLAN

Scale	Drawn	Checked	Date
AS SHOWN	PAC		01.05.2014

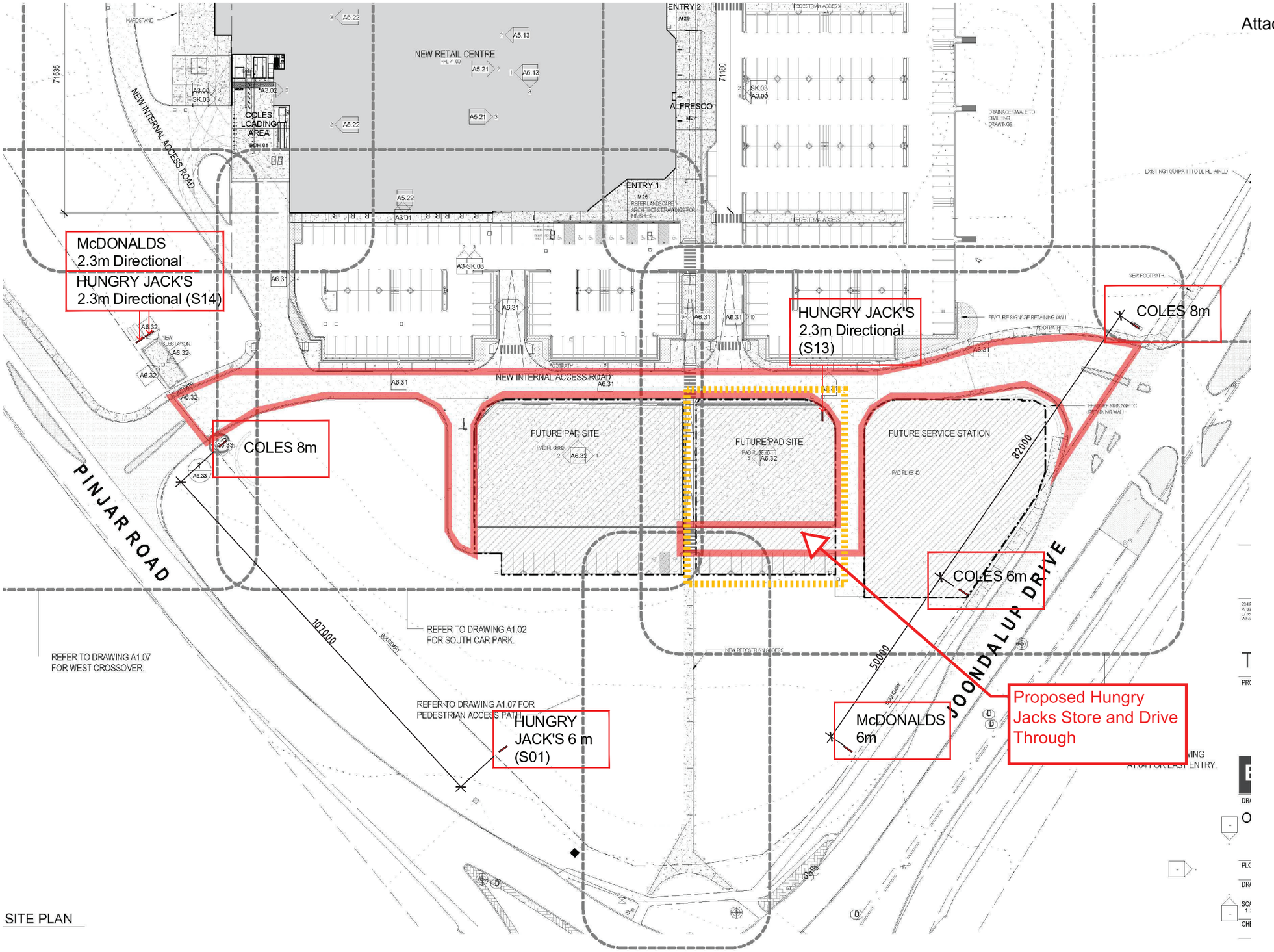
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS

© SWANBURY PENGLASE ARCHITECTS ACN 008 202 779
241 GILBERT ST ADELAIDE SA 5000
PH (08) 8212 2679 FAX (08) 8212 3167
mail@swanburypenglase.com
www.swanburypenglase.com

14076 WD01 P6

coles GROUP PROPERTY DEVELOPMENTS

Attachment 5A



SITE PLAN

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REV	DATE	AMENDMENT	DRW
A	21.10.14	REVISED SIGNAGE	RAH
B	23.10.14	REVISED SIGNAGE	RAH
B	30.10.14	REVISED SIGNAGE	GM

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419 SUITE 3, 107-115 PACIFIC HIGHWAY, HORNSBY NSW 2077 TELEPHONE: (02) 9987 1888. FACSIMILE: (02) 9987 2111. EMAIL: admin@ramakers.com.au

