

(PROPOSED) - EDGEWATER
District Planning Scheme No.2
Amendment No. 14

LEGEND



BOUNDARY OF AMENDMENT
ZONE AREA

SCALE 1: 2000



LOCAL SCHEME RESERVES



PARKS AND RECREATION



PUBLIC USE

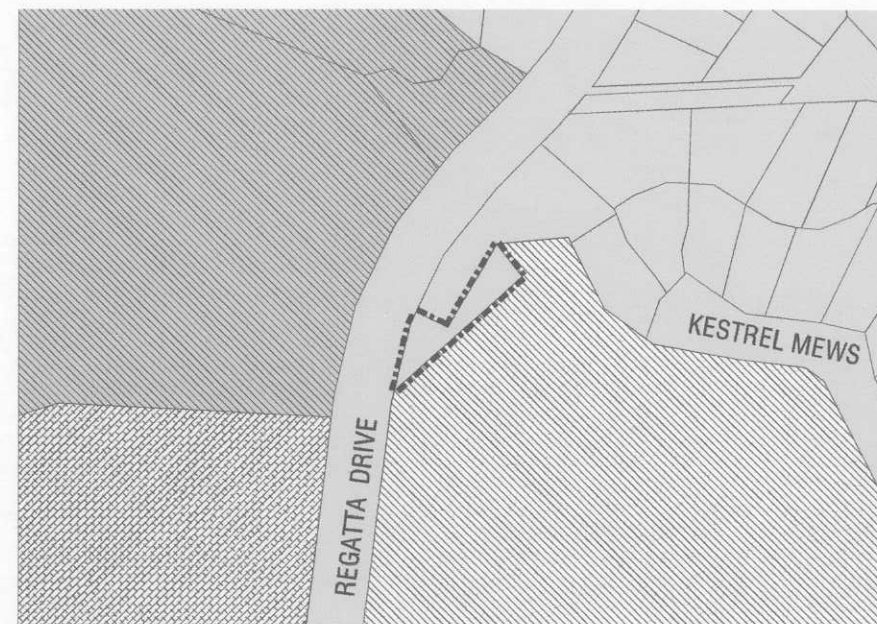
ZONES



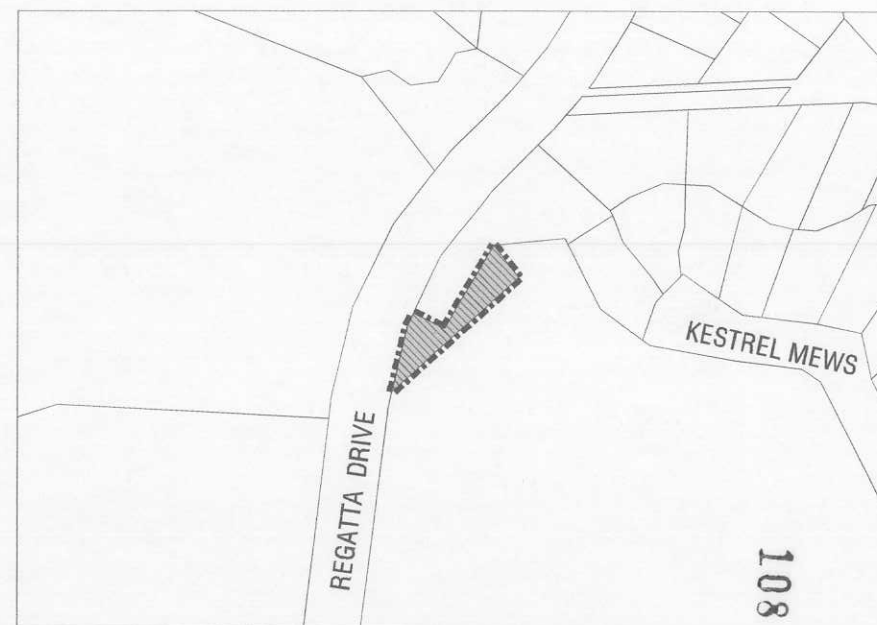
RESIDENTIAL



CIVIC AND CULTURAL



EXISTING ZONING



SCHEME AMENDMENT

(PROPOSED) - DUNCRAIG
District Planning Scheme No.2
Amendment No. 14

LEGEND



BOUNDARY OF AMENDMENT
ZONE AREA

METROPOLITAN REGION SCHEME RESERVES



PRIMARY REGIONAL ROADS

ZONES



RESIDENTIAL



CIVIC AND CULTURAL

SCALE 1: 4000



LOCAL SCHEME RESERVES



PARKS AND RECREATION



PUBLIC USE



EXISTING ZONING



SCHEME AMENDMENT



City of
Joondalup

(PROPOSED) - GREENWOOD
District Planning Scheme No.2
Amendment No. 14

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BOUNDARY OF AMENDMENT
ZONE AREA

