

JOONDALUP CITY CENTRE STRUCTURE PLAN 2009

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CITY OF JOONDALUP
13/11/2008

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PART 1 – PRELIMINARY

1.1 Title

This is the Joondalup City Centre Structure Plan 2009.

1.2 Commencement

Under clause 9.8.1 of the Scheme this Structure Plan comes into operation on the date it is adopted by the Commission pursuant to clause 9.6.1 of the Scheme.

1.3 Terms used in this Structure Plan

(1) In this Structure Plan, unless the contrary intention appears:

“**Building Area No.1**” means that part of the Central Core Zone shown as Building Area No. 1 on the Central Core Building Height Plan;

“**Building Area No.2**” means that part of the Central Core Zone shown as Building Area No. 2 on the Central Core Building Height Plan;

“**Central Core Building Height Plan**” means the plan set out in Appendix 2 to this Structure Plan;

“**colonnade**” means an open area in front of the ground floor of a building which comprises only columns which support a first floor.

“**communal space**” means an open space or part of a building which is set aside for the recreational use of the occupants of the dwellings in a common development, and does not include driveways or car parking;

“**forecourt**” means an open area on the ground floor in front of a building’s entrance.

“**landscape**” means to develop with garden beds, shrubs, trees and lawn, and with such features as rockeries and ornamental ponds;

“**loft**” means a habitable or non habitable space contained wholly within the roof of a building including space served by dormer windows but excludes that habitable or non habitable space if served by a balcony or terrace;

“**masonry**” means stone, concrete or brick but does not include metal, timber or fibro cement;

“**Scheme**” means the *City of Joondalup District Planning Scheme No. 2*;

“**storey**” means a space within a building extending from one floor of the building to the floor above (or if there is no floor above between the floor and the ceiling or roof) and does not include a basement, mezzanine or loft;

“Structure Plan Area” means the land to which this Structure Plan applies;

“Structure Plan Map” means the map set out in Appendix 1 to this Structure Plan;

“Structure Plan Report” means the structure plan report set out in Appendix 4; and

“visually permeable” has the same meaning as is given in the Codes.

- (2) Unless otherwise provided in this Structure Plan, words and expressions defined in the Scheme have the same meaning when appearing in this Structure Plan.

1.4 Effect of this Structure Plan

This Structure Plan is intended to have effect as if included in the Scheme.

1.5 Area to which this Structure Plan applies

This Structure Plan applies to the land shown on the Structure Plan Map.

1.6 Repeal

The Joondalup City Centre Development Plan Manual which has the status of an Agreed Structure Plan by virtue of clause 9.13.1 of the Scheme, is repealed.

1.7 Proponent

For the avoidance of doubt, the proponent of this Structure Plan is the City of Joondalup.

1.8 Relevance of the Structure Plan Report

The Structure Plan Report is declared to be a relevant document for the purposes of section 19 of the Interpretation Act 1984.

Part 2 – Objectives and Provisions applying to the Structure Plan Area

2.1 Additional objectives applying to the Structure Plan Area

The additional objectives applying to the Structure Plan Area are:

(1) Urban structure

- (a) to establish an urban structure that creates a desirable and appropriate location for a wide range of city centre land uses;
- (b) to provide a robust urban structure that can adapt to changing land uses and intensity of development over time;
- (c) to establish and reinforce Zones with common built form, land use and spatial characteristics;
- (d) to reinforce key views and vistas along major streets and to major parkland elements; and
- (e) to emphasise and reinforce the following pedestrian routes:
 - (i) the north-south path between Grand Boulevard and Davidson Terrace; and
 - (ii) the east-west path along the northern edge of Central Park.

(2) Land use

- (a) to create and sustain a compact, intensive and lively City Centre that is an active and attractive focus for the community;
- (b) to provide for, and encourage, a broad range of land uses to complement and reinforce the function of Joondalup as the strategic regional centre for the north west corridor;
- (c) to provide for, and encourage, land uses that deliver a high density of workers, residents and visitors;
- (d) to establish a diversity of retail and commercial uses, and leisure opportunities that generate day and evening activity; and
- (e) to minimise potential conflicts between different land uses.

(3) Built form

- (a) to encourage a scale and civility of built form that reflects the City Centre's status as Perth's strategic regional centre for the north west corridor;
- (b) to provide a transition of building heights between Zones;

- (c) to encourage significant developments and other visual cues to aid pedestrian movement in the urban environment;
- (d) to encourage high standards of built form that promote a strong sense of architectural identity;
- (e) to encourage innovative building design that adds visual interest, enrichment and texture to the streetscape through the cohesive composition of building materials, roof form, entries, stairways, windows, balconies and other architectural features; and
- (f) to encourage the delivery of a high quality urban environment that encompasses public art, street furniture, landscaping, signage and pavements, that provide a cohesive urban environment at a human scale.

(4) Street interface

- (a) to ensure buildings relate to the street and optimise the physical and visual interaction between developments and the surrounding environment in order to contribute to an attractive and positive streetscape experience;
- (b) to promote pedestrian activity, comfort and safety by providing shade, shelter and passive surveillance;
- (c) to avoid runs of blank wall more than 10 metres wide without major openings at ground floor level adjacent to a street, park or pedestrian route; and
- (d) to establish clearly identifiable building entrances that are distinctly visible from the street.

(5) Occupant amenity

- (a) to ensure that development promotes a high quality living and work environment for occupants;
- (b) to avoid undue negative impact on the enjoyment of adjoining occupants, within the context of an inner-city urban environment; and
- (c) to avoid mixing land uses and activities in close proximity that are incompatible.

(6) Pedestrian movement, safety and amenity

- (a) to ensure a high standard of pedestrian amenity and comfort in the urban environment;
- (b) to contribute to a safe and secure environment, both during the day and night;

- (c) to reduce the opportunities for crime through the application of the Designing Out Crime Planning Guidelines dated June 2006 and published by the Commission; and
- (d) to minimise the opportunity for graffiti & vandalism through adoption of:
 - (i) graffiti-resistant materials or coatings;
 - (ii) irregular building texture finishes;
 - (iii) controlling access to potential graffiti surfaces;
 - (iv) lighting;
 - (v) maintaining sightlines and visibility from public spaces to provide passive surveillance; and
 - (vi) avoiding large expanses of wall.

(7) Public spaces and landscape elements

- (a) to create an attractive city with well-landscaped streets, parks and open space that enhances the quality and experience of the public realm;
- (b) to establish an interconnected street and public open space network;
- (c) to retain and enhance the existing indigenous flora and fauna characteristics of a site wherever possible;
- (d) to promote the use of drought-tolerant and low-maintenance plants, and avoid plant species which are likely to spread into the surrounding natural environment;
- (e) to encourage the adoption of water wise design principles; and
- (f) to utilise deciduous vegetation in climatically-sensitive areas where summer shade and winter sun are desirable.

(8) Public art

- (a) to encourage originality, innovation and excellence in a range of different art forms;
- (b) to encourage public art which is site-specific, relating to the use and identity of the building or public open space within the broader context of the City of Joondalup;
- (c) to encourage public art which tells a story about the history or the culture of the place in which the art is located;
- (d) to design public art which is robust, durable and will retain its quality over time; and

- (e) to ensure public art takes into account public safety considerations.

(9) Public transport

- (a) to encourage public transport use by locating residential dwellings, tourist accommodation and commercial activity next to public transport;
- (b) to maximise the number of residents and workers that can be accommodated in the city centre; and
- (c) to locate intense land use, and activities with high visitation rates, close to public transport services.

(10) Vehicular movement

- (a) to avoid creating dead-end roads or loop roads that enter and exit from the same street;
- (b) to maximise the provision of on-street parking, wherever it is safe to do so, in order to reduce vehicle speeds;
- (c) to access car parking from a rear lane, where available, rather than the street; and
- (d) to minimise the number of vehicular crossovers in order to provide pedestrian and streetscape amenity.

(11) Parking

- (a) to seek a balance between providing sufficient car parking bays to stimulate economic activity and providing so many bays that car use is encouraged at the expense of public transport and pedestrian movement;
- (b) to promote short-term on-street parking where it is highly accessible, efficient and encourages a high turnover of use;
- (c) to provide safe, convenient and comfortable pedestrian routes to, and within, car parks;
- (d) to encourage the sharing of crossovers and other access points between neighbouring developments; and
- (e) to provide secure bicycle parking in conjunction with end of trip facilities within buildings.

(12) Services

- (a) to allow for the appropriate provision of services and servicing;

- (b) to locate delivery docks and service yards that are screened from view from the public domain; and
- (c) to integrate service infrastructure into the overall design of the building.

(13) Resource conservation

- (a) to create a more energy-efficient urban environment;
- (b) to reduce dependency on private car travel and encourage the use of less energy consumptive travel modes such as cycling and walking;
- (c) to balance the needs of resource conservation with other good urban design principles; and
- (d) to ensure development respects the climatic conditions of a site by:
 - (i) orientating openings and designing eaves so as to minimise summer heat gain and winter heat loss;
 - (ii) designing the development to take advantage of cooling breezes and maximise opportunities for passive cross ventilation;
 - (iii) minimising the impact of shade on adjacent land uses and areas; and
 - (iv) utilising other features such as verandahs, solar pergolas, sky lights, double glazed windows and double brick construction to optimise elements of passive solar design.

2.2 Provisions applying to all Zones

(1) Application of this clause

This clause applies to development in any of the Zones referred to in this Structure Plan.

(2) Vehicle parking and access

- (a) Car parking and access must be designed and constructed in accordance with Australian Standard AS2890.1.
- (b) Vehicle access must be designed and constructed in accordance with Australian Standard AS2890.2.

(3) Parapets

- (a) A parapet must be provided to the edge of any roof with a pitch of less than 10 degrees except a roof of an outbuilding on land

developed solely for the purpose of a single house, grouped dwelling or multiple dwellings.

- (b) In paragraph (a) “outbuilding” has the same meaning given to it in the Codes.

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Part 3 – The Central Core Zone

3.1 Additional objectives of the Central Core Zone

The additional objectives of the Central Core Zone are:

- (a) to encourage a vibrant and attractive urban environment composed of high quality streetscapes defined by boundary to boundary buildings;
- (b) to encourage a high standard of built form that promotes a strong sense of architectural identity and adds visual interest, enrichment and texture to the streetscape;
- (c) to allow a broad range of appropriate land uses that encourages day and night activity;
- (d) to provide a built form and streetscape that encourages pedestrian activity and interaction between the street and the built form;
- (e) to provide alfresco dining in appropriate locations in accordance with a planning policy made under the Scheme;
- (f) to accommodate the tallest buildings in the Structure Plan Area; and
- (g) to encourage tourism through the provision of accommodation and entertainment facilities.

3.2 Provisions applying to the Central Core Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the Central Core Zone.

Footnote:

1. Under clause 3.18(6) of the Scheme the Codes do not apply to residential development in the Central Core Zone.

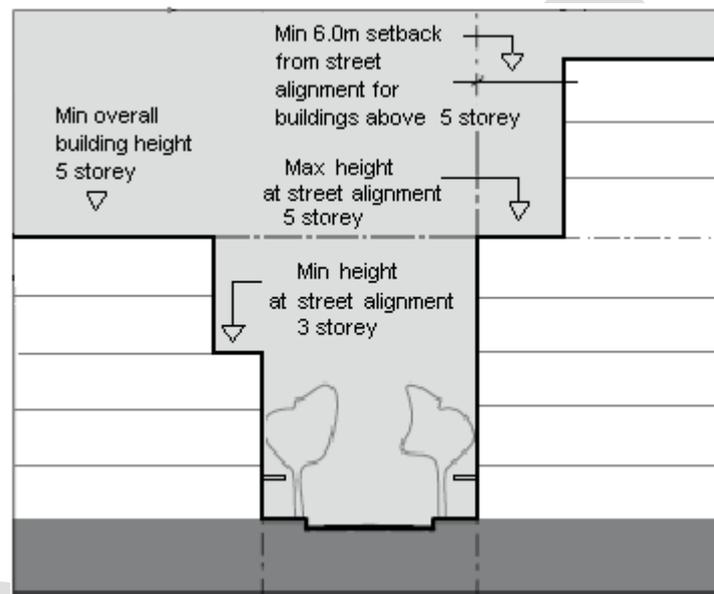
(2) Building height and setbacks in Building Area No. 1

- (a) This subclause applies to the development of land in Building Area No. 1.
- (b) A building must have a minimum of 5 storeys.
- (c) The first 3 storeys of a building must have a nil setback to the street alignment.
- (d) Paragraph (c) does not apply where that part of the land which does not have a nil setback is for the provision of:

- (i) a forecourt having a maximum area of 15m², a maximum depth of 3 metres and a maximum height to be no more than to the underside of the second floor of the building; or
 - (ii) a colonnade having a maximum depth of 4 metres.
- (e) Every part of a building above the fifth storey, other than a roof, balcony or outdoor living area must have a minimum setback of 6 metres from the street alignment.