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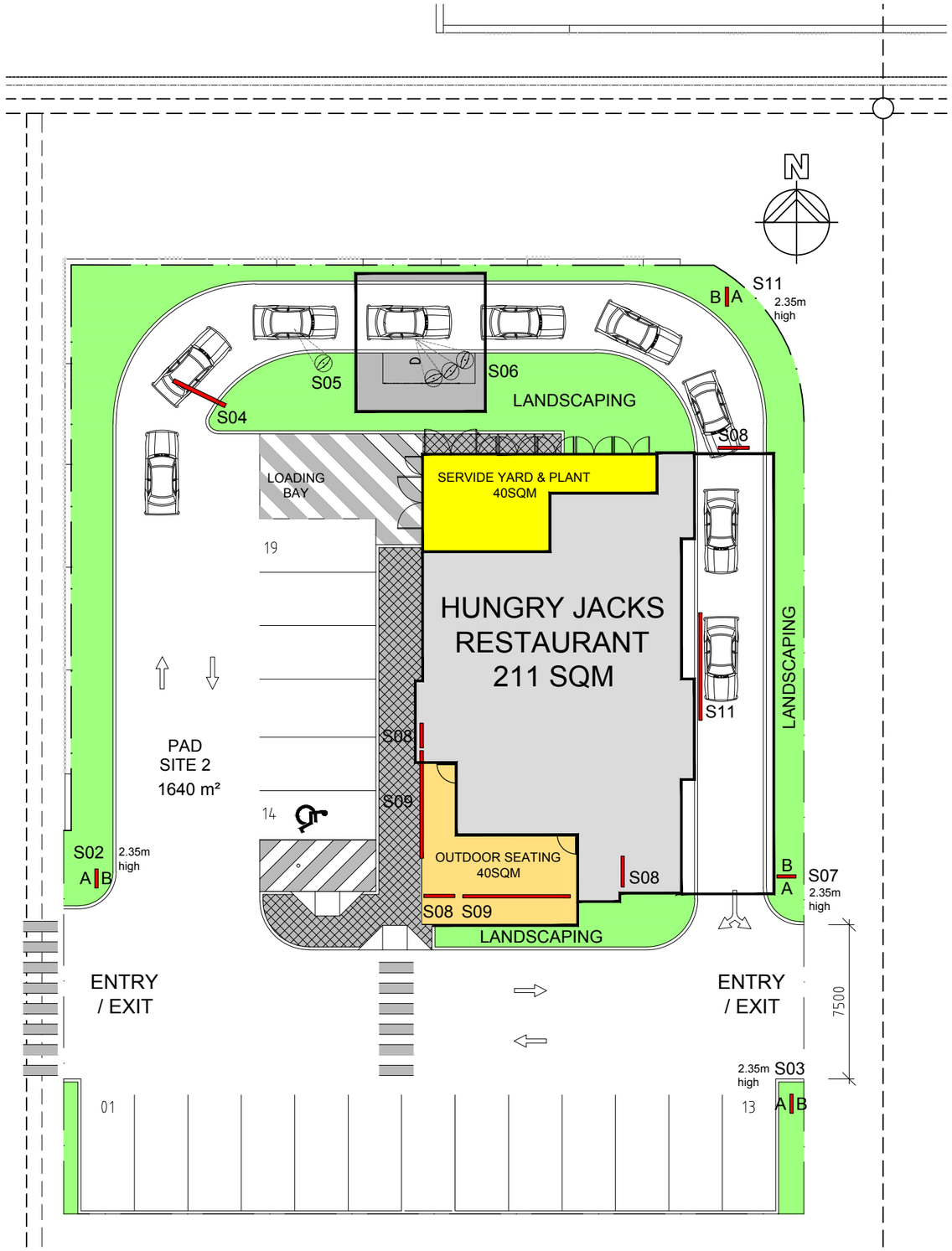
L6 - 100 WILLIAM STREET
WOOLLOOMOOLOO
NSW 2011

PROJECT
HUNGRY JACK'S BANKSIA GROVE
BANKSIA GROVE VILLAGE
BANKSIA GROVE, WA

DRAWING
HJ PYLON LOCATION PLAN

DESIGN	RAMAKERS ARCH	DRAWN	RAH	SCALE	1:500 (A3)	DRAWING No.	REV
CHECKED		APPROVED		CLIENT JOB No.		2733/SK07	C



NEW HUNGRY JACK'S RESTAURANT O/D SEATING AREA O/D SERVICE ENCLOSURE	211 sqm 40 sqm 40 sqm
TOTAL AREA	291 sqm
TOTAL CARPARKING	19 SPACES
TOTAL DRIVE QUEUE STACK	9 CARS
INDOOR SEATING OUTDOOR SEATING	32 SEATS 20 SEATS
TOTAL SEATING	52 SEATS

SIGNAGE SCHEDULE

SIGN	DESCRIPTION	QTY
S01	ILLUMINATED, 6m HIGH PYLON SIGN	1
S02	ILLUMINATED, DOUBLE SIDED, 'DRIVE THRU' DIRECTIONAL SIGN 2.35m H.	1
S03	ILLUMINATED, SINGLE SIDED, 'DRIVE THRU' DIRECTIONAL SIGN 2.35m H.	1
S04	HEIGHT LIMIT BAR	1
S05	ILLUMINATED, DOUBLE SIDED, ROTATING MENUBOARD	1
S06	ILLUMINATED, DOUBLE SIDED, ROTATING MENUBOARD	3
S07	ILLUMINATED, DOUBLE SIDED, 'NO ENTRY' & 'THANK YOU' SIGN 2.35m H.	1
S08	ILLUMINATED, 1500x1500 HUNGRY JACK'S BUN LOGO	4
S09	ILLUMINATED HUNGRY JACKS LETTER SIGN (500H)	2
S10	ILLUMINATED, RED FASCIA SIGN	AS REQ
S11	ILLUMINATED, DOUBLE SIDED, 'ENTRY' DIRECTIONAL SIGN 2.35m H.	1
S12	ILLUMINATED, DOUBLE SIDED, 'ENTRY' DIRECTIONAL SIGN 2.35m H., CHARCOAL	1

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REV	DATE	AMENDMENT	DRW
A	18.10.14	REVISED SIGNAGE / EXTENDED BUILDING	RAH
B	14.11.14	REVISED SIGNAGE / BUILDING FOOTPRINT	GM
C	14.11.14	S10 (RED FASCIA) REMOVED FROM SITEPLAN	GM