METROPOLITAN REGION SCHEME RESERVES



LOCAL SCHEME RESERVES



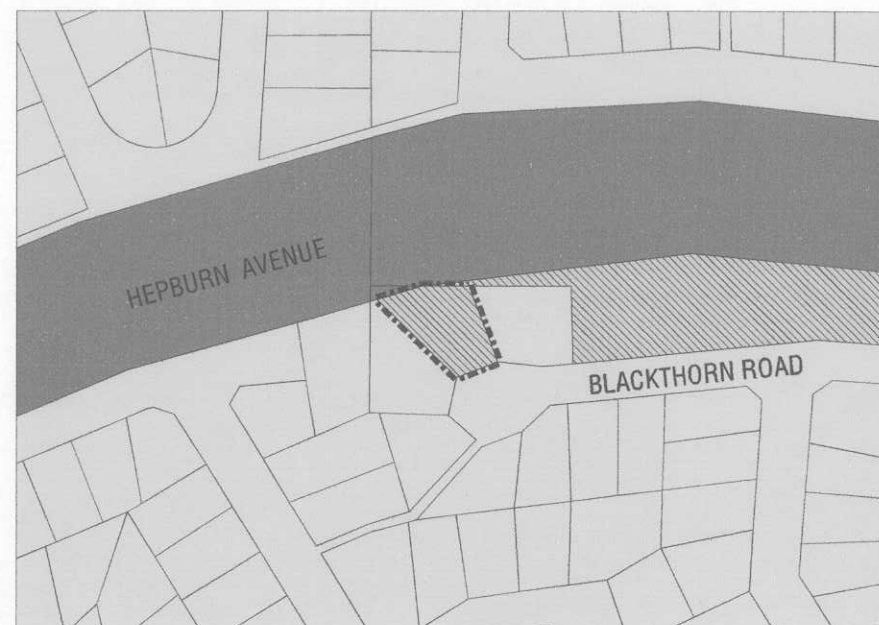
PARKS AND RECREATION

ZONES

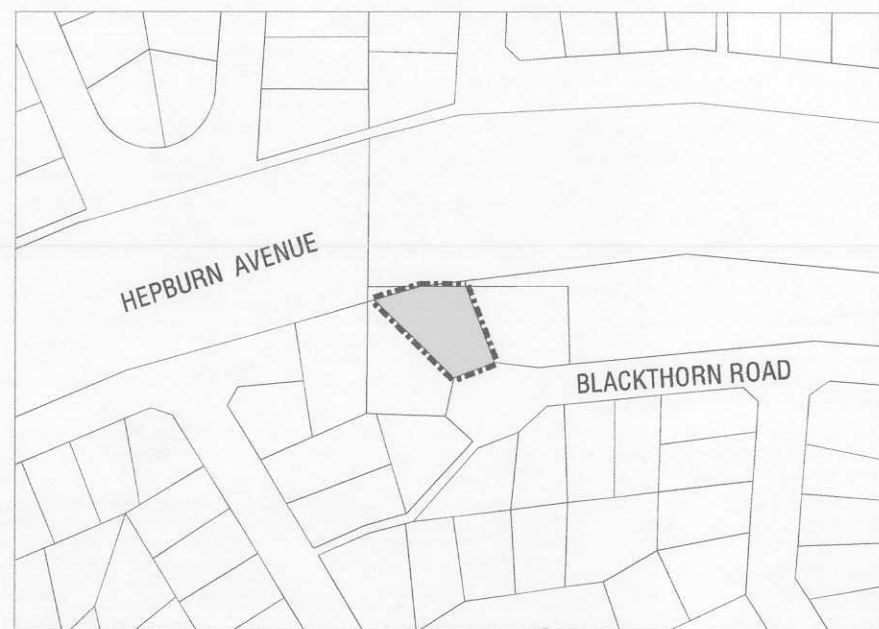


RESIDENTIAL

SCALE 1: 2000



EXISTING ZONING



SCHEME AMENDMENT