Footnotes:

1. There is no maximum building height applicable to Building Area No. 1.
2. The figure set out below is an example of the application of this sub clause.

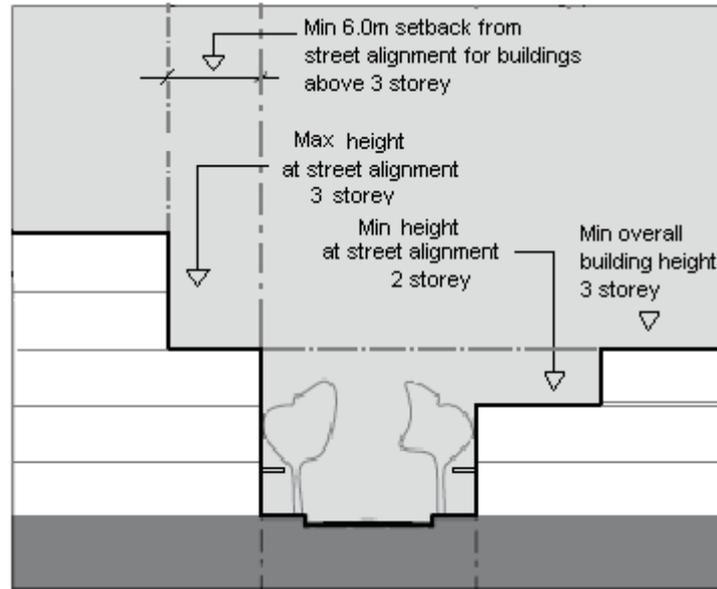
**(3) Building height and setbacks in Building Area No. 2**

- (a) This subclause applies to the development of land in Building Area No. 2.
- (b) A building must have a minimum of 3 storeys.
- (c) The first 2 storeys of a building must have a nil setback to the street alignment.
- (d) Paragraph (c) does not apply where that part of the land which does not have a nil setback is for the provision of:
 - (i) a forecourt having a maximum area of 15m², a maximum depth of 3 metres and a maximum height to be no more than to the underside of the second floor of the building; or
 - (ii) a colonnade having a maximum depth of 4 metres.

- (e) Every part of a building above the third storey, other than a roof, balcony or outdoor living area must have a minimum setback of 6 metres from the street alignment.

Footnotes:

1. There is no maximum building height applicable to Building Area No. 2.
2. The figure set out below is an example of the application of this sub clause.



(4) Side setbacks

The first 3 storeys of a building on the street alignment must have a nil setback to the side boundaries except to the extent that provision is made for a crossover or where an easement exists.

Footnote:

1. There is no minimum setback to the rear boundary.

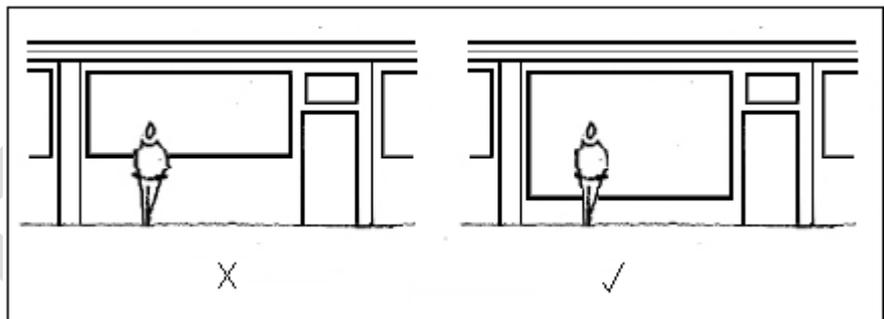
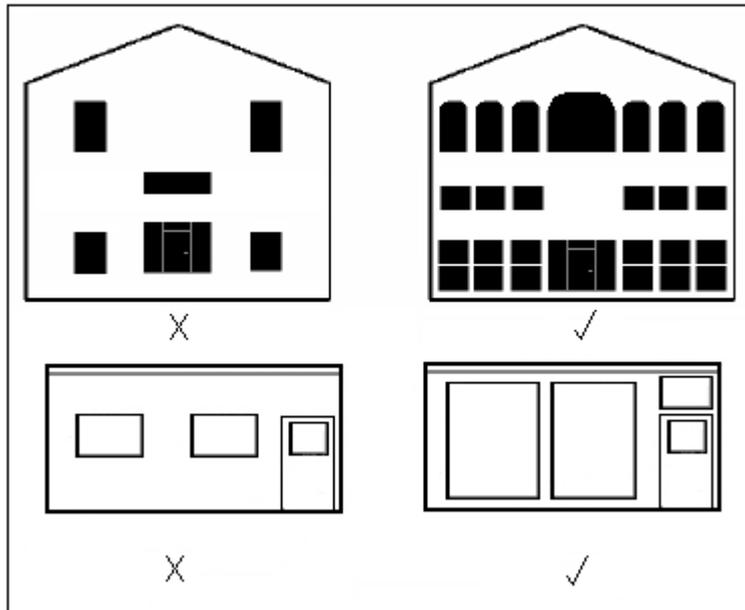
(5) Street frontages

(a) Ground Floor Façade

- (i) Not less than 50% of the area of the façade of the ground floor is to be glass windows or glass doors and the windows and doors must be a minimum of 75% of the width of the ground floor façade.
- (ii) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.
- (iii) The sill of a ground floor window must not be higher than 500mm above the finished floor level.
- (iv) Any security grill or shutter must be a minimum of 50% visually permeable and must not be located on the outside of a building.

Footnote:

1. The figure set out below is an example of the application of this sub clause.

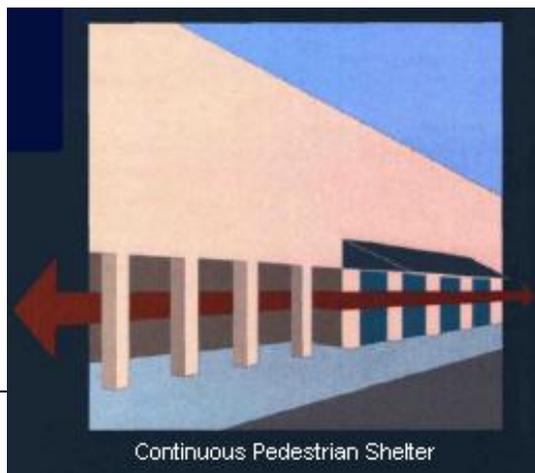


(b) Pedestrian Shelter

A building must provide a continuous pedestrian shelter along all street frontages to a minimum height of 3 metres and a minimum depth of 2 metres.

Footnote:

1. The figure set out below is an example of the application of this sub clause.



(c) Entrances

A minimum of one entrance to a building must be clearly visible and directly accessible from a street or pedestrian mall.

Footnote:

1. The figure set out below is an example of the application of this sub clause.

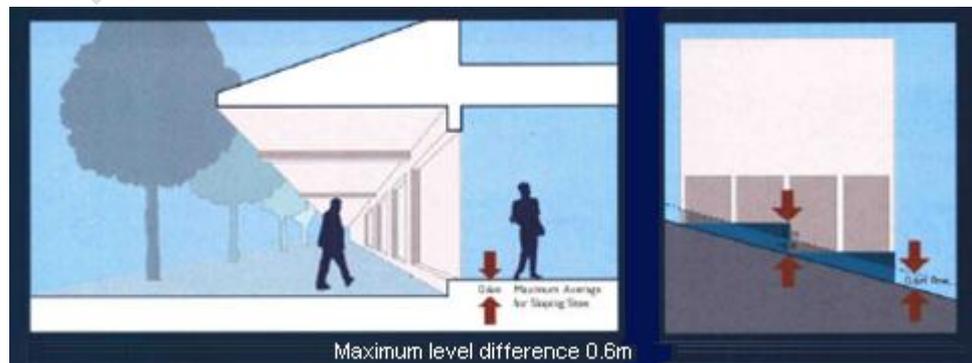


(6) Floor Levels

- (a) The average height of the floor level above the footpath at the street alignment must not exceed 0.6 metres.
- (b) The internal floor level is not to exceed 1.2 metres above level of the footpath.
- (c) In the case of a corner site, the average height difference will be calculated for the combined frontage to both streets.

Footnote:

1. The figure set out below is an example of the application of this sub clause.



(7) Open space

- (a) A dwelling must be provided with a courtyard or balcony having a minimum area of 10m² and having no dimension less than 2 metres.
- (b) Multiple dwellings of more than 5 dwellings must be provided with communal space having a minimum area of 50m² and having no dimension less than 5 metres.

(8) Incidental development

- (a) Multiple dwellings must be provided with a clothes drying area and that area must be screened from view from all streets by the building.
- (b) A dwelling must be provided with a minimum 4m² enclosed, lockable storage area, which is accessible from the outside of the dwelling and that storage area must be screened from view from all streets.

(9) Access and parking

(a) Access

If land adjoins a laneway then vehicular access must only be provided from the laneway.

(b) Car parking

- (i) The number of car parking bays to be provided for multiple dwellings and short stay accommodation is one parking bay per dwelling.
- (ii) The number of car parking bays to be provided for hotels is one parking bay per 3 bedrooms plus one bay per 30m² of net lettable area accessible to the public.
- (iii) The number of car parking bays to be provided for all development other than multiple dwellings, short stay accommodation or an hotel is one parking bay per 30m² of net lettable area.

(10) Servicing

- (a) A storage area for refuse and recyclable material must be provided on the land and the area must not be visible from any street.
- (b) Facilities must be provided on the land for the loading and unloading of service and delivery vehicles.

(11) Material and finishes

- (a) The walls of a building must be constructed of masonry or glass.

- (b) A concrete wall must be painted and provided with an articulated or detailed finish.

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Part 4 – The City Fringe Zone

4.1 Additional objectives of the City Fringe Zone

The additional objectives of the City Fringe Zone are:

- (a) to encourage an appropriate mix of uses which support and reinforce the educational and medical facilities within the Zone; and
- (b) to ensure large campus developments retain connectivity with the street.

4.2 Provisions applying to the City Fringe Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the City Fringe Zone.

Footnote:

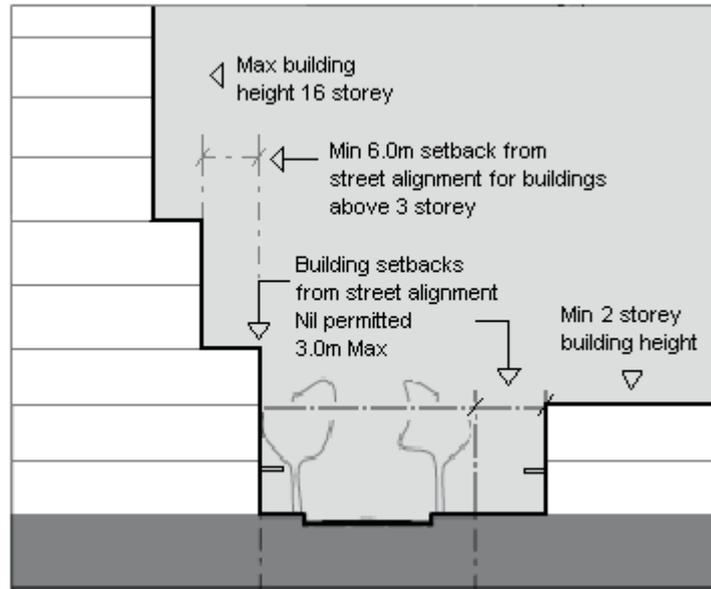
1. Under clause 3.19(5) of the Scheme the Codes do not apply to residential development in the City Fringe Zone.

(2) Building height and setbacks to street alignment

- (a) A building must have a minimum of 2 storeys.
- (b) The first 2 storeys of a building must have a maximum setback of 3 metres to the street alignment.
- (c) Notwithstanding paragraph (b) a building must have a nil setback to the street alignment of Shenton Avenue.
- (d) Paragraph (c) does not apply where that part of the land which does not have a nil setback is for the provision of:
 - (i) a forecourt having a maximum area of 15m², a maximum depth of 3 metres and a maximum height to be no more than to the underside of the second floor of the building; or
 - (ii) a colonnade having a maximum depth of 4 metres.
- (e) Every part of a building above the third storey, other than a roof, balcony or outdoor living area must have a minimum setback of 6 metres from the street alignment.
- (f) A building is not to have more than 16 storeys.

Footnotes:

1. There is no minimum setback to the side and rear boundaries.
2. The figure set out below is an example of the application of this sub clause.



(3) Open space

- (a) A dwelling must be provided with a courtyard or balcony having a minimum area of 10m² and having no dimension less than 2 metres.
- (b) Multiple dwellings of more than 5 dwellings must be provided with communal space having a minimum area of 50m² and having no dimension less than 5 metres.

(4) Incidental development

- (a) Multiple dwellings must be provided with a clothes drying area and that area must be screened from view from all streets by the building.
- (b) A dwelling must be provided with a minimum 4m² enclosed, lockable storage area, which is accessible from the outside of the dwelling and that storage area must be screened from view from all streets.