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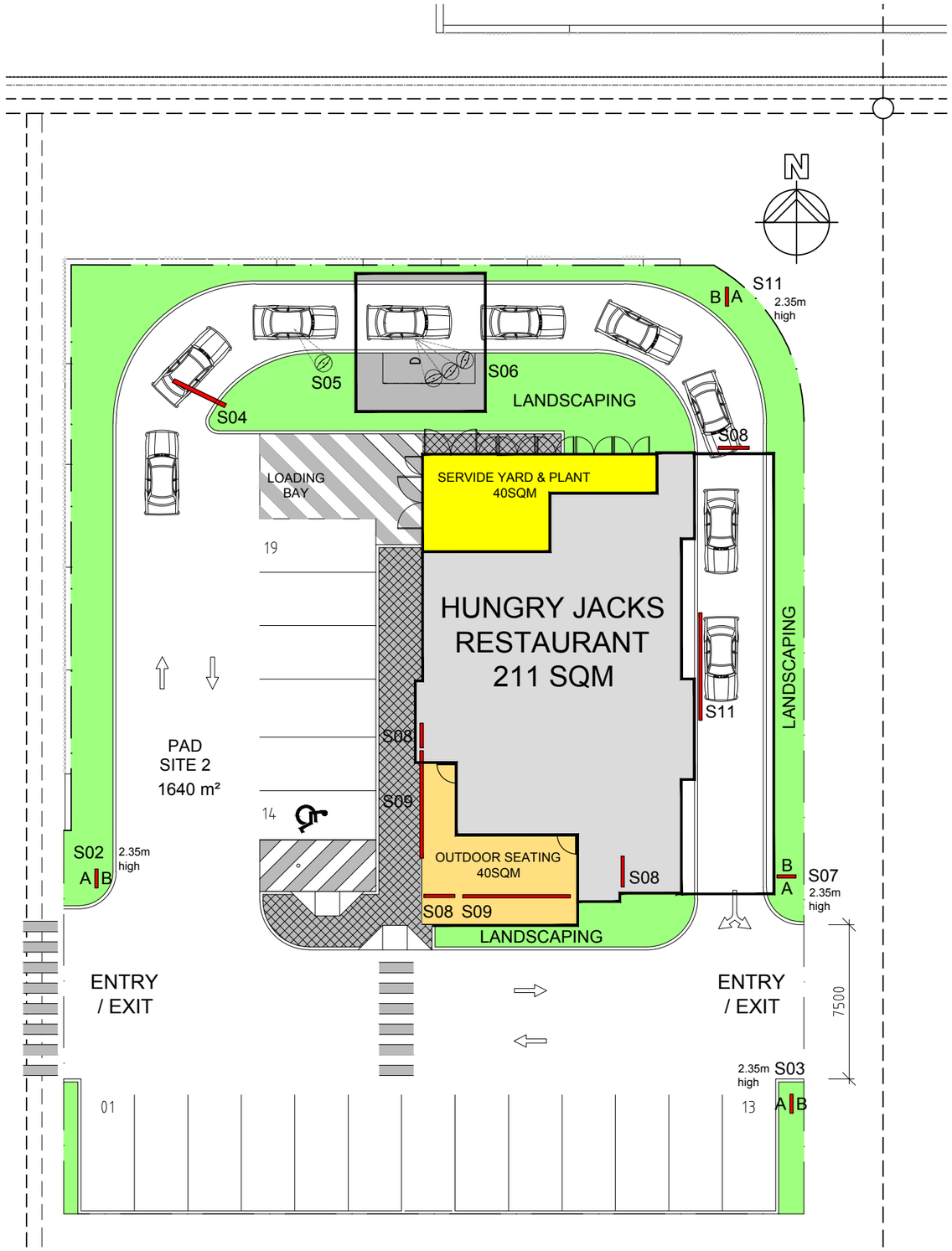
NSW 2011

PROJECT
HUNGRY JACK'S BANKSIA GROVE
BANKSIA GROVE VILLAGE,
BANKSIA GROVE. W.A.

DRAWING
CONCEPT SITE SIGNAGE PLAN

DESIGN	RAMAKERS ARCH	DRAWN	RAH	SCALE 1:250@A3	DRAWING No. 2733/SK02	REV C
CHECKED	RAH	APPROVED	RAH	CLIENT JOB No. 2733		



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TOTAL AREA	291 sqm
TOTAL CARPARKING	19 SPACES
TOTAL DRIVE QUEUE STACK	9 CARS
INDOOR SEATING OUTDOOR SEATING	32 SEATS 20 SEATS
TOTAL SEATING	52 SEATS

SIGNAGE SCHEDULE

SIGN	DESCRIPTION	QTY
S01	ILLUMINATED, 6m HIGH PYLON SIGN	1
S02	ILLUMINATED, DOUBLE SIDED, 'DRIVE THRU' DIRECTIONAL SIGN 2.35m H.	1
S03	ILLUMINATED, SINGLE SIDED, 'DRIVE THRU' DIRECTIONAL SIGN 2.35m H.	1
S04	HEIGHT LIMIT BAR	1
S05	ILLUMINATED, DOUBLE SIDED, ROTATING MENUBOARD	1
S06	ILLUMINATED, DOUBLE SIDED, ROTATING MENUBOARD	3
S07	ILLUMINATED, DOUBLE SIDED, 'NO ENTRY' & 'THANK YOU' SIGN 2.35m H.	1
S08	ILLUMINATED, 1500x1500 HUNGRY JACK'S BUN LOGO	4
S09	ILLUMINATED HUNGRY JACKS LETTER SIGN (500H)	2
S10	ILLUMINATED, RED FASCIA SIGN	AS REQ
S11	ILLUMINATED, DOUBLE SIDED, 'ENTRY' DIRECTIONAL SIGN 2.35m H.	1
S12	ILLUMINATED, DOUBLE SIDED, 'ENTRY' DIRECTIONAL SIGN 2.35m H., CHARCOAL	1

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REV	DATE	AMENDMENT	DRW
A	18.10.14	REVISED SIGNAGE / EXTENDED BUILDING	RAH
B	14.11.14	REVISED SIGNAGE / BUILDING FOOTPRINT	GM
C	14.11.14	S10 (RED FASCIA) REMOVED FROM SITEPLAN	GM