City of
Joondalup

(PROPOSED) - BURNS District Planning Scheme No.2 Amendment No. 14

LEGEND



SCALE 1: 3500



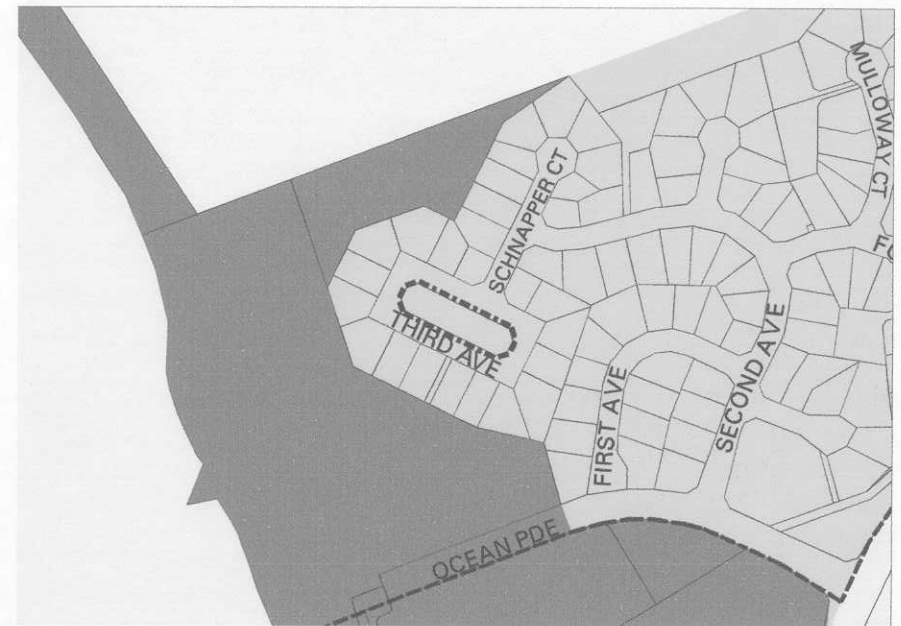
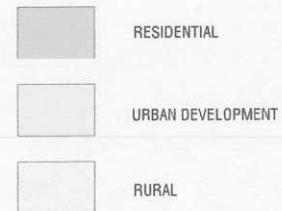
METROPOLITAN REGION SCHEME RESERVES