(5) Access and parking

(a) Access

If land adjoins a laneway then vehicular access must only be provided from the laneway.

(b) Car parking

- (i) The number of car parking bays to be provided for multiple dwellings and short stay accommodation is one parking bay per dwelling.

- (ii) The number of car parking bays to be provided for hotels is one parking bay per 3 bedrooms plus one bay per 30m² of net lettable area accessible to the public.
- (iii) The number of car parking bays to be provided for all development other than multiple dwellings, short stay accommodation or an hotel is one parking bay per 30m² of net lettable area.

(6) Servicing

- (a) A storage area for refuse and recyclable material must be provided on the land and the area must not be visible from any street.
- (b) Facilities must be provided on the land for the loading and unloading of service and delivery vehicles.

(7) Material and finishes

- (a) The walls of a building must be constructed of masonry or glass.
- (b) A concrete wall must be painted and provided with an articulated or detailed finish.
- (c) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.

Part 5 – The Mixed Use Corridor Zone

5.1 Additional objectives of the Mixed Use Corridor Zone

The additional objectives of the Mixed Use Corridor Zone are:

- (a) to promote mixed use development with an emphasis on the residential component in order to provide a transition to the Central Core Zone.

5.2 Provisions applying to the Mixed Use Corridor Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the Mixed Use Corridor Zone.

Footnote:

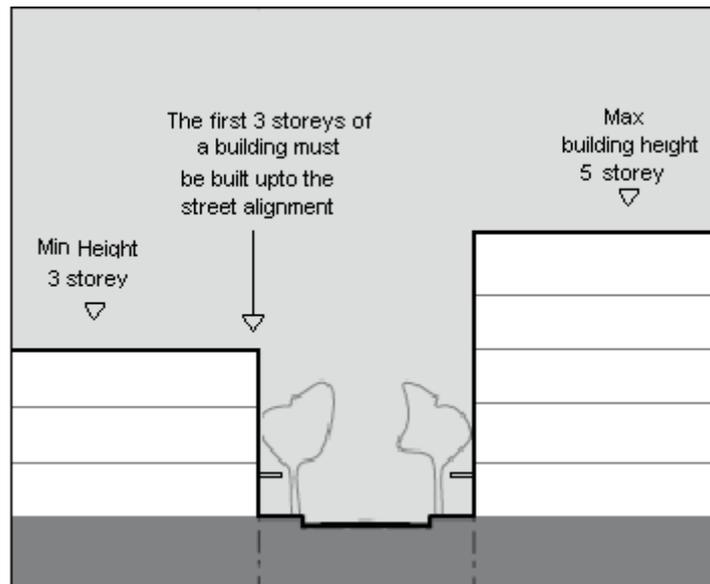
- 1. Under clause 3.20(6) of the Scheme the Codes do not apply to residential development in the Mixed Use Corridor Zone.

(2) Building height and setbacks to street alignment

- (a) A building must have a minimum of 3 storeys.
- (b) The first 3 storeys of a building must have a nil setback to the street alignment.
- (c) Paragraph (b) does not apply where that part of the land which does not have a nil setback is for the provision of:
 - (i) a forecourt having a maximum area of 15m², a maximum depth of 3 metres and a maximum height to be no more than to the underside of the second floor of the building;
or
 - (ii) a colonnade having a maximum depth of 4 metres.
- (d) A building is not to have more than 5 storeys.

Footnote:

- 1. The figure set out below is an example of the application of this sub clause.



(3) Side and rear setbacks

The first 3 storeys of a building on the street alignment must have a nil setback to the side boundaries except to the extent that provision is made for a crossover or where an easement exists.

Footnote:

1. There is no minimum setback to the rear boundary.

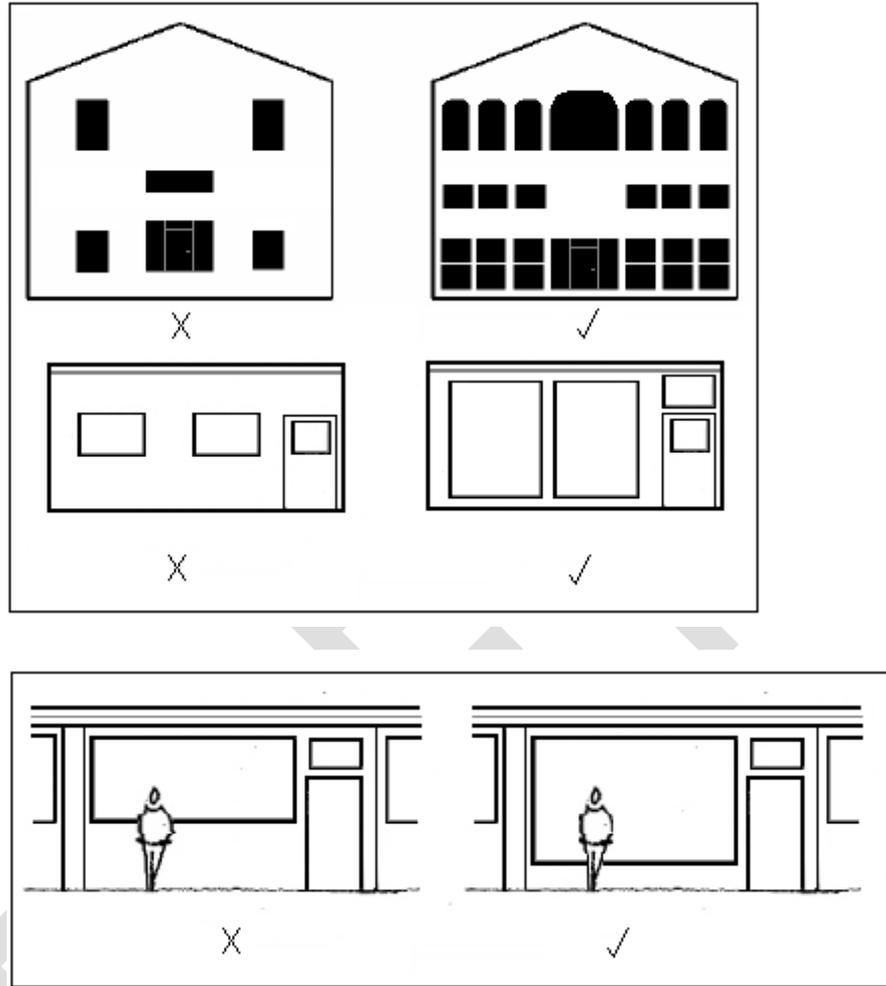
(4) Street Frontages

(a) Ground Floor Façade

- (i) Not less than 50% of the area of the façade of the ground floor is to be glass windows or glass doors and the windows and doors must be a minimum of 75% of the width of the ground floor façade.
- (ii) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.
- (iii) The sill of a ground floor window must be not higher than 500mm above the finished floor level.
- (iv) Any security grill or shutter must be a minimum of 50% visually permeable and must not be located on the outside of a building.

Footnote:

1. The figure set out below is an example of the application of this sub clause.

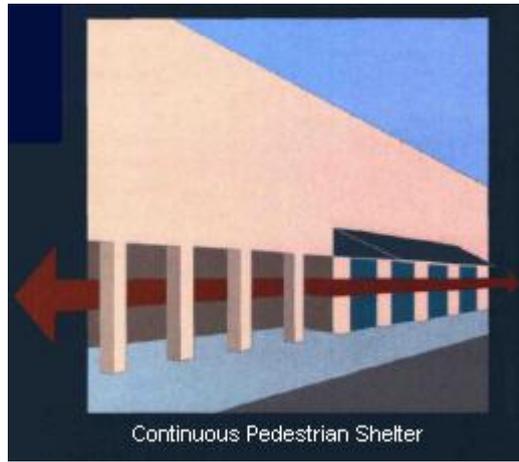


(b) Pedestrian Shelter

A building must provide a continuous pedestrian shelter along all street frontages to a minimum height of 3 metres and a minimum depth of 2 metres.

Footnote:

1. The figure set out below is an example of the application of this sub clause.

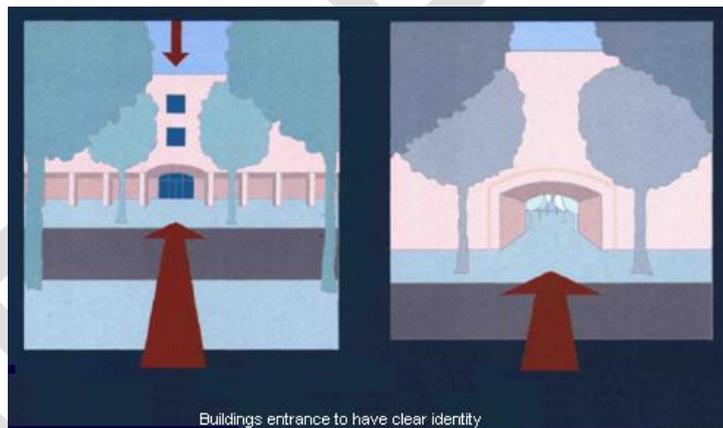


(c) Entrances

A minimum of one entrance to a building must be clearly visible, and directly accessible, from a street or pedestrian mall.

Footnote:

1. The figure set out below is an example of the application of this sub clause.

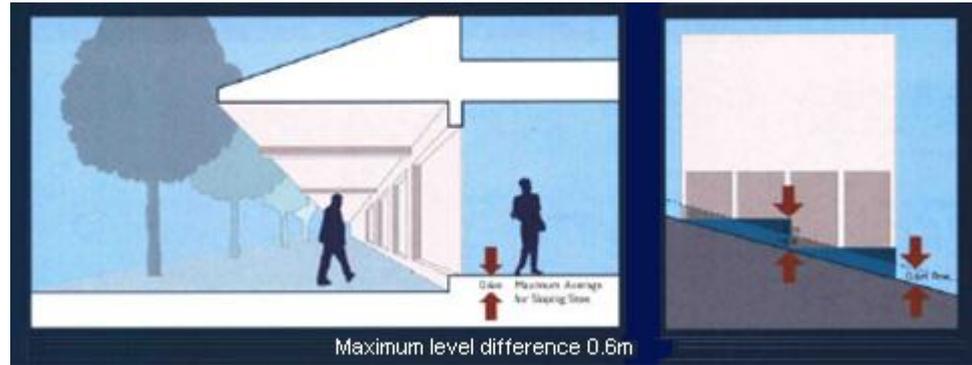


(5) Floor Levels

- (a) The average height of the floor level above the footpath at the street alignment must not exceed 0.6 metres.
- (b) The internal floor level is not to exceed 1.2 metres above level of the footpath.
- (c) In the case of a corner site, the average height difference will be calculated for the combined frontage to both streets.

Footnote:

1. The figure set out below is an example of the application of this sub clause.



(6) Open space

- (a) A dwelling must be provided with a courtyard or balcony having a minimum area of 10m² and having no dimension less than 2 metres.
- (b) Multiple dwellings of more than 5 dwellings must be provided with communal space having a minimum area of 50m² and having no dimension less than 5 metres.

(7) Incidental development

- (a) Multiple dwellings must be provided with a clothes drying area and that area must be screened from view from all streets by the building.
- (b) A dwelling must be provided with a minimum 4m² enclosed, lockable storage area, which is accessible from the outside of the dwelling and that storage area must be screened from view from all streets.

(8) Access and parking

(a) Access

If land adjoins a laneway then vehicular access must only be provided from the laneway.

(b) Car parking

- (i) The number of car parking bays to be provided for multiple dwellings and short stay accommodation is one parking bay per dwelling.
- (ii) The number of car parking bays to be provided for hotels is one parking bay per 3 bedrooms plus one bay per 30m² of net lettable area accessible to the public.
- (iii) The number of car parking bays to be provided for all development other than multiple dwellings, short stay

accommodation or an hotel is one parking bay per 30m² of net lettable area.

(9) Servicing

- (a) A storage area for refuse and recyclable material must be provided on the land and the area must not be visible from any street.
- (b) Facilities must be provided on the land for the loading and unloading of service and delivery vehicles.

(10) Material and finishes

- (a) The walls of a building must be constructed of masonry or glass.
- (b) A concrete wall must be painted and provided with an articulated or detailed finish.

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Part 6 – The Business Boulevard Zone

6.1 Additional objectives of the Business Boulevard Zone

The additional objectives of the Business Boulevard Zone are:

- (a) to provide for office and business sites that are accessible to public transport and convenience retailing and services;
- (b) to create vibrant lively pedestrian routes and public spaces; and
- (c) to ensure the built form frames the street and contributes to a strong built theme when entering the City Centre from main arteries.

6.2 Provisions applying to the Business Boulevard Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the Business Boulevard Zone.