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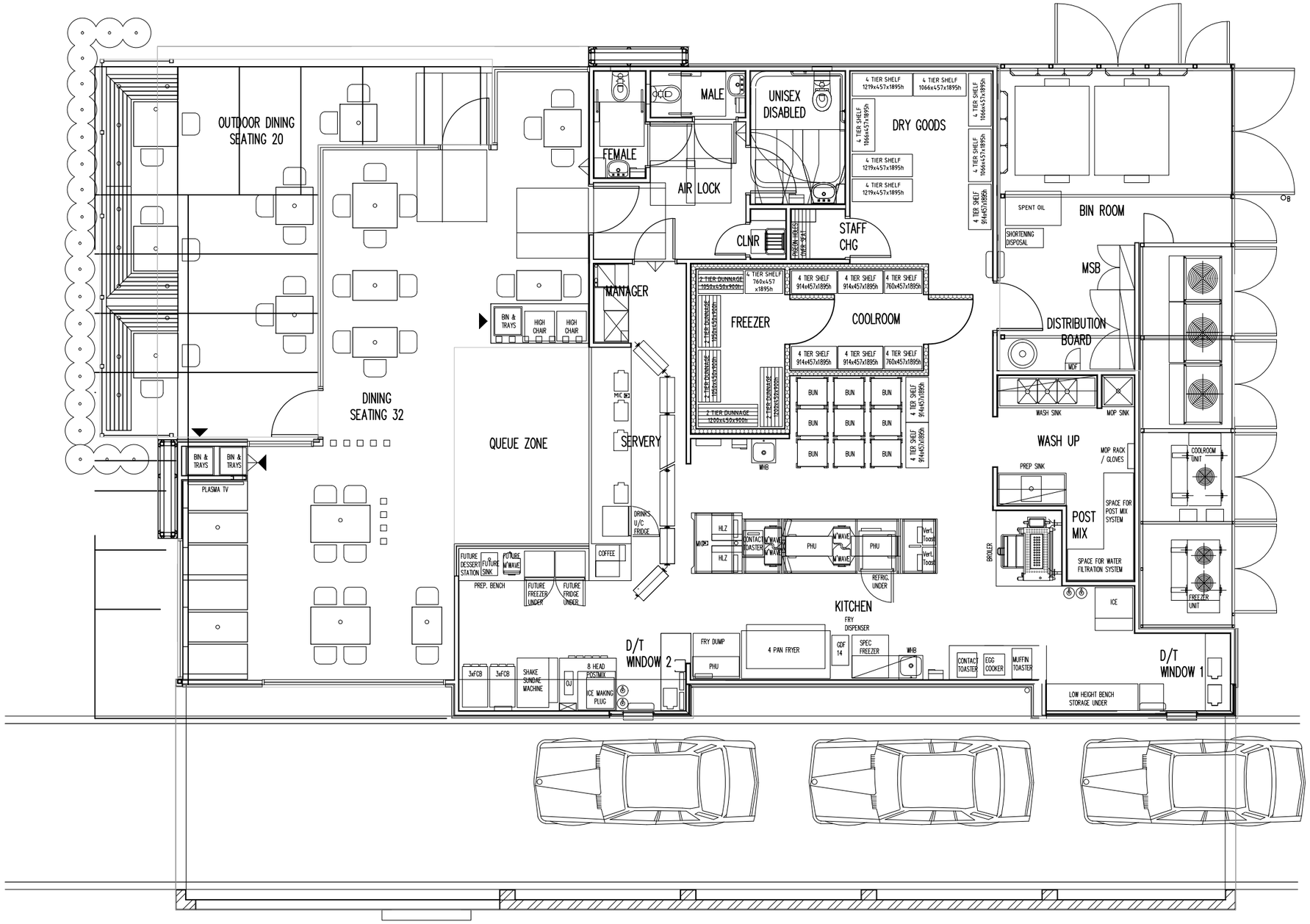
PROJECT
HUNGRY JACK'S BANKSIA GROVE
BANKSIA GROVE VILLAGE,
BANKSIA GROVE. W.A.

DRAWING
CONCEPT SITE SIGNAGE PLAN

DESIGN	RAMAKERS ARCH	DRAWN	RAH	SCALE 1:250@A3	DRAWING No. 2733/SK02	REV C
CHECKED	RAH	APPROVED	RAH	CLIENT JOB No. 2733		



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	B	24.10.14	REVISED ISSUE	RAH
	C	14.11.14	REVISED FLOORPLAN LAYOUT	GM
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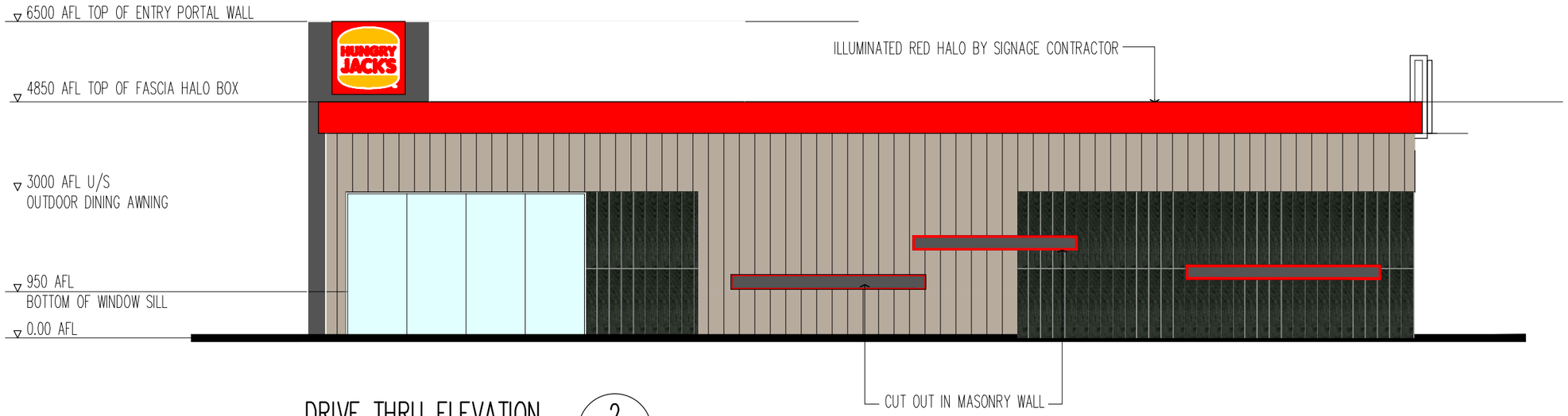
PROJECT
HUNGRY JACK'S BANKSIA GROVE
BANKSIA GROVE VILLAGE,
BANKSIA GROVE. W.A.