LOCAL SCHEME RESERVES



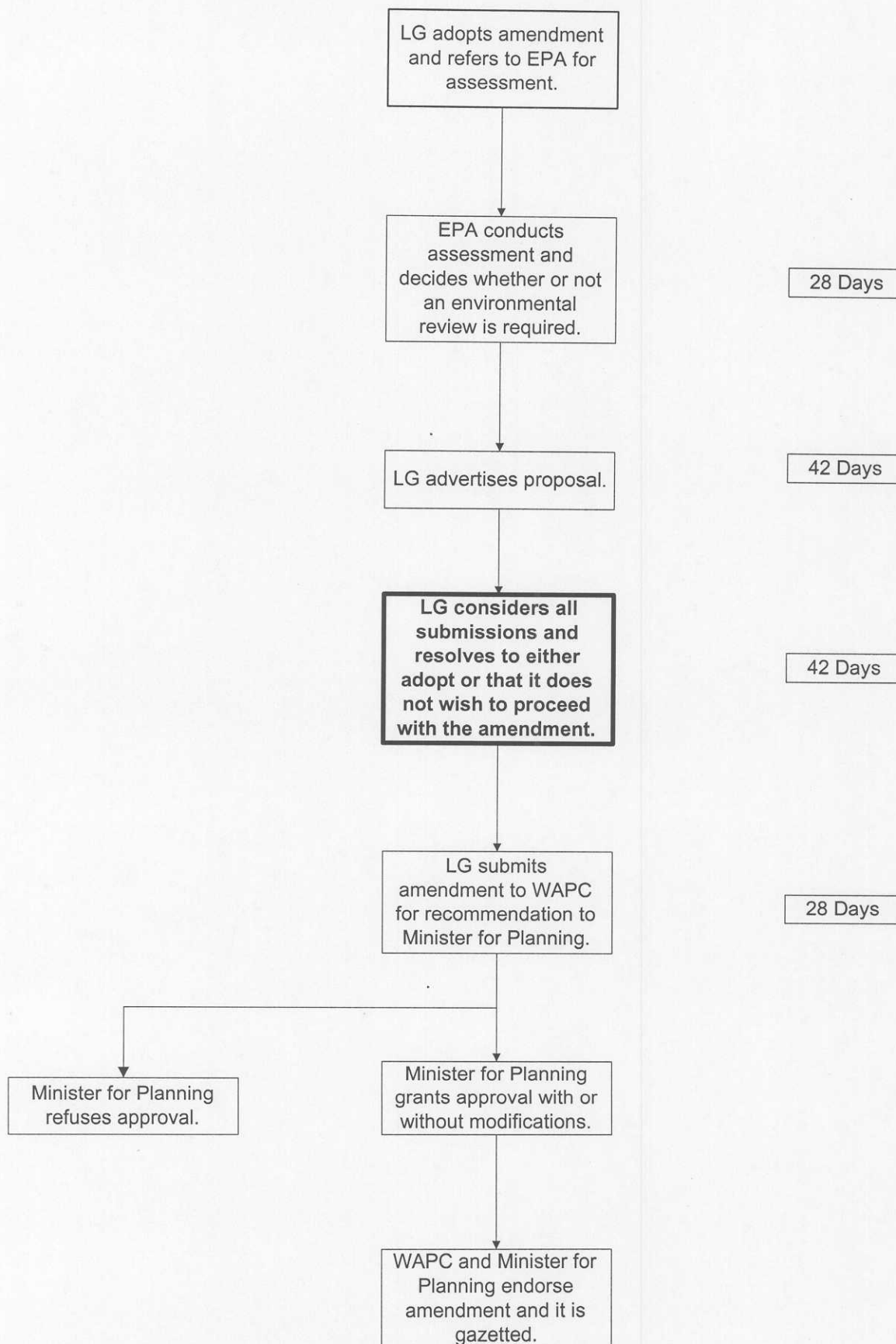
ZONES



EXISTING ZONING



SCHEME AMENDMENT

Scheme Amendment Process

AMENDMENT NO 14
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
(CLOSED 4 DECEMBER 2002)

NO	NAME OF SUBMITTOR	DESCRIPTION OF AFFECTED PROPERTY	SUBMISSION SUMMARY	COUNCIL'S RECOMMENDATION
1	J & K Hollywood	9 Third Avenue BURNS WA 6028	The land has always been a park and must stay a park. The land has never been gazetted as residential.	Agreed. The purpose of the rezoning is to ensure that this land parcel is zoned in accordance with its status as a local reserve.
2	R M & E L Slavin	11 Third Avenue BURNS WA 6028	We support the rezoning of Reserve 42216 (Loc 11539) Third Avenue, Burns for the benefit of all local residents as a park.	Noted.
3	J Atto	11 Alfreton Way DUNCRAIG WA 6023	<p>Non-support. Alfreton Way has one access in/out, the proposed rezoning would allow for a community centre/sports etc that would cause traffic problems in a narrow street.</p> <p>Devalue house prices as this type of development cause antisocial behaviour, traffic and noise problems.</p> <p>Would be better to rezone area to have access via Glengarry Drive.</p> <p>Alfreton Way currently has problems with cars/hoons around our area. We don't need to complicate the matter.</p>	<p>Noted. These issues relate to impacts that any future development may have upon the lot and not the rezoning proposal itself, as no material change to the land will occur as a result of the proposed rezoning. The rezoning proposal for Lot 70 Alfreton Way, Duncraig is to be removed from Amendment 14.</p> <p>Property devaluation is not considered a relevant planning consideration. In respect to antisocial behaviour, traffic and noise problems, refer above comment.</p> <p>Gazetted road access to the lot is via Alfreton Way. Should any future development be proposed, consideration may be given to vehicular access via Glengarry Drive.</p> <p>Noted.</p>
4	D Barnes	4 Third Avenue BURNS WA 6028	Support the rezoning of Reserve 42216 (Loc 11539) Third Avenue, Burns to Local Reserve – Parks and Recreation.	Noted.
5	G Clark	46 Castlefern Way	Non-support. Rezoning will destroy natural	These issues relate to impacts that any future