Footnote:

1. Under clause 3.21(6) of the Scheme the Codes do not apply to residential development in the Business Boulevard Zone.

(2) Building height

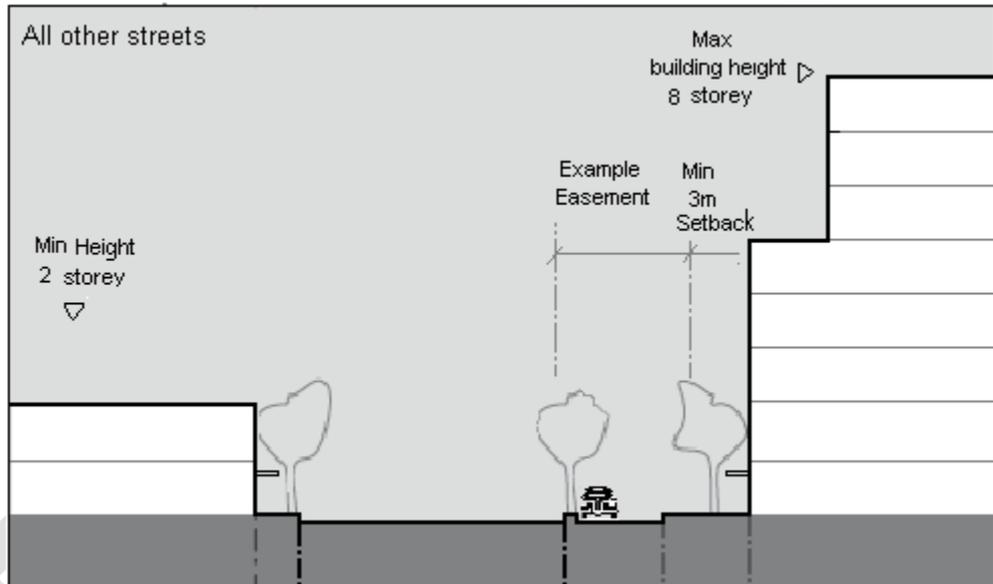
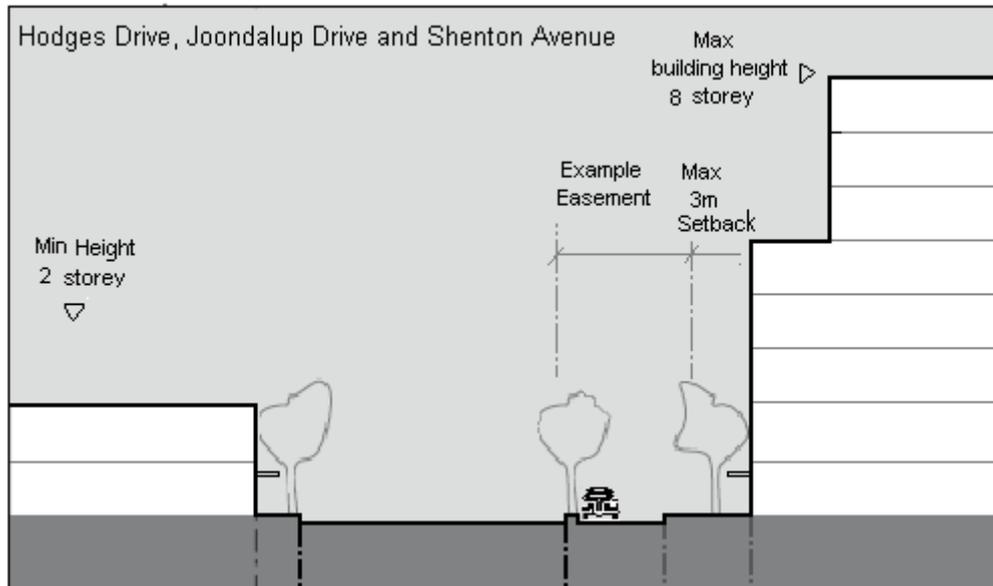
- (a) A building must have a minimum of 2 storeys.
- (b) A building is not to have more than 8 storeys.

(3) Setbacks

- (a) A building must have a minimum setback of 3 metres from all street alignments or vehicular easements.
- (b) Notwithstanding paragraph (a), a building must have a maximum setback of 3 metres from the street alignment to Hodges Drive, Joondalup Drive and Shenton Avenue or any vehicular access easement adjoining those streets.

Footnotes:

1. There is no minimum setback to the side and rear boundaries.
2. The figures set out below are examples of the application of this sub clause.



(4) Entrances

A minimum of one entrance to a building must be clearly visible, and directly accessible, from a street or pedestrian mall.

Footnote:

1. The figure set out below is an example of the application of this sub clause.



(5) Open space

- (a) A dwelling must be provided with a courtyard or balcony having a minimum area of 10m² and having no dimension less than 2 metres.
- (b) Multiple dwellings of more than 5 dwellings must be provided with communal space having a minimum area of 50m² and having no dimension less than 5 metres.

(6) Incidental development

- (a) Multiple dwellings must be provided with a clothes drying area and that area must be screened from view from all streets by the building.
- (b) A dwelling must be provided with a minimum 4m² enclosed, lockable storage area, which is accessible from the outside of the dwelling and that storage area must be screened from view from all streets.

(7) Car parking

- (a) The number of car parking bays to be provided for multiple dwellings and short stay accommodation is one parking bay per dwelling.
- (b) The number of car parking bays to be provided for hotels is one parking bay per 3 bedrooms plus one bay per 30m² of net lettable area accessible to the public.
- (c) The number of car parking bays to be provided for all development other than multiple dwellings, short stay accommodation or an hotel is one parking bay per 30m² of net lettable area.

(8) Landscaping

- (a) An area no less than 3 metres wide along all street boundaries must be landscaped, except to the extent that a building is located within that area.
- (b) Parking at ground level must be provided with one shade tree per 4 car parking bays.

(9) Building facade

- (a) Not less than 50% of the area of the façade of the ground floor is to be glass windows or glass doors and the windows and doors must be a minimum of 75% of the width of the ground floor façade.
- (b) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.
- (c) The sill of a ground floor window must be not higher than 500mm above the finished floor level.
- (d) Any security grill or shutter must be a minimum of 50% visually permeable and must not be located on the outside of a building.

(10) Fencing

A fence located between the street alignment and the building must be visually permeable above 0.75 metres from natural ground level, and must have a maximum height of 1.8 metres from natural ground level.

(11) Servicing

- (a) A storage area for refuse and recyclable material must be provided on the land and the area must not be visible from any street.
- (b) Facilities must be provided on the land for the loading and unloading of service and delivery vehicles.

(12) Material and finishes

- (a) The walls of a building must be constructed of masonry or glass.
- (b) A concrete wall must be painted and provided with an articulated or detailed finish.

Part 7 – The Business Support Zone

7.1 Additional objectives of the Business Support Zone

The additional objectives of the Business Support Zone are:

- (a) to ensure that development contributes to the provision of attractive streetscapes; and
- (b) to provide a location for the development of businesses with larger floor space requirements that would be inappropriate in the Central Core.

7.2 Provisions applying to the Business Support Zone

(1) Application of this clause

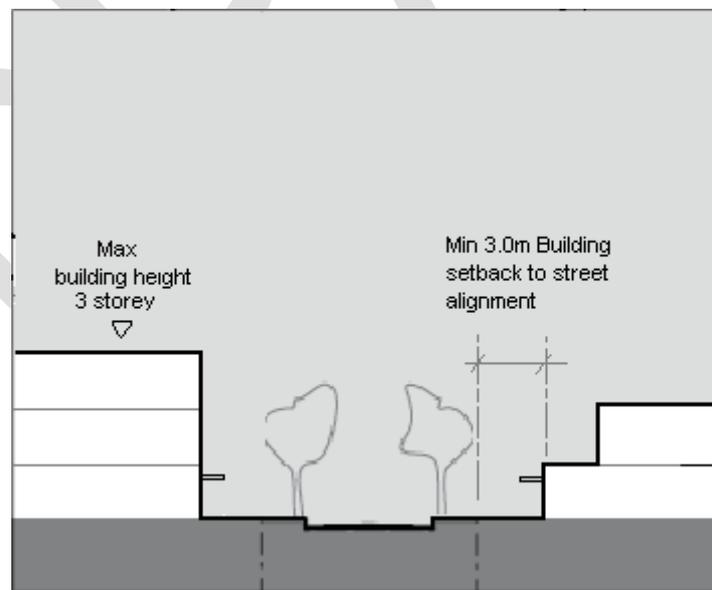
The requirements and standards set out in this clause apply to development in the Business Support Zone.

(2) Building height

A building is not to have more than 3 storeys.

Footnote:

1. The figure set out below is an example of the application of this sub clause.



(3) Setbacks

A building must have a minimum setback of 3 metres to the street alignment.

Footnote:

1. There is no minimum setback to the side and rear boundaries.

(4) Building facade

- (a) Not less than 50% of the area of the ground floor street façade is to be glass windows or doors.
- (b) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.
- (c) Not less than 25% of the external wall of a building which predominantly faces the Mitchell Freeway must be glass windows.

(5) Fencing

A fence located between the street alignment and the building must be visually permeable above 0.75 metres from natural ground level, and must have a maximum height of 1.8 metres from natural ground level.

(6) Access and parking

Car parking must be provided in accordance with Table 2 of the Scheme.

(7) Landscaping

The area required to be designed, developed and maintained under clause 4.12.1 of the Scheme must include all that part of the land which is within 3 metres of a street alignment except a vehicular crossover.

(8) Servicing

- (a) A storage area for refuse and recyclable material must be provided on the land and the area must not be visible from any street.
- (b) Facilities must be provided on the land for the loading and unloading of service and delivery vehicles.

(9) Material and finishes

- (a) The walls of a building must be constructed of masonry, timber or glass.
- (b) A concrete wall must be painted and provided with an articulated or detailed finish.

Part 8 – The Inner City Residential Zone

8.1 Additional objectives of the Inner City Residential Zone

The additional objectives of the Inner City Residential Zone are:

- (a) to provide a wide range of housing choices within an inner city residential environment to accommodate population growth and meet changing household and community needs; and
- (b) to encourage an attractive and vibrant living environment with a high standard of residential amenity in a highly urbanised setting.

8.2 Provisions applying to the Inner City Residential Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the Inner City Residential Zone.

(2) Residential development requirements for R15 land

- (a) This subclause applies to land having a residential density of R15 in the Inner City Residential Zone.
- (b) The provisions of the Codes set out in column 1 of the Table appearing at the end of this clause are disapplied and, to the extent, if any, that a disapplied provision is substituted with another provision, that other provision is set out in column 2 of the Table and that other provision takes effect.

Table

Column 1	Column 2
Provision of the R Codes to be disapplied	Provision to be substituted
Clause 6.3.1 A1 i and v (Buildings setback from the boundary)	<ul style="list-style-type: none"> i (a) Building setback from boundary other than street boundaries or rear boundaries in accordance with table 1, tables 2a and 2b (for wall heights 10m or less), figures 2a - 2e, and figure 3 (for wall heights in excess of 10m). (b) Buildings other than garages and carports setback a minimum of 4 metres from the rear boundary.

Footnotes:

- 1. Clause 6.2.2 (Minor incursions into the street setback area) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(a)(ii) of the Scheme.

2. Clause 6.2.8 (Garage doors) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(a)(v) of the Scheme.

(c) The following provisions take effect:

(i) Cockatoo Ridge, Tern Ridge and Woodswallow Close

In the case of land having a street alignment to Cockatoo Ridge, Tern Ridge or Woodswallow Close, the entrance to a dwelling must be to that street.

(ii) Building setback generally

- (A) A building must have a minimum setback of 6 metres from the primary street.
- (B) A building must have a minimum setback of 1.5 metres from the secondary street.

Footnotes:

1. Clause 6.2.1 of the Residential Design Codes does not apply. See clause 3.23(4)(a)(i) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.



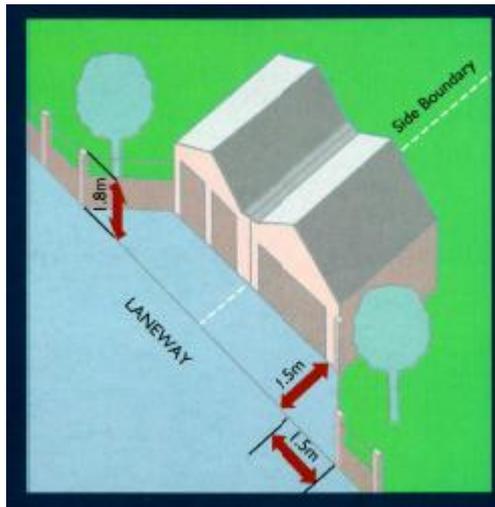
(iii) Setback of Garages and Carports

A garage or carport must have a minimum setback of 1.5 metres from the rear boundary.