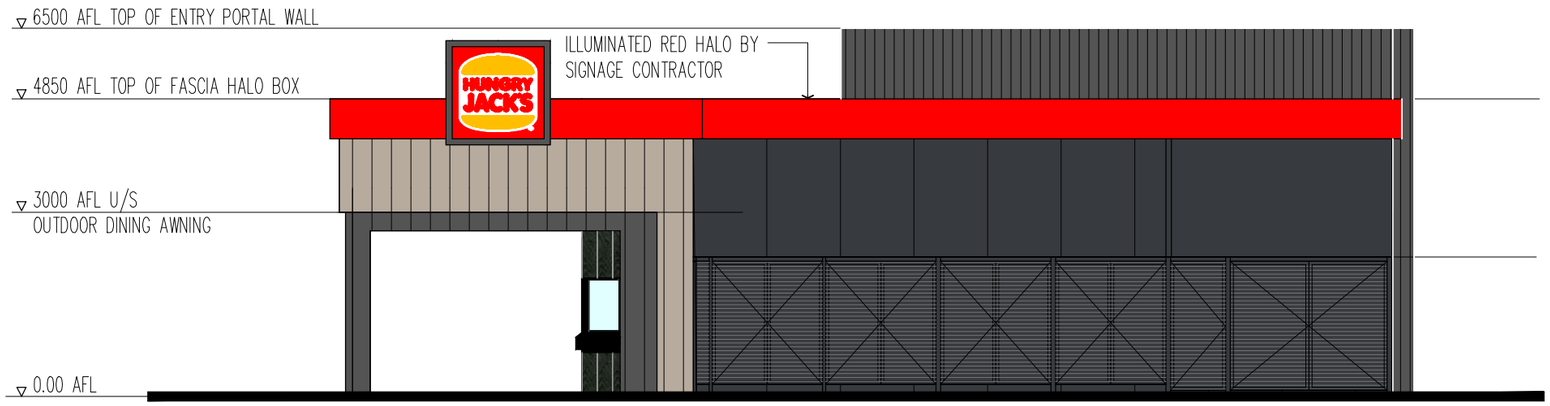
DRAWING
FLOOR PLAN

DESIGN RAMAKERS ARCH	DRAWN RAH	SCALE 1:100 @ A3	DRAWING No. 2733/SK03	REV C
CHECKED RAH	APPROVED RAH	CLIENT JOB No. 2733		



DRIVE THRU ELEVATION 2 –

1:100



REAR ELEVATION 3 –

1:100

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REV	DATE	AMENDMENT	DRW
A	22.10.14	INITIAL ISSUE	GM
B	24.10.14	REVISED ISSUE	GM
C	14.11.14	REVISED ELEVATION TO SUIT AMENDED FLOORPLAN	GM
D	14.11.14	RED HALO BOX NOMINATED	GM

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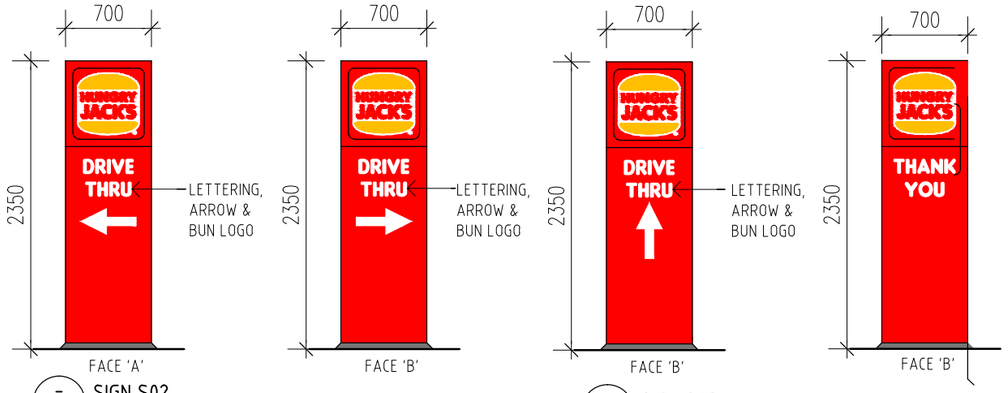
PROJECT
HUNGRY JACKS BANKSIA GROVE
BANKSIA GROVE VILLAGE
BANKSIA GROVE, WA 6031

DRAWING
PROPOSED ELEVATIONS
SHEET 2 OF 2

DESIGN RAMAKERS ARCH	DRAWN RAH	SCALE 1:100 (A3)	DRAWING No. 2733/SK05
CHECKED	APPROVED	CLIENT JOB No.	REV D

Attachment 5F

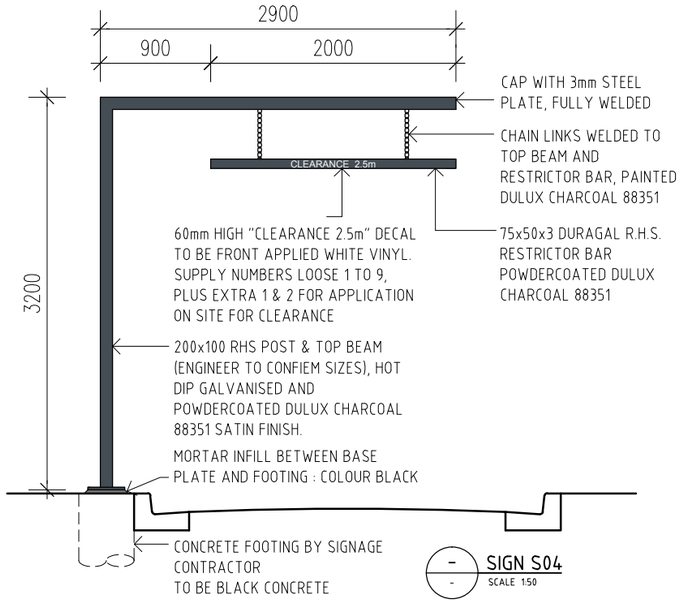


SIGN S02
SCALE 1:50

ILLUMINATED DIRECTIONAL SIGN, "DRIVE THRU"