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		DUNCRAIG WA 6023	bush setting which is home to diversified wildlife and reduction of amenity enjoyed. Close proximity to school – concern for minors.	development may have upon the lot and not the rezoning proposal itself, as no material change to the land, including removal of native vegetation, traffic increases, noise, antisocial behaviour etc will occur as a result of the proposed rezoning. The rezoning proposal for Lot 70 Alfreton Way, Duncraig is to be removed from Amendment 14.
6	B & R Wilborn	20 Alfreton Way DUNCRAIG WA 6023	Non-support. Any change to the zoning of this land at this time is unnecessary. Any intentions for this land must be given serious consideration. If Council informs its ratepayers as to what use this land may be put, and what is not permitted under the intended zoning, we may be prepared to give out support.	Refer comment in 3 above. No use or development is proposed for the land. Table 1 of DPS2 lists the land uses that may/may not be considered under the 'Civic and Cultural' zone, which is available to the public via all public libraries, at the City's administrative centre, customer service centre at the Whitfords shopping centre and via the City's internet site.
7	M & J Sala	26 Alfreton Way DUNCRAIG WA 6023	Non-support. The absence of any plan for alteration or development upon the lot would indicate any change to its zoning at this time is unnecessary. If Council informs its ratepayers as to what use this land may be put, we may be prepared to give our support.	The rezoning proposal for Lot 70 Alfreton Way, Duncraig is to be removed from Amendment 14. Refer to comments in submission 6 above.
8	G Jones	19 Alfreton Way DUNCRAIG WA 6023	Non-support. A civic and cultural centre will detract from the natural beauty of the bush, increase traffic and noise, visual pollution (road signs) and have negative effects upon the school including increased traffic, parking problems, vandalism and other risks (strangers in the area).	Refer to comments in submission 5 above. No development, including a civic and cultural centre, is proposed for the site.
9	J & E Allen	43 Alfreton Way DUNCRAIG WA 6023	Non-support. Rezoning means the building of a centre of significance, with traffic additional to school traffic, danger to	Refer comments in submission 5 and 8 above.

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			school children, loss of natural bush, vandalism and access restriction of Alfreton Way (one in/out). Request the City rezone the land to 'conservation'.	It is not recommended that the land be zoned 'conservation' for reasons outlined within the body of the report.
10	A & C Stuart	7 Alfreton Way DUNCRAIG WA 6023	Non-support. Unhappy about the prospect of a community centre or the like being built, in regard to increase traffic flow and noise, noise from persons attending the centre, vandalism, antisocial behaviour and children's safety. If a centre is needed, place the building at Malene Park.	Refer comments in submission 5 and 8 above. Noted.
11	DA & JM Giacomini	45 Alfreton Way DUNCRAIG WA 6023	Non-support. Rezoning will allow the future location of a community facility. Community facility not suitable in Alfreton Way as resultant increase in traffic flow would create hardship for residents of the street. Issue of antisocial behaviour impacts upon residents by persons attending the facility.	Noted. Refer comments in submission 5 and 8 above.
12	B & L Barwick	12 Alfreton Way DUNCRAIG WA 6023	Non-support. Location of driveway will cause traffic noise. Vehicular access to the area will cause residential security concerns and vandalism. Alfreton Way has restricted access in /out. Increase in traffic and human activity will increase the chance of an accident and personal attacks from visitors to the location. Often disturbed by antisocial behaviour in the school grounds and Alfreton park.	Noted. Many of these issues relate to development upon the site. Refer comment in submission 5 above.