Footnotes:

1. Clause 6.2.3 of the Residential Design Codes does not apply. See clause 3.23(4)(a)(iii) of the Scheme.

2. The figure set out below is an example of the application of this sub clause.

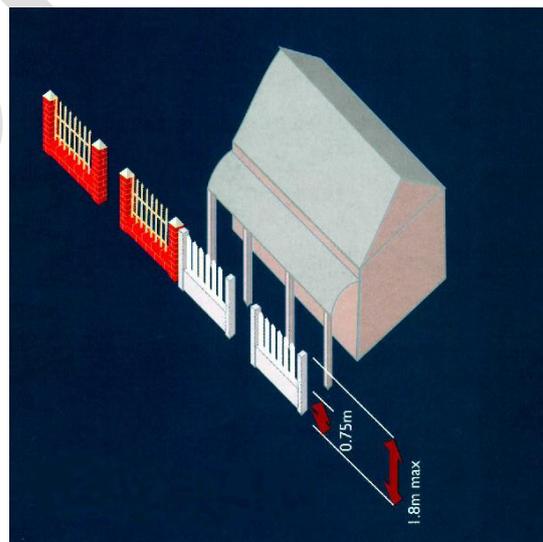


(iv) Street walls and fences

- (A) A wall or fence within the primary street setback area must be visually permeable above 750mm from natural ground level to a maximum height of 1.8 metres.
- (B) A wall or fence within the primary street setback area must be masonry, timber or decorative metal.

Footnotes:

1. Clause 6.2.5 of the Residential Design Codes does not apply. See clause 3.23(4)(a)(iv) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.

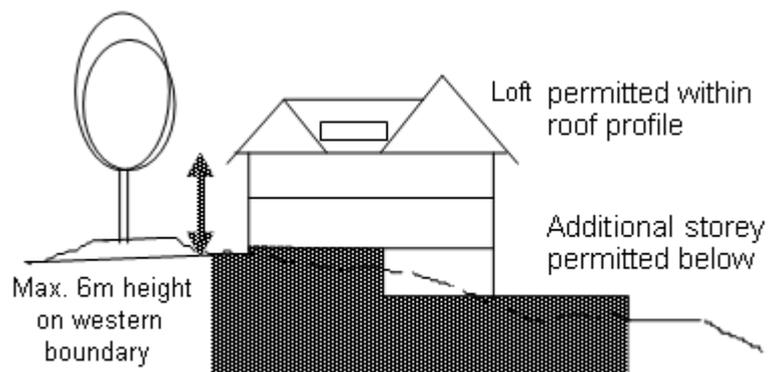


(v) Building height

- (A) The wall of a building, measured to the eaves from the highest point on the western boundary line, must have a maximum height of 6 metres.
- (B) A building must not have more than 2 storeys facing the western boundary of the land.
- (C) A building must not have more than 3 storeys facing the eastern boundary of the land.

Footnotes:

1. Clause 6.7.1 of the Residential Design Codes does not apply. See clause 3.23(4)(a)(vi) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.

**(d) Vehicular Access**

- (i) Vehicular access must not be from:
 - (A) Cockatoo Ridge;
 - (B) Tern Ridge; or
 - (C) Woodswallow Close.

(3) Residential development requirements for R40 land

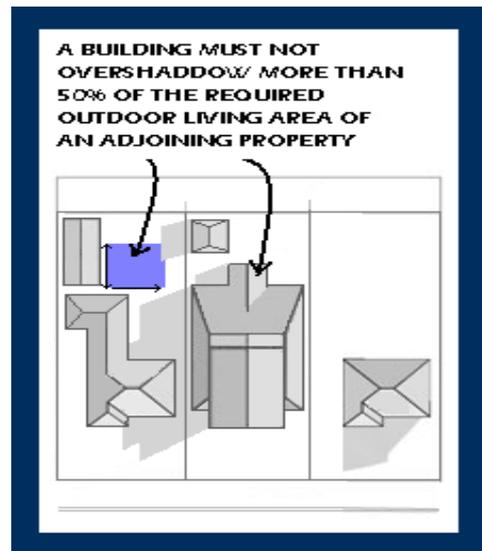
- (a) This subclause applies to land having a residential density of R40 in the Inner City Residential Zone.
- (b) The provisions of the Codes set out in column 1 of the Table appearing at the end of this clause are disapplied and, to the extent, if any, that a disapplied provision is substituted with another provision, that other provision is set out in column 2 of the Table and that other provision takes effect.

Table

Column 1	Column 2
Provision of the R Codes to be disapplied	Provision to be substituted
Clause 6.3.1 A 1 i and v (Buildings setback from the boundary)	i (a) Building setback from boundary other than street boundaries or rear boundaries in accordance with table 1, tables 2a and 2b (for wall heights 10m or less), figures 2a - 2e, and figure 3 (for wall heights in excess of 10m). (b) The ground floor of a building setback a minimum of 1.5 metres from the rear boundary.
Clause 6.4.2 A2 (Outdoor Living Area)	A.2 An outdoor living area to be provided: <ul style="list-style-type: none"> • with a minimum area of 16sqm; • directly accessible from a habitable room; • with a minimum length and width dimension of 4 metres; and • to have at least two thirds without permanent roof cover.
Clause 6.8.1 A1 (Visual Privacy)	A.1 Major openings and unenclosed outdoor active habitable spaces (balconies, verandahs, terraces or other outdoor living areas) which have a floor area more than 0.5m above natural round level and which overlook any part of any other residential property behind its street setback line must front the primary street or rear of the lot.
Clause 6.9.1 A1 (Solar access for adjoining sites)	A.1 A building must not overshadow more than 50% of the required outdoor living area on the adjoining property, as cast at midday, 21 June.

Footnotes:

1. Clause 6.2.2 (Minor incursions into the street setback area) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(b)(ii) of the Scheme.
2. Clause 6.2.8 (Garage doors) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(b)(iii) of the Scheme
3. Clause 6.3.2 Building on boundary of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(b)(vi) of the Scheme.
4. Clause 6.3.3 (Setback of retaining walls) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(b)(vii) of the Scheme.
5. The figure set out below is an example of the application of this sub clause.



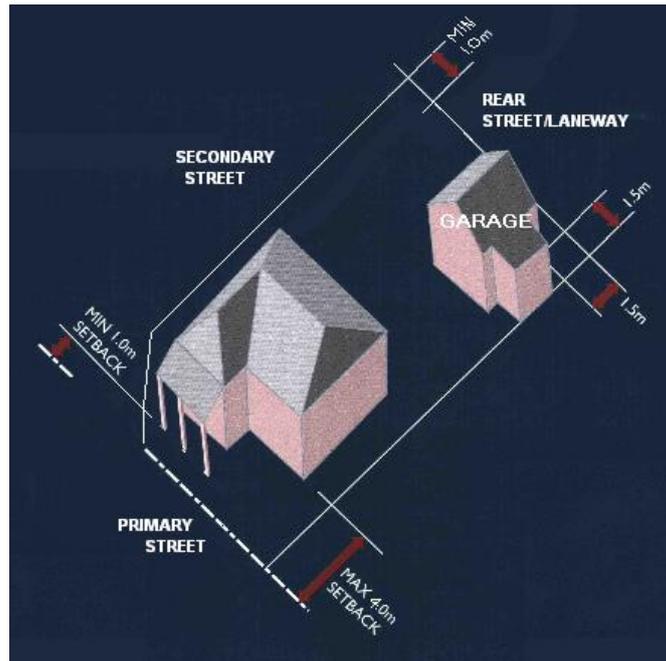
(c) The following provisions take effect:

(i) Building setback generally

- (A) A building must have a minimum setback of 1 metre and maximum of 4 metres from the primary street.
- (B) A building must have a minimum setback of 1 metre from the secondary street.

Footnotes:

1. Clause 6.2.1 of the Residential Design Codes does not apply. See clause 3.23(4)(b)(i) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.

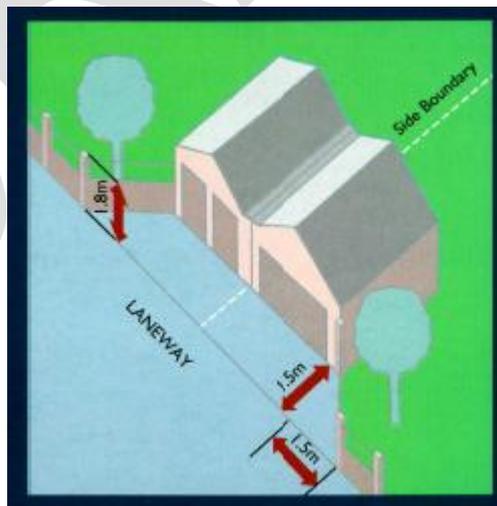


(ii) Setback of Garages and Carports

A garage or carport must have a minimum setback of 1.5 metres from the rear laneway.

Footnotes:

3. Clause 6.2.3 of the Residential Design Codes does not apply. See clause 3.23(4)(b)(iii) of the Scheme.
4. The figure set out below is an example of the application of this sub clause.



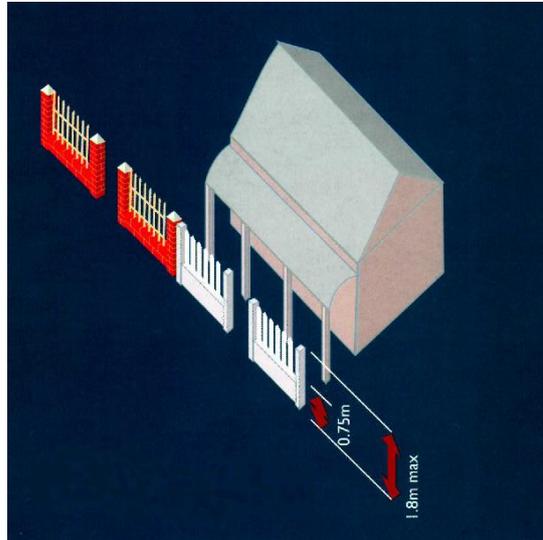
(iii) Street walls and fences

- (A) A wall or fence within the primary street setback area must be visually permeable above 750mm from natural ground level to a maximum height of 1.8 metres.

- (B) A wall or fence within the primary street setback area must be masonry, timber or decorative metal.

Footnotes:

1. Clause 6.2.5 of the Residential Design Codes does not apply. See clause 3.23(3)(4)(iv) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.



(iv) Open space

A minimum of 30% open space must be provided.

Footnote:

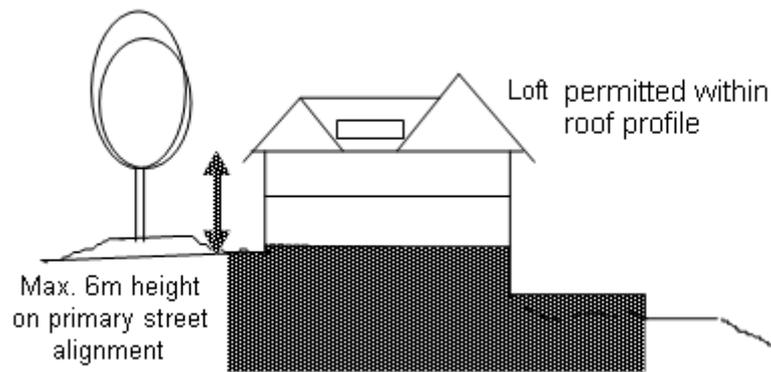
1. Clause 6.4.1 of the Residential Design Codes does not apply. See clause 3.23(4)(b)(viii) of the Scheme.

(v) Building height

The wall of a building, measured to the eaves from the highest point on primary street alignment, must not exceed 6 metres.

Footnotes:

1. Clause 6.7.1 of the Residential Design Codes does not apply. See clause 3.23(4)(b)(ix) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.



(d) Vehicular access

If land adjoins a laneway then vehicular access must only be provided from the laneway.

(4) Residential development requirements for R60 land

- (a) This subclause applies to land having a residential density of R60 in the Inner City Residential Zone.
- (b) The provisions of the Codes set out in column 1 of the Table appearing at the end of this clause are disapplied and, to the extent, if any, that a disapplied provision is substituted with another provision, that other provision is set out in column 2 of the Table and that other provision takes effect.

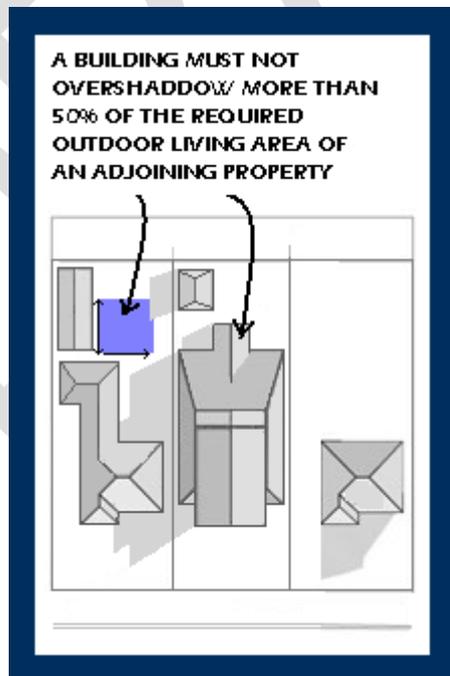
Table

Column 1	Column 2
Provision of the R Codes to be disapplied	Provision to be substituted
Clause 6.3.1 A1 i and v (Buildings setback from the boundary)	i (a) Buildings setback from boundary other than street boundaries or rear boundaries in accordance with table 1, tables 2a and 2b (for wall heights 10m or less), figures 2a - 2e, and figure 3 (for wall heights in excess of 10m). (b) The ground floor of a building setback a minimum of 1.5 metres from the rear laneway. (c) The ground floor of a building setback a minimum of 2 metres from the rear street.
Clause 6.4.2 A2 (Outdoor Living)	A.2 An outdoor living area to be provided: <ul style="list-style-type: none"> • with a minimum area of 16sqm;

Area)	<ul style="list-style-type: none"> • directly accessible from a habitable room; • with a minimum length and width dimension of 4 metres; and • to have at least two thirds without permanent roof cover.
Clause 6.8.1 A1 i (Visual Privacy)	A.1 Major openings and unenclosed outdoor active habitable spaces (balconies, verandahs, terraces or other outdoor living areas) which have a floor area more than 0.5m above natural round level and which overlook any part of any other residential property behind its street setback line must face the primary street or rear of the lot.
Clause 6.9.1 A1 (Solar access for adjoining sites)	A.1 A building must not overshadow more than 50% of the required outdoor living area on the adjoining property, as cast at midday, 21 June.