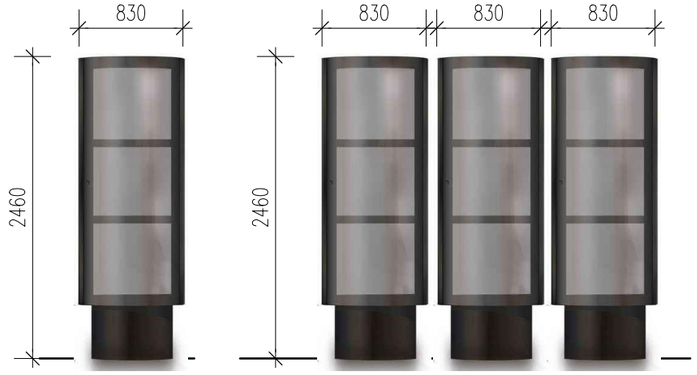
SIGN S03
SCALE 1:50

ILLUMINATED DIRECTIONAL SIGN, "DRIVE THRU"



SIGN S04
SCALE 1:50

NON-ILLUMINATED HEIGHT LIMIT BAR

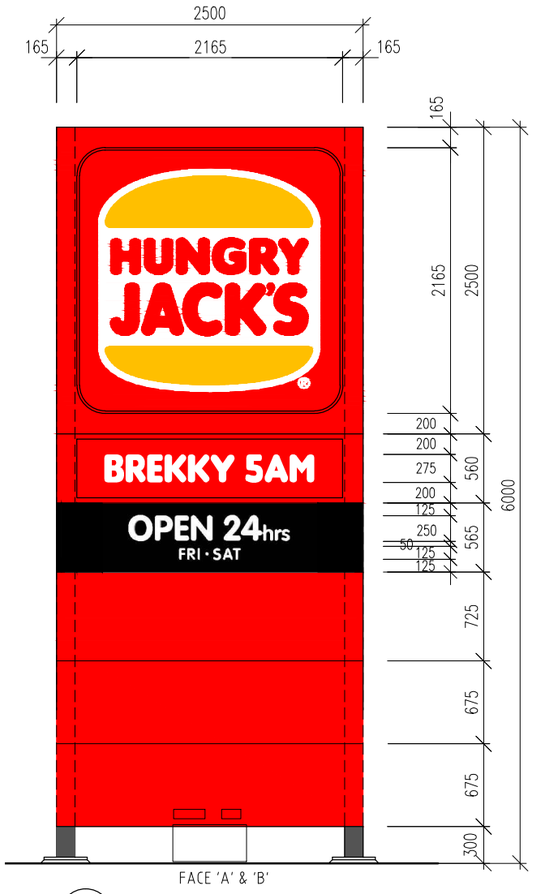


SIGN S05
SCALE 1:50

ILLUMINATED DRIVE THRU PRE-READER MENUBOARD. BUILDER TO INSTALL FOOTINGS.

SIGN S06
SCALE 1:50

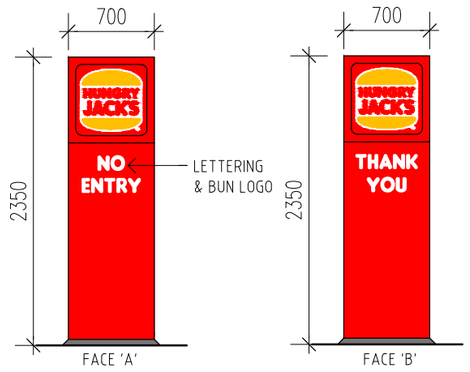
ILLUMINATED DRIVE THRU MENU BOARDS. BUILDER TO INSTALL FOOTINGS.



FACE 'A' & 'B'

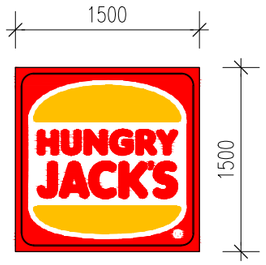
SIGN S01
SCALE 1:50

ILLUMINATED 6m HIGH MONOLITH PYLON SIGN 'OPEN 24hrs / BREKKY 5am / DRIVE THRU / BUN LOGO' BOTH SIDES



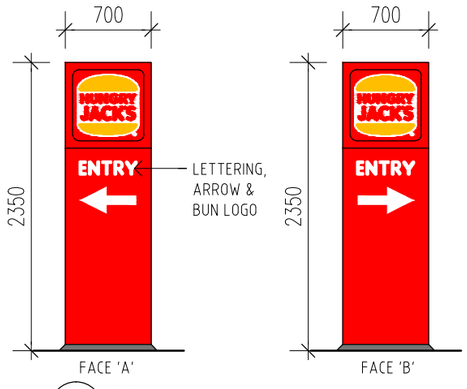
SIGN S07
SCALE 1:50

ILLUMINATED DIRECTIONAL SIGN



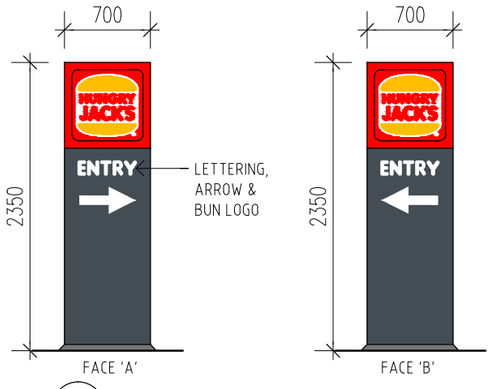
SIGN S08
SCALE 1:50

ILLUMINATED HUNGRY JACK'S BUN LOGO



SIGN S11
SCALE 1:50

ILLUMINATED DIRECTIONAL SIGN, "ENTRY"



SIGN S12
SCALE 1:50

ILLUMINATED DIRECTIONAL SIGN, "ENTRY"

SIGN S09
SCALE 1:50

ILLUMINATED 500mm HIGH WHITE LETTERSET ON PORTAL OVER MAIN ENTRY

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REV	DATE	AMENDMENT	DRW
A	18.10.14	SIGNAGE DETAILS	RAH
B	30.10.14	REVISED SIGNAGE DETAILS	GM
C	14.11.14	REVISED SIGNAGE DETAILS TO SUIT AMENDED BUILDING FOOTPRINT	GM