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			<p>Disruption would increase. Development of a civic centre/meeting place/car park etc would see Alfreton Way turn into a pedestrian and vehicular thoroughfare causing increased antisocial behaviour, including lighting of fires. Rezoning will affect property values.</p> <p>Upgrading of Alfreton Park and removal of weeds. Purchased our property because of security and it is a quiet street. If a carpark is proposed, has Council considered the area to the south of the school (corner Glengarry and Doveridge Drives). Why have only a few residents in the street received written notification when a large number will be affected.</p> <p>There are enough Council facilities nearby to accommodate sporting, social events and community groups. Acknowledge this is only a rezoning phase, but find it difficult to accept that Council has no plans for development in the future.</p>	<p>Property devaluation is not considered a relevant planning consideration. Not a matter being considered as part of this rezoning proposal. Noted.</p> <p>Noted. No car park is proposed.</p> <p>Consultation undertaken meets statutory requirements and sought to notify as many residents as possible through forwarding written notification to all abutting landowners, sign on site, newspaper advertisements and the City's web site. Refer community consultation section of the report. Noted.</p> <p>Noted. Council has no current plans for the site.</p>
13	Marmion Sorrento Duncraig Progress & Ratepayers Assoc (Inc)	c/o 79 Clontarf Street SORRENTO WA 6020	<p>Non-support. Until such time as a definite proposal for the area is before Council, it is premature to rezone this area. When such a proposal comes forward, the community will have the opportunity to assess the value of the proposal.</p>	<p>Rezoning proposal for Lot 70 Alfreton Way, Duncraig is to be removed from Amendment 14.</p> <p>Noted.</p>

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			If the proposal is supported, then the rezoning can occur. If not supported, Council is not engaged in unnecessary deliberation or effort.	In considering this rezoning proposal, amongst others, Council will undertake deliberations.
14	G & E Miller	12 Third Avenue BURNS WA 6028	Council should be mindful that Burns residents are in need of parks and recreational facilities. We are opposed to additional parking facilities on the Burns beachfront. Keep up the good work.	Noted. Noted. Not a matter being considered as part of this rezoning proposal. Noted.
15	W W & C D Heinz	18 Doveridge Drive DUNCRAIG WA 6023	Non-support. No logical or justifiable reason to rezone the area. Proposal is impractical, creating increased traffic flow past Glengarry primary school, Foston Drive and Alfreton Way. Rezoning will spoil the current parkland by opening the way for future development.	Noted. Refer to justification rationale presented within the body of the report. Refer comments in submission 5 above. Noted. Refer comments in submission 5 and 11 above.
16	J & L Borszeky	37 Alfreton Way DUNCRAIG WA 6023	Non-support. Why were all of the residents in Alfreton Way not contacted and asked to comment. What is proposed to be built on the existing reserve? Cites increased traffic and safety of children.	Noted. Refer comments in submission 12 above. Refer comments in submission 6 above. Refer comments in submission 5 above.
17	EK Ling & L Tan	41 Alfreton Way DUNCRAIG WA 6023	Non-support. Proposed community centre will create increase in vehicular traffic, use of car parks as meeting places, antisocial behaviour, vandalism to private property and the school and destruction of natural bushland. There are ample community facilities in the area.	Refer comments in submission 5 above. Noted.
18	G Nikoloff	9 Alfreton Way DUNCRAIG WA 6023	Non-support. Will increase traffic, car parking, antisocial behaviour, vandalism	Refer comments in submission 5 above.