Footnotes:

1. Clause 6.2.2 (Minor incursions into the street setback area) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(c)(ii) of the Scheme.
2. Clause 6.2.8 (Garage doors) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(c)(v) of the Scheme.
3. Clause 6.3.2 (Building on boundary) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.2.3(4)(c)(vi) of the Scheme.
4. Clause 6.3.3 (Setback of retaining walls) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(c)(vii) of the Scheme.
5. The figure set out below is an example of the application of this sub clause.



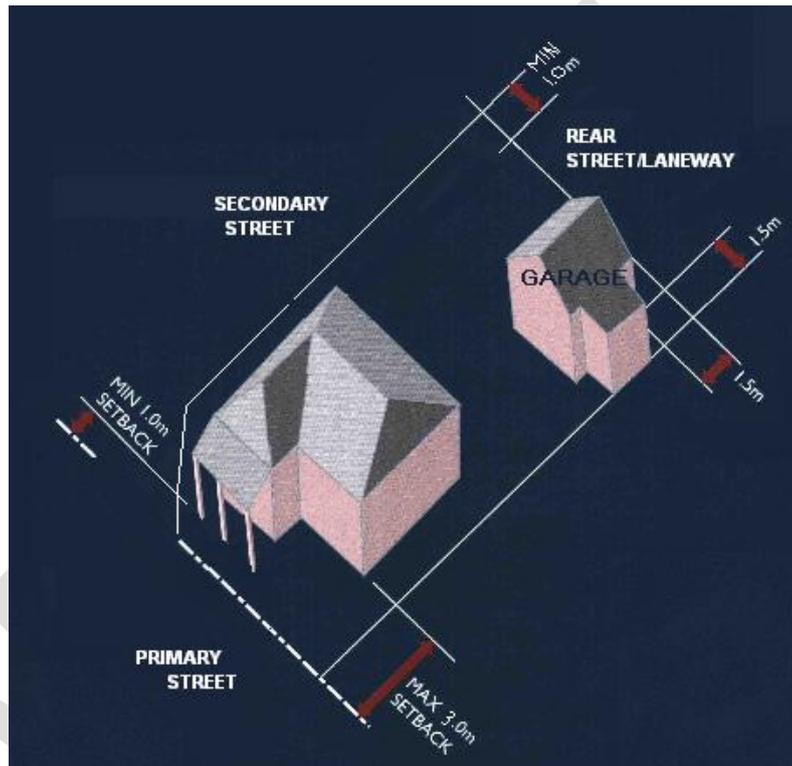
(c) The following provisions take effect:

(i) Building setback generally

- (A) A building must have a minimum setback of 1 metre and maximum of 3 metres from the primary street.
- (B) A building must have a minimum setback 1 metre from the secondary street.

Footnotes:

1. Clause 6.2.1 of the Residential Design Codes does not apply. See clause 3.23(4)(c)(i) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.

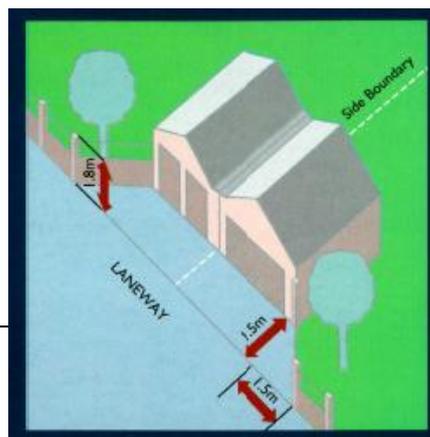


(ii) Setback of Garages and Carports

A garage or carport must have a minimum setback of 1.5 metres from the rear boundary.

Footnotes:

1. Clause 6.2.3 of the Residential Design Codes does not apply. See clause 3.23(4)(c)(iii) of the Scheme.
2. The figure set above and below is an example s of the application of this sub clause.

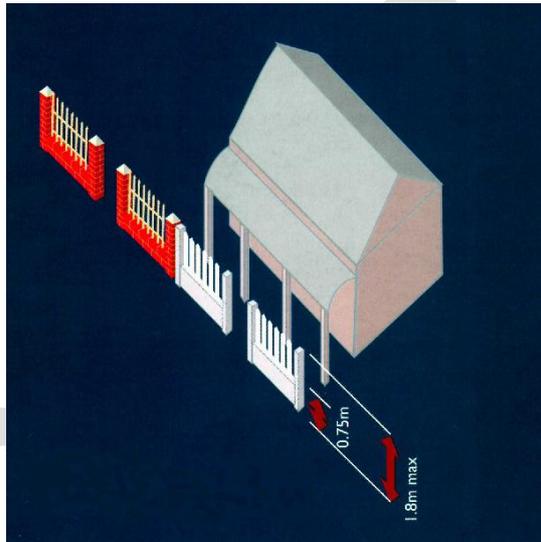


(iii) Street walls and fences

- (A) A wall or fence within the primary street setback area must be visually permeable above 750mm from natural ground level to a maximum height of 1.8 metres.
- (B) A wall or fence within the primary street setback area must be masonry, timber or decorative metal.

Footnotes:

1. Clause 6.2.5 of the Residential Design Codes does not apply. See clause 3.23(4)(c)(iv) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.

**(iv) Open space**

A minimum of 30% open space must be provided.

Footnote:

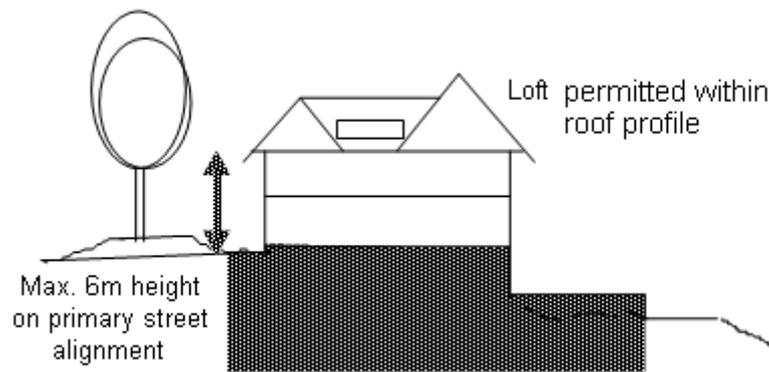
1. Clause 6.4.1 of the Residential Design Codes does not apply. See clause 3.23(4)(c)(viii) of the Scheme.

(v) Building height

- (A) The wall of a building, measured to the eaves from the highest point on primary street alignment, must not exceed 6 metres.
- (B) For a building fronting Lakeside Drive, a portion of the front façade must be 2 storeys.

Footnotes:

1. Clause 6.7.1 of the Residential Design Codes does not apply. See clause 3.23(4)(c)(ix) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.



(d) Vehicular access

If land adjoins a laneway then vehicular access must only be provided from the laneway.

(e) Entrances for land adjoining Lakeside Drive

- (i) In the case of land adjoining Lakeside Drive a dwelling must have a front door facing Lakeside Drive.
- (ii) In the case of land adjoining both Lakeside Drive and Cornell Parade a portico, gatehouse or other like structure, must:
 - (A) face Cornell Parade;
 - (B) be located within 1.5 metres of the Cornell Parade street alignment; and
 - (C) not be greater than 2.5 metres wide and 3.5 metres high.

(5) Residential development requirements for R100 land

- (a) This subclause applies to land having a residential density of R100 in the Inner City Residential Zone.

Footnotes:

1. Clause 6.2.2 (Minor incursions into the street setback area) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(ii) of the Scheme.
2. Clause 6.2.3 (Setback of garages and carports) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(iii) of the Scheme.
3. Clause 6.2.8 (Garage doors) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(v) of the Scheme.

4. Clause 6.3.1 (Buildings setback from the boundary) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(vi) of the Scheme.
5. Clause 6.3.2 (Building on boundary) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(c)(vii) of the Scheme.
6. Clause 6.3.3 (Setback of retaining walls) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(viii) of the Scheme.
7. Clause 3.8.1 (Visual privacy) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(ix) of the Scheme.
8. Clause 6.9.1 (Solar access for adjoining sites) of the Residential Design Codes does not apply and no provision is substituted in its place. See clause 3.23(4)(d)(xiii) of the Scheme.

(b) The following provisions take effect:

(i) Building setback generally

- (A) A building must have a maximum setback of 2 metres from the street alignment.

Footnotes:

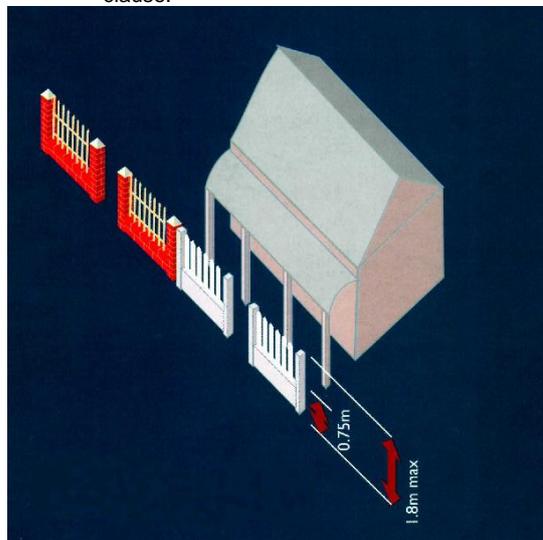
1. Clause 6.2.1 of the Residential Design Codes does not apply. See clause 3.23(4)(d)(i) of the Scheme.

(ii) Street walls and fences

- (A) A wall or fence within the primary street setback area must be visually permeable above 750mm from natural ground level to a maximum height of 1.8 metres.
- (B) A wall or fence within the primary street setback area must be masonry, timber or decorative metal.

Footnotes:

1. Clause 6.2.5 of the Residential Design Codes does not apply. See clause 3.23(4)(d)(iv) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.



(iii) Open space

A minimum of 30% open space must be provided.

Footnote:

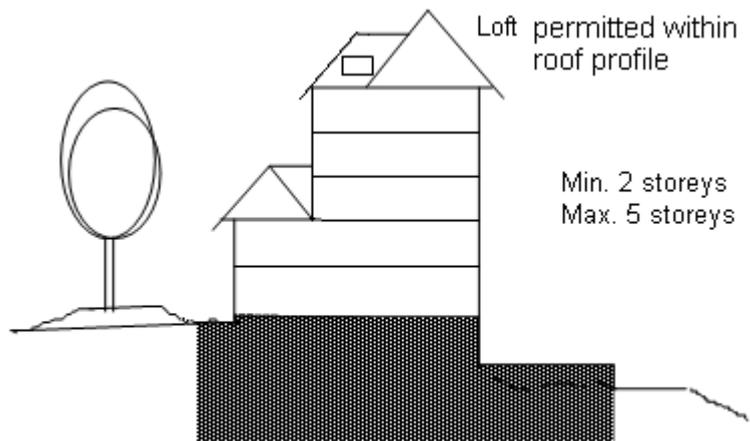
1. Clause 6.4.1 of the Residential Design Codes does not apply. See clause 3.23(4)(c)(ix) of the Scheme.

(iv) Building height

A building must have a minimum of 2 storeys and a maximum of 5 storeys.

Footnotes:

1. Clause 6.7.1 of the Residential Design Codes does not apply. See clause 3.23(4)(d)(x) of the Scheme.
2. The figure set out below is an example of the application of this sub clause.



Part 9 – The Arena Zone

9.1 Additional objectives of the Arena Zone

The additional objectives of the Arena Zone are:

- (a) to provide services and facilities that will make the Zone the focal point for sporting and recreational activities and organisations in the region;
- (b) to provide for a wide range of services and facilities to encourage public participation in sporting and recreational activities;
- (c) to provide for the development of educational facilities that complement the predominant sporting and recreational focus of the of Zone; and
- (d) to provide an urban form that is appropriate to the uses on the site, while minimising the impact on residential properties located opposite the Zone.