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RAMAKERS ARCHITECTS PTY LTD ABN 27 002 167 419
SUITE 3, 107-115 PACIFIC HIGHWAY, HORNSBY NSW 2077
TELEPHONE: (02) 9987 1888. FACSIMILE: (02) 9987 2111. EMAIL: admin@ramakers.com.au

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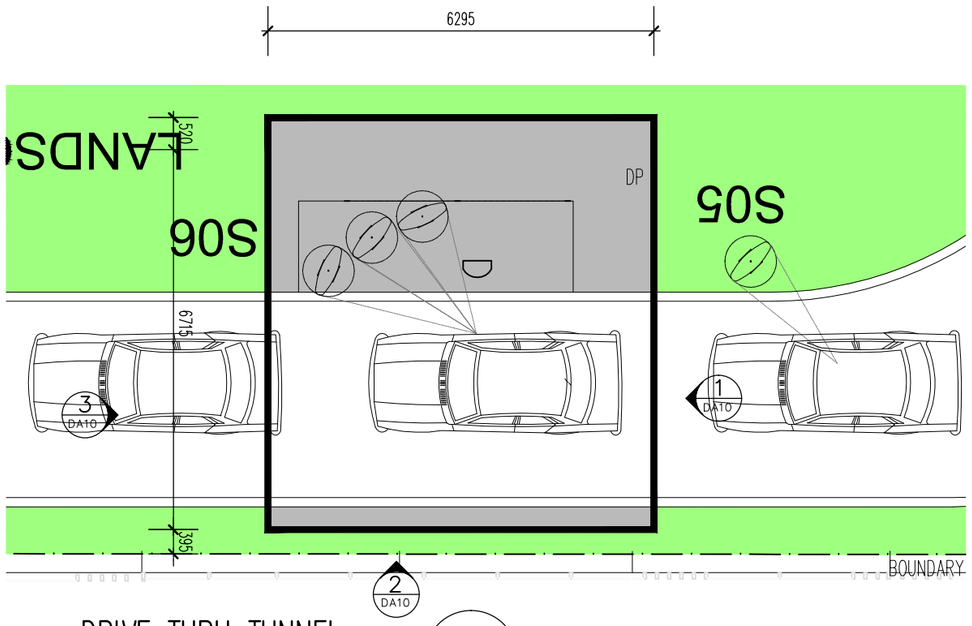
L6 - 100 WILLIAM STREET
WOOLLOOMOOLOO
NSW 2011

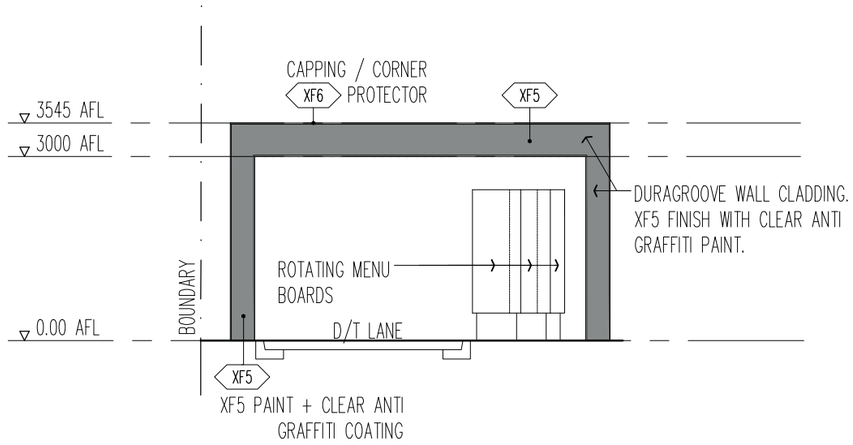
PROJECT
HUNGRY JACK'S BANKSIA GROVE
BANKSIA GROVE VILLAGE
BANKSIA GROVE. WA

DRAWING
SIGNAGE DETAILS

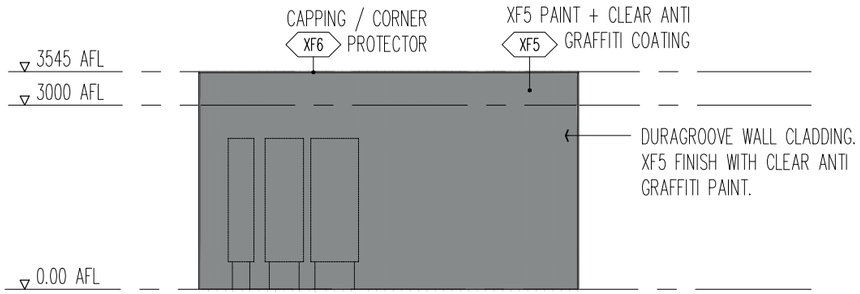
DESIGN	RAMAKERS ARCH	DRAWN	RAH	SCALE	1:50	DRAWING No.	REV
CHECKED		APPROVED		CLIENT JOB No.		2733/SK06	C



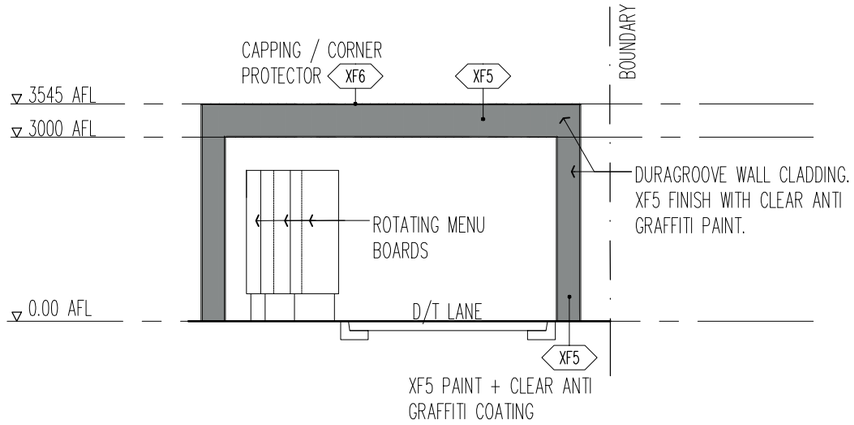
DRIVE THRU TUNNEL
1:100
–
–



FRONT ELEVATION
1:100
1
–



SIDE ELEVATION
1:100
2
–



BACK ELEVATION
1:100
3
–

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REV	DATE	AMENDMENT	DRW
A	14.11.14	INITIAL ISSUE	GM