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			and destruction of bushland.	
19	K Eagling & C Peche	8 Third Avenue BURNS WA 6028	Support the rezoning of Reserve 42216 (Loc 11539) Third Avenue, Burns to Local Reserve – Parks and Recreation.	Noted.
20	M Dickie	23 Alfreton Way DUNCRAIG WA 6023	Non-support. Generation of additional traffic due to access restriction of Alfreton Way. Several uses that are permitted in the 'Civic and Cultural' zone are inappropriate in a predominantly residential area next to a school. No immediate need for the land for community purposes nor a stated use. If land is to be rezoned for a specific purpose, it should be a restricted use zone.	Refer comments in submission 5 above. Noted. Refer comments in submission 6 above. Noted. Use of the restricted use zoning is not recommended for reasons set out within the body of the report.
21	D & V Wilkie	8 Bernard Manning Drive DUNCRAIG WA 6023	Non-support. Rezoning directly affects children who attend Glengarry primary school, as the land backs directly onto the schools land. Do not want a community hall, toilet block or similar, citing vandalism, graffiti, broken glass, children's safety.	Refer comments in submission 5 and 6 above. Noted.
22	CA & LJ Tremlett	1 Third Avenue BURNS WA 6028	Support the rezoning of Reserve 42216 (Loc 11539) Third Avenue, Burns to Local Reserve – Parks and Recreation.	Noted.
23	B Baddock & H Akerstrom	18 Alfreton Way DUNCRAIG WA 6023	Non-support. Rezoning will affect property values. Increase in vehicular and pedestrian traffic, destruction of natural bushland, antisocial behaviour, vandalism, reckless/dangerous driving, and noise emissions. Road safety audit and traffic impact analysis should be conducted.	Property devaluation is not considered a relevant planning consideration. Refer comments in submission 6 above. Council may request road safety and traffic impact analysis during consideration of a

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			Location is not suitable for proposed zoning or building of a facility of any kind. There are ample community facilities in the area.	development proposal upon the land. Noted. Noted.
24	T & L Elkington	4 Alfreton Way DUNCRAIG WA 6023	Non-support. Rezoning will increase vehicular traffic, reduce children's safety, provide a meeting place, antisocial behaviour, vandalism, and destruction of bushland. Rezoning will affect property values. There are ample community facilities in the area.	Refer comments in submission 5 above. Property devaluation is not considered a relevant planning consideration. Noted.
25	R Morgan	No address specified.	Comment would be easier if the proposed use driving the rezoning were also available. Increase in vehicular traffic in Alfreton Way would not be desirable as it is used by many school children. The school look after the bush very well.	Refer comments in submission 6 above. Refer comments in submission 5 above. Noted.
26	M & S Weimann	18 Foston Drive DUNCRAIG WA 6023	Non-support. Why should it be rezoned if there are no plans for it, conversely if there are plans for it once rezoned, what are they and why have they not been made available. Increase in vehicular traffic, attraction of increased vehicle hooliganism in the neighbourhood, antisocial behaviour (graffiti/vandalism) and destruction of native bushland. There are ample community facilities in the area.	Refer comments in submission 6 above. Refer comments in submission 5 above. Noted.
27	B & D Fullwood	21 Foston Drive	Non-support. Rezoning will see this area	Refer comments in submission 6 above.

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		DUNCRAIG WA 6023	used for any type of community or social activity, plans for which are not disclosed or apparently available. Increase in vehicular traffic, attraction of increased vehicle hooliganism in the neighbourhood, antisocial behaviour (graffiti/vandalism) and destruction of native bushland. There are ample community facilities in the area.	Refer comments in submission 5 above. Noted.
28	J Van Poelgeest	39 Hayfield Way DUNCRAIG WA 6023	Non-support. Loss of bushland, loss of amenity enjoyed from the area. Seeks as much bushland being preserved in the area	Noted. Refer comments in submission 5 above. Noted.
29	L Alderson on behalf of Glengarry Primary School P & C Association	Glengarry Primary School 25 Doveridge Drive DUNCRAIG WA 6023	Concerned that safety and security of children will be breached by development upon the site. Concern over antisocial activities created by development, including arson vandalism and substance abuse. Many people use the land as an accessway to the school grounds via Alfreton Way, with many using Alfreton Way as a pick up/drop off point, taking pressure off other roads. Development will reduce children's safety who use this route. Retaining natural bushland as a study resource. Rezoning is not in harmony with its surroundings. Retain current zoning.	Refer comments in submission 5 above. Refer comments in submission 5 above. Noted. Noted. Noted. Refer comments in submission 5 above.
30	J Thomas	32 Foston Drive DUNCRAIG WA 6023	Non-support. Little to no improvement or development of recreational facilities in the area. Construction of a recreational facility will increase traffic and vandalism.	Noted. Refer comments in submission 5 above. Refer comments in submission 12 above.