9.2 Provisions applying to the Arena Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the Arena Zone.

Footnote:

1. Under clause 3.24(3) of the Scheme the Codes do not apply to residential development in the Arena Zone.

(2) Building heights and setbacks from street alignment

- (a) A building within 25 metres of Moore Drive must have a maximum height of 10 metres from natural ground level.
- (b) An architectural feature may exceed a height of 10 metres above natural ground level but must not exceed 14 metres above natural ground level.
- (c) In paragraph (b) “architectural feature” means a tower element, spines, gable, moulding or awning built into the design and construction of the building.
- (d) In the case of lots adjoining Moore Drive or Kennedy Drive a building must have a minimum setback of 6 metres from the street alignment.

(3) Material and Finishes

- (a) A concrete wall must be painted and provided with an articulated or detailed finish.

- (b) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.

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Part 10 – The Central Park Zone

10.1 Additional objectives of the Central Park Zone

The additional objectives of the Central Park Zone are:

- (a) to provide a landscape corridor from Yellagonga Regional Park to the parkland within the Business Support Zone; and
- (b) to provide for appropriately located small scale commercial activity that supports the parks and recreational focus of the Zone.

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Part 11 – The Transit Development Zone

11.1 Additional objectives of the Transit Development Zone

The additional objectives of the Transit Development Zone are:

- (a) to encourage a lively mix of uses that provide support and surveillance to the adjoining railway station;
- (b) to encourage mixed use development that promotes transit use and makes it possible for one transit trip to serve a wide variety of purposes; and
- (c) to encourage a street pattern that enhances walkability and facilitates pedestrian access to transit facilities.

11.2 Provisions applying to the Transit Development Zone

(1) Application of this clause

The requirements and standards set out in this clause apply to development in the Transit Development Zone.

Footnote:

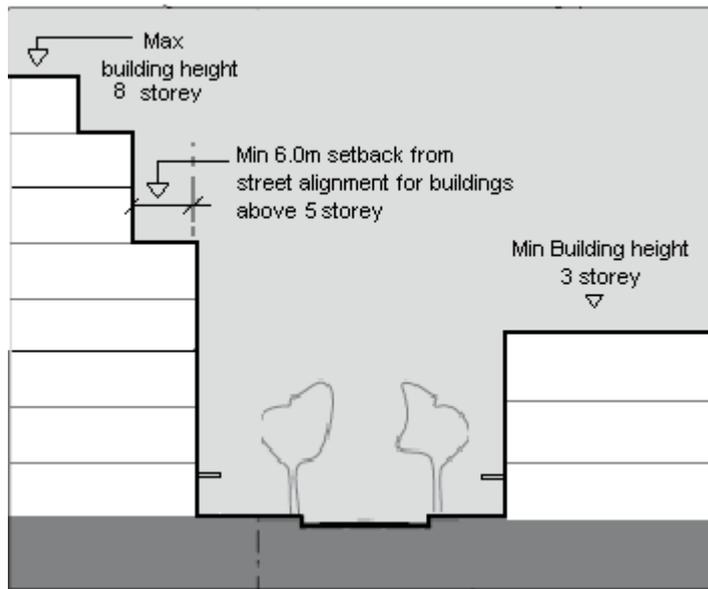
1. Under clause 3.26(5) of the Scheme the Codes do not apply to residential development in the Transit Development Zone.

(2) Building height

- (a) A building must have a minimum of 3 storeys.
- (b) A building is not to have more than 8 storeys.
- (c) Every part of a building above the fifth storey, other than a roof, balcony or outdoor living area must have minimum setback of 6 metres from the street alignment.

Footnote:

1. The figure set out below is an example of the application of this sub clause



(3) Setbacks

In the case of land adjoining Joondalup Drive or Ocean Reef Road a building must have a minimum setback of 3 metres and a maximum setback of 15 metres from the street alignment.

Footnote:

1. There is no minimum setback to the side and rear boundaries.
2. For all other streets, there is no minimum or maximum setback to the street alignment.

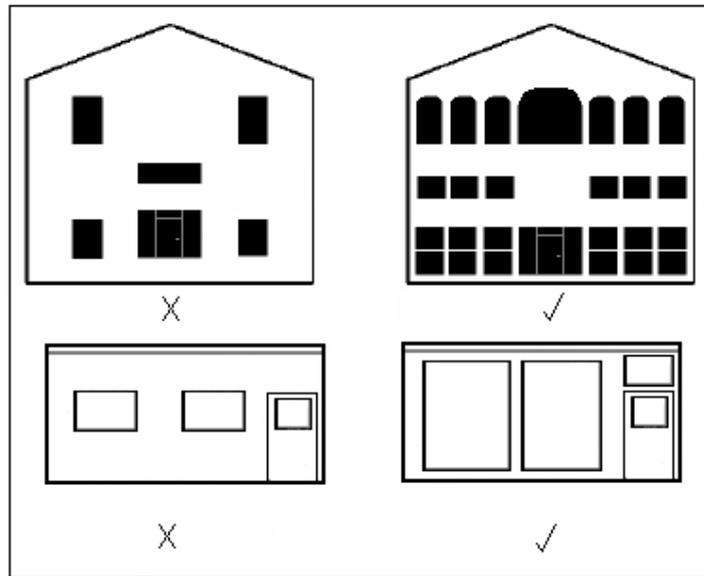
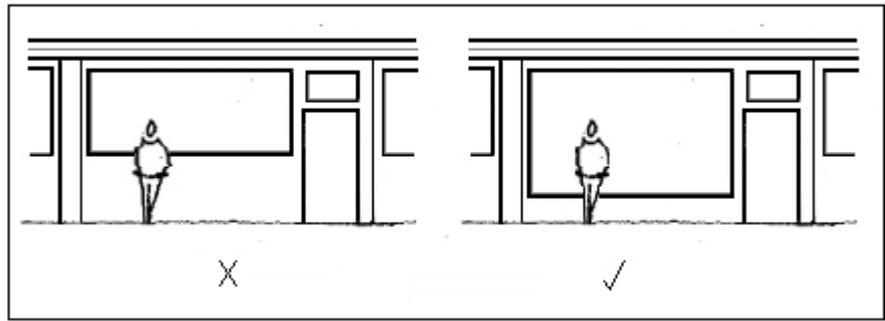
(4) Street Frontages

(a) Ground Floor Façade

- (i) Not less than 50% of the area of the façade of the ground floor is to be glass windows or glass doors and the windows and doors must be a minimum of 75% of the width of the ground floor façade.
- (ii) A window in an external wall of a building which faces north, east or west must be shaded from direct summer sun.
- (iii) The sill of a ground floor window must be not higher than 500mm above the finished floor level.
- (iv) Any security grill or shutter must be a minimum of 50% visually permeable and must not be located on the outside of a building.

Footnote:

1. The figure set out below is an example of the application of this sub clause.

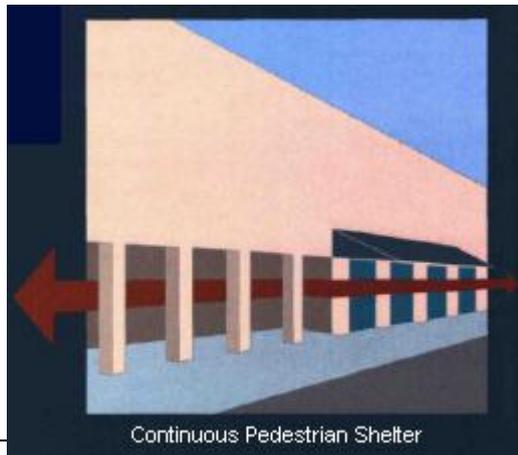


(b) Pedestrian Shelter

A building must provide a continuous pedestrian shelter along all street frontages to a minimum height of 3 metres and a minimum depth of 2 metres.

Footnote:

1. The figure set out below is an example of the application of this sub clause



(c) Entrances

A minimum of one entrance to a building must be clearly visible, and directly accessible, from a street or pedestrian mall.

Footnote:

1. The figure set out below is an example of the application of this sub clause

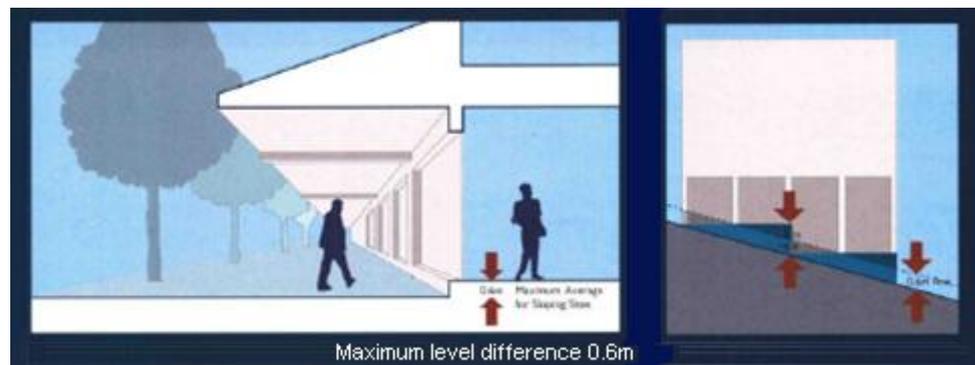


(5) Floor Levels

- (a) The average height of the floor level above the footpath at the street alignment must not exceed 0.6 metres.
- (b) The internal floor level is not to exceed 1.2 metres above level of the footpath.
- (c) In the case of a corner site, the average height difference will be calculated for the combined frontage to both streets.

Footnote:

1. The figure set out below is an example of the application of this sub clause.



(6) Open space

- (a) A dwelling must be provided with a courtyard or balcony having a minimum area of 10m² and having no dimension less than 2 metres.
- (b) Multiple dwellings of more than 5 dwellings must be provided with communal space having a minimum area of 50m² and having no dimension less than 5 metres.

(7) Incidental development

- (a) Multiple dwellings must be provided with a clothes drying area and that area must be screened from view from all streets by the building.
- (b) A dwelling must be provided with a minimum 4m² enclosed, lockable storage area, which is accessible from the outside of the dwelling and that storage area must be screened from view from all streets.

(8) Access and Car parking

(a) Access

If land adjoins a laneway then vehicular access must only be provided from the laneway.

(b) Car parking

- (i) The number of car parking bays to be provided for multiple dwellings and short stay accommodation is one parking bay per dwelling.
- (ii) The number of car parking bays to be provided for all other development must be in accordance Table 2 of the Scheme.

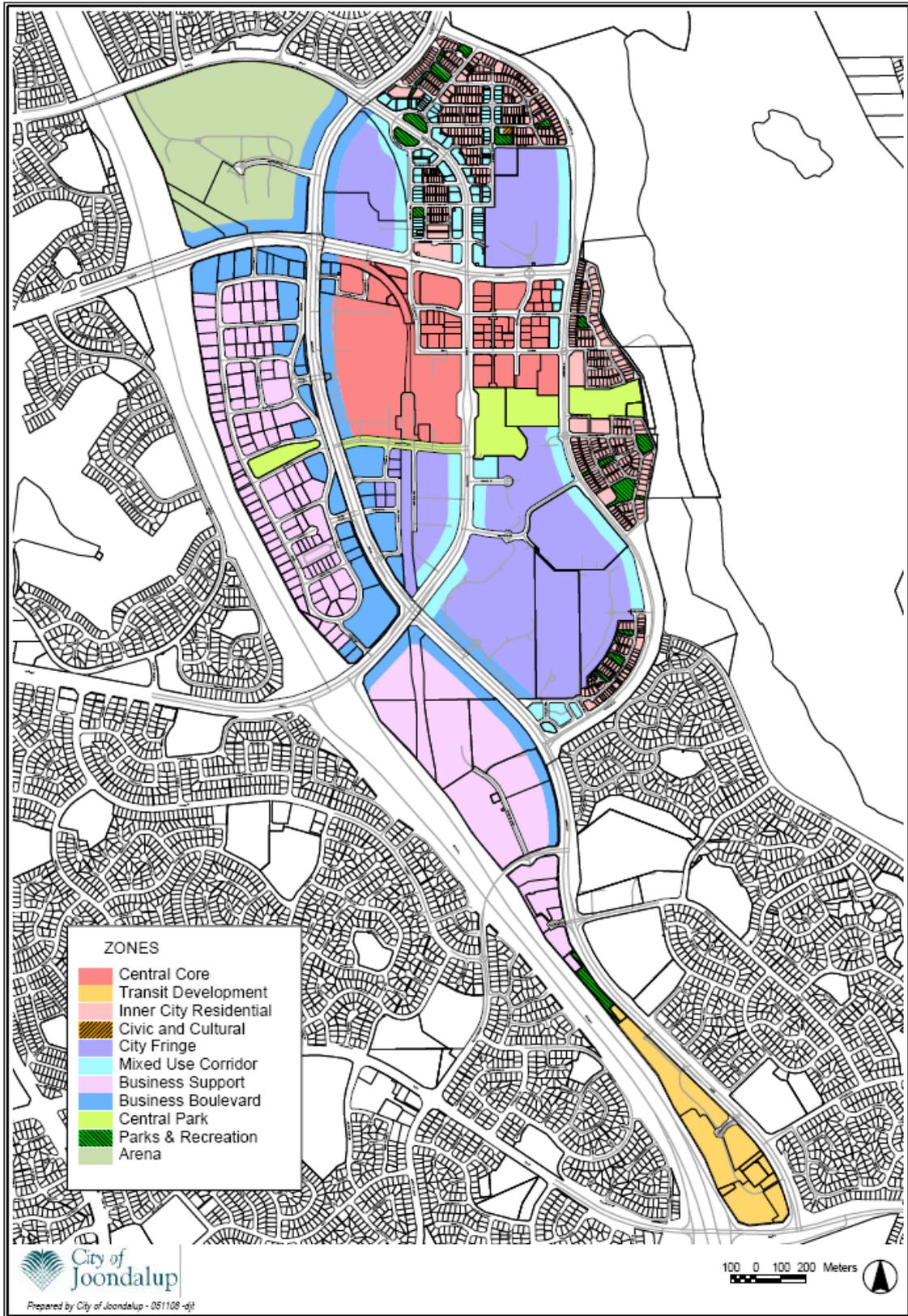
(9) Servicing

- (a) A storage area for refuse and recyclable material must be provided on the land and the area must not be visible from any street.
- (b) Facilities must be provided on the land for the loading and unloading of service and delivery vehicles.