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L6 - 100 WILLIAM STREET
WOOLLOOMOOLOO
NSW 2011

PROJECT
HUNGRY JACK'S BANKSIA GROVE
BANKSIA GROVE VILLAGE
BANKSIA GROVE, WA 6031

DRAWING
PROPOSED DRIVE THRU TUNNEL
PLAN & ELEVATIONS

DESIGN	DRAWN RAH	SCALE 1:100 @ A3	DRAWING No. 2733 / SK08	REV A
CHECKED	APPROVED	CLIENT JOB No.		

No.	Summary of Submission	Administration Comment	Recommendation
1.	**Elzbieta & Jerzy Skiba** **24 Collanda Circuit** **CARRAMAR WA 6031**		
1.1	Does not support the 24 hour Drive Through Food Outlet as it will increase noise and traffic in the area. Submitter is concerned that there will be a constant stream of vehicle lights flashing into their bedroom window resulting from vehicles exiting the subject land.	Noted. A Drive Through Food Outlet is an appropriate use in the Commercial zone. In relation to traffic, a comprehensive traffic report was submitted during the assessment of the Stage 1 application for the Banksia Grove Town Centre, in which this tenancy was proposed as a Take-Away Food Outlet. The increase in traffic associated with the change of use to a Drive Through Food Outlet can be comfortably be accommodated within the existing road network. In relation to noise, the development will be required to comply with the *Environmental Protection (Noise) Regulations 1997*. The submitters residence is situated approximately 40 metres from the intersection of Pinjar Road and the access driveway to the Banksia Grove Town Centre. The location of this access driveway was identified on the ASP 65 structure plan map and	No modification required.

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		approved as part of the Stage 1 application. The existing verge planting along this stretch of Pinjar Road consists of Callistemon (bottlebrush), which could ultimately grow to a height between 1.5 metres to 4 metres (currently they are approximately 0.7 metres high). It is acknowledged that the submitter could be affected by vehicle lights exiting the Banksia Grove Town Centre, however, it is noted that there are already approved land uses (including a 24 hour 7 day per week Drive Through Food Outlet) which may also contribute to light spill from vehicles exiting the development. Additionally, tenancy T02 is currently approved as a Take Away Food Outlet. There is nothing to prohibit this use from operating on a 24 hour 7 day basis. The only difference between the currently approved use and proposed use is the drive through aspect, however, this difference is not considered to be a deterrent to customers driving to the Take Away Food Outlet and walking inside during	

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		the night. Therefore it is entirely feasible light spill impacts could occur as a result of the existing approved Take Away Food Outlet use and are not solely associated with the proposed change of use to a Drive Through Food Outlet.	
1.2	The proposed development will increase rubbish pollution in the area.	Noted. The proponent has provided the City with an operational statement for the proposed development. Regular litter patrols of the dining areas and immediate car park will be undertaken with private waste collection occurring twice per week. In addition, daily patrols of the surrounding area will be performed to manage litter generated by the proposed development.	No modification required.
1.3	The proposed development will create constant odours.	Noted. Hungry Jacks employ specially designed mechanical exhaust systems in their design which satisfy the Building Code of Australia and Australian Standard 1668.2-2012: *The use of mechanical ventilation and air-conditioning in buildings*. The development would also be required to comply with the *Environmental Protection Act 1986* with respect to emissions.	No modification required.

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1.4	Food waste will attract insects and pests.	Noted. All waste from the store will be collected on a twice weekly basis by a private contractor. In addition, Hungry Jacks stores install automatic insect spray throughout the restaurant and kitchen areas. The development would also be required to comply with the City's Health Local Law 1999 which requires owners and occupiers of premises to ensure food waste is stored in a rodent proof receptacle or compartment and to take appropriate action to effectively eradicate pests.	No modification required.
1.5	Submitter suggests that a solid brick wall should be constructed along Pinjar Road/Collanda Circuit to divide the residential area from the commercial development.	Dismissed. Measures such as noise abatement walls are considered for new sensitive land uses in close proximity to major transport corridors and/or railway lines, as defined by State Planning Policy 5.4: Road and Rail Transport Noise and Freight Considerations in Land Use Planning (SPP 5.4). SPP 5.4 cannot be applied retrospectively.	No modification required.
2.	**Kyle Miller** **zandarl@hotmail.com**		
2.1	Submitter supports the proposed development and comments it will provide a greater choice of food to choose from and ensure a single operator will not monopolise trade within the area.	Noted.	No modification required.

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3.	**Melissa Sanders** **melissasanders@live.com.au**		
3.1	Submitter is opposed to the proposed development and comments another Hungry Jacks is situated in Wanneroo. Submitter suggests healthier options be considered.	Noted. The existing Hungry Jacks in Wanneroo is situated approximately 5km from the subject site. The fact that there is already a Hungry Jacks located in Wanneroo does not restrict the ability for the proponent to apply for another outlet in Banksia Grove. A Drive Through Food Outlet is an 'A' (discretionary subject to advertising) land use in the Retail Core Precinct of the Banksia Grove Town Centre. The proposed land use falls within the District Planning Scheme No. 2 land use definition for a Drive Through Food Outlet and therefore is capable of approval. The nutritional value of food sold from a Drive Through Food Outlet is not a valid planning consideration.	No modification required.
4.	**Joellen McBlane** **mcblane@iinet.com.au**		
4.1	Submitter is opposed to the development and considers that there are sufficient McDonalds and Hungry Jacks around. Submitter comments that if another fast food outlet is required, perhaps KFC, Red Rooster or Subway would be better options, as McDonalds and Hungry Jacks are too similar.	Noted. Please see response to 3.1 above.	No modification required.