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			Disappointed that the City only contacted residents in Alferton Way, as those residents living on the approach roads will be adversely affected as well. There are ample sporting and social facilities in the area.	Noted.
31	A Morgan	39 Alferton Way DUNCRAIG WA 6023	Proposed rezoning is an insane idea. Why destroy valuable bushland unnecessarily? Why increase already excessive vandalism of Glengarry primary school? Why put school children at risk walking or cycling to and from school? We do not want an increase in traffic on our street. Rezoning will allow Council to erect a community centre or other facility. Exactly what is to be erected? How can you expect the community not object to the unknown? Why is there a need for such a facility? The residents do not want strangers in their area. Facility will create antisocial behaviour, youths congregating in car parking areas and vandalism.	Refer comments in submission 5 above. Refer comments in submission 6 above. Refer comments in submission 5 above.
32	Department of Education Asset Services Branch	Glengarry Primary School 25 Doveridge Drive DUNCRAIG WA 6023	Non-support. Under the Civic and Cultural zone there are a number of potential uses, such as a fast food outlet, cinema, restaurant and theatre that are totally incompatible with the existing school. The Department would only support uses that are compatible with the school such as a child care centre or kindergarten. Any use that would draw the general public to Lot 70 could generate potential vandalism problems	Refer comments in submission 5, 6 and 20 above. Given the lot size, such landuses suggested in the submission are highly unlikely to be physically hosted upon the lot.
33	135 signature Petition	Presented by BR Barwick	We the undersigned object to any rezoning	Refer comments in submission 5 above.

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		12 Alfretton Way DUNCRAIG WA 6023	<p>considerations being considered at Lot 70 Alfretton Way, Duncraig by the City of Joondalup on the following grounds;</p> <p>Unnecessary destruction of urban virgin bushland.</p> <p>Increase in pedestrian and vehicular traffic in the immediate local and surrounding areas.</p> <p>Foreseeable damage to Government and residential property through antisocial and criminal behaviour.</p> <p>Increase in antisocial activities both during day and night hours.</p>	
34	P Algar	c/o: Glengarry Primary School 25 Doveridge Drive DUNCRAIG WA 6023	<p>I take great issue with the short notice, given by a hidden sign on Alfretton. Here are the reasons why it is a big mistake to place any sort of recreation facility on the bushland next to the school –</p> <ol style="list-style-type: none"> 1. This area of natural bushland can never be restored to what it is. It supports a vast diversity of plants akin to that of Hepburn Heights. Therefore it is a haven to what native insects, reptiles and birds are left. 2. Children need to know what their natural bushland is about. We cannot always be rushing classes off to other areas. 3. A green belt is necessary next to the school, as it is already close to the freeway and receives negative air pollution readings. 4. We are concerned that, as a recreation facility is hidden from the main road, there will be illegal dealings here – 	<p>Refer comments in submission 5, 6 and 29 above (Glengarry Primary School P & C Association).</p> <p>Noted.</p> <p>Noted.</p> <p>Noted.</p> <p>Noted. Refer comments in submission 5 above.</p>

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		<p>hence affecting the school and local residents.</p> <p>5. There are better areas available, such as Melene Park.</p> <p>Changing the status of the bushland is a CRIME. It is short-sighted and smacks of a political ploy. I am one of many concerned residents who sees it for what it is.</p> <p>It is fortunate that I was out walking because I would never have known of the rape of this bushland through a letter drop to my house.</p>	<p>Noted.</p> <p>The rationale behind the proposed rezoning is presented within the body of the report.</p> <p>Refer comments in submission 12 above.</p>
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