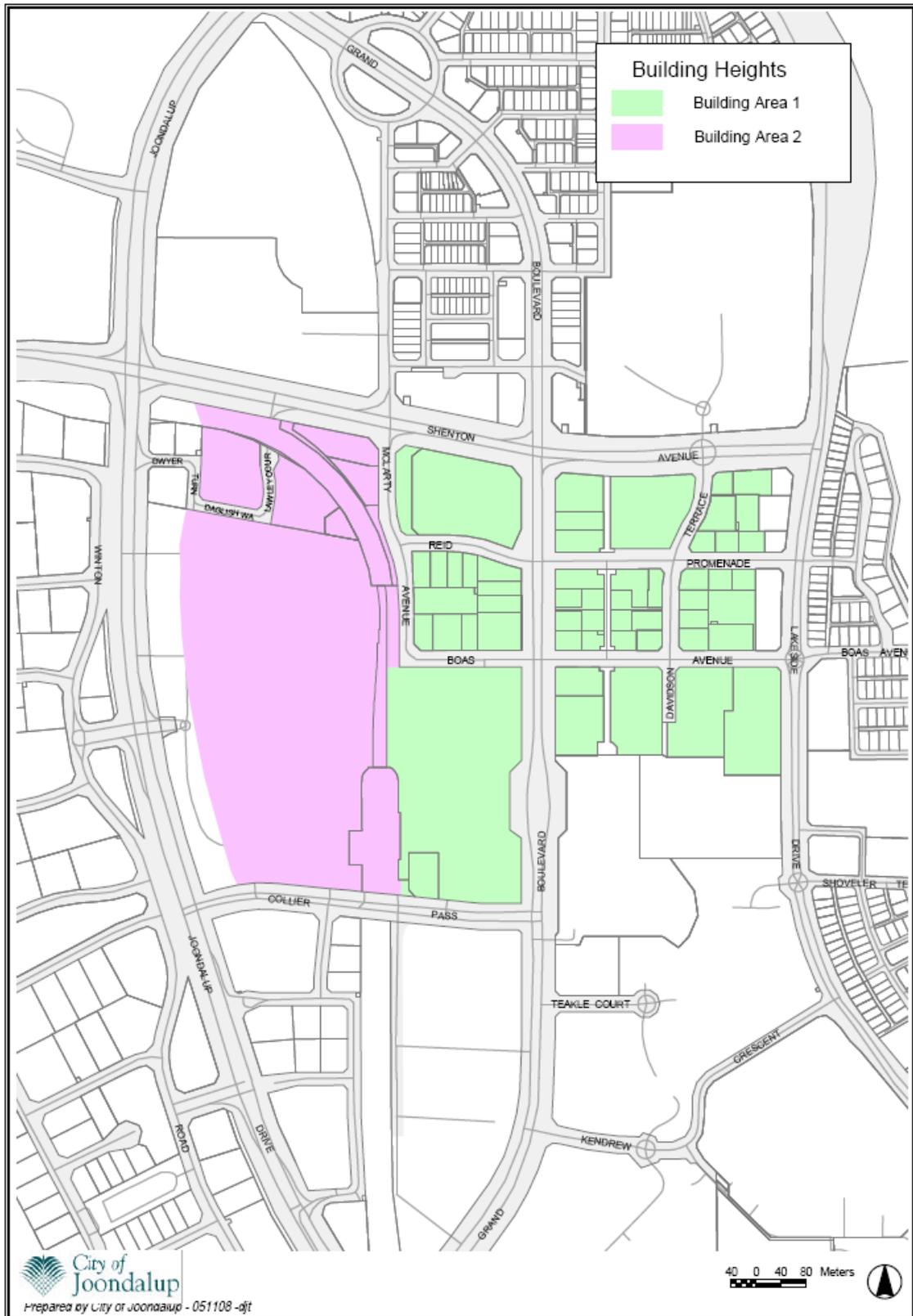
(10) Material and finishes

- (a) The walls of a building must be constructed of masonry or glass.
- (b) A concrete wall must be painted and provided with an articulated or detailed finish.

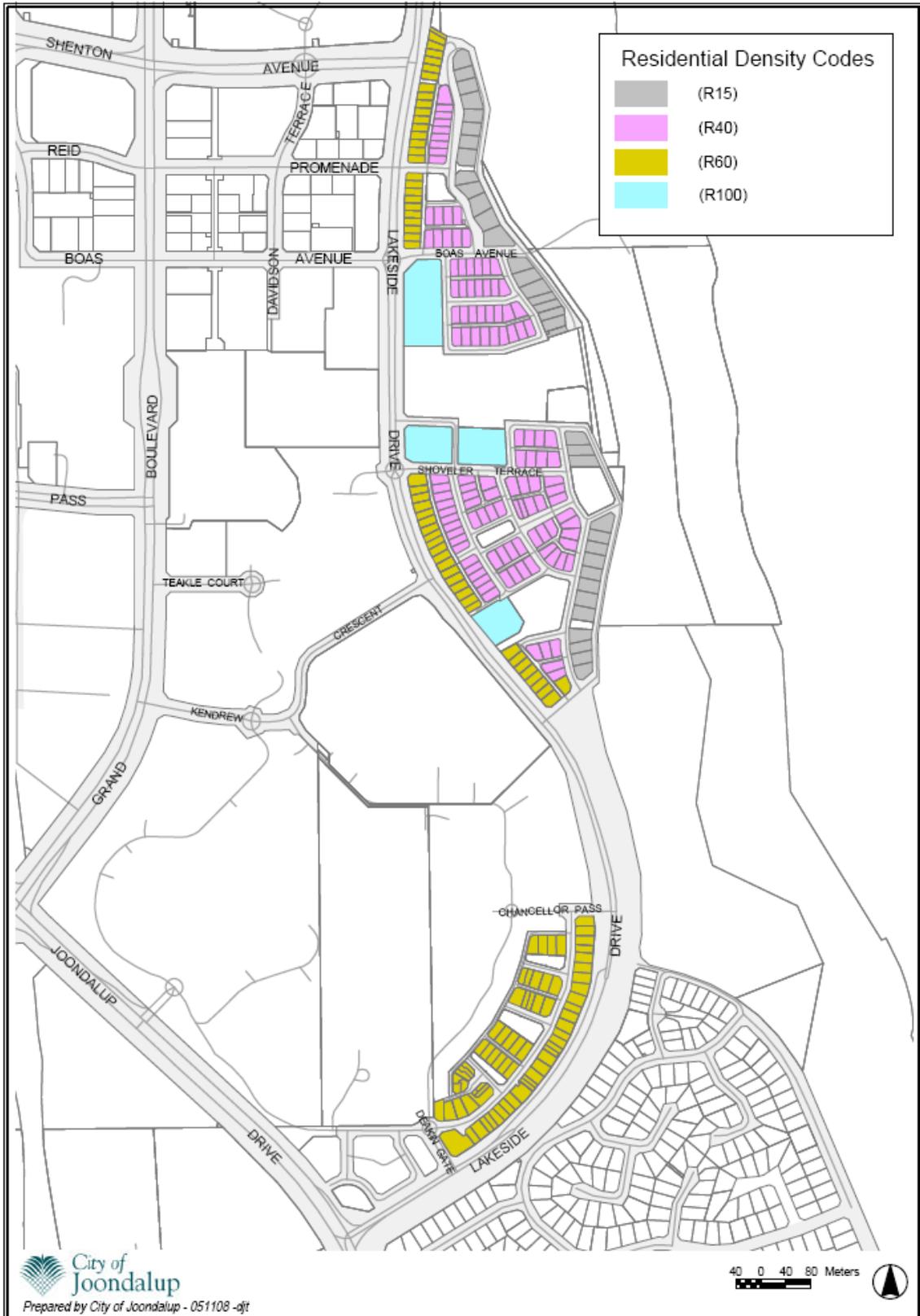
APPENDIX 1 – STRUCTURE PLAN



APPENDIX 2 – CENTRAL CORE BUILDING HEIGHT PLAN



APPENDIX 3 – RESIDENTIAL DENSITY CODE PLAN





APPENDIX 4 – STRUCTURE PLAN REPORT

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Certified that the Joondalup City Centre Structure Plan 2009

Was adopted by

Resolution of The Western Australian Planning Commission on

.....
Chairperson, Western Australian Planning Commission

and by

Resolution of the Council of The City Of Joondalup on

and the seal of the municipality was pursuant to the Council's resolution
hereunto affixed in the

Presence of:

.....
Mayor, City Of Joondalup

.....
Chief Executive Officer, City Of Joondalup

DRAFT

PLANNING AND DEVELOPMENT ACT 2005
CITY OF JOONDALUP DISTRICT PLANNING SCHEME NO. 2
SCHEME AMENDMENT NO. _____

The Council of the City of Joondalup under and by virtue of the powers conferred upon it in that behalf by Part 5 of the Planning and Development Act 2005 hereby amends the above Town Planning Scheme as follows:

1. Part 3 is amended by:

- (a) amending clause 3.1.1 by adding the following new zones immediately after “Special Use”:

“Central Core
City Fringe
Mixed Use Corridor
Business Boulevard
Business Support
Inner City Residential
Central Park
Arena
Transit Development”;

- (b) adding the following new clauses immediately after clause 3.17:

“3.18 Central Core Zone

(1) General objective

The general objective of the Central Core Zone is to provide for the highest intensity of development in the City Centre, providing a high quality, pedestrian orientated, urban environment.

(2) Additional objectives

The additional objectives of the Central Core Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, 4.12 and 4.14 do not apply to the development of land in the Central Core Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.12 deals with "Landscaping requirements for non residential buildings".
4. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Clause 4.5.1 not to apply

The following clauses of the Agreed Structure Plan applying to the Zone are not standards or requirements for the purpose of clause 4.5.1:

- (a) clause 3.2 (2) (b);
- (b) clause 3.2 (3) (b);
- (c) clause 3.2 (4);
- (d) clause 3.2 (5) (c); and
- (e) clause 3.2 (9) (a).

Footnotes:

1. Clause 3.2 (2)(b) of the Agreed Structure Plan deals with "Building height and setbacks in Building Area No. 1".
2. Clause 3.2 (3)(b) of the Agreed Structure Plan deals with "Building height and setbacks in Building Area No.2".
3. Clause 3.2 (4) of the Agreed Structure Plan deals with "Side setbacks".
4. Clause 3.2 (5) (c) of the Agreed Structure Plan deals with "Entrances".
5. Clause 3.2 (9) (a) of the Agreed Structure Plan deals with "Access".

(5) Restrictions on use for residential purposes

- (a) A person must not use the ground floor of a building for the purposes of:
 - (i) multiple dwellings; or
 - (ii) short stay accommodation.

- (b) A person must not use more than 50% of the floor area of a building for multiple dwellings or short stay accommodation.

(6) Codes not to apply

The provisions of the Codes are not to apply to the development of land in the Central Core Zone for any of the residential purposes dealt with by the Codes.

3.19 The City Fringe Zone

(1) General objective

The general objective of the City Fringe Zone is to provide for the next highest intensity of development in the City Centre outside the Central Core, providing a high quality, pedestrian orientated, urban environment.

(2) Additional objectives

The additional objectives of the City Fringe Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, 4.12 and 4.14 do not apply to the development of land in the City Fringe Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.12 deals with "Landscaping requirements for non residential buildings".
4. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Clause 4.5.1 not to apply

The following clauses of the Agreed Structure Plan applying to the Zone are not standards or requirements for the purpose of clause 4.5.1:

- (a) clause 4.2 (2) (f).

Footnote:

1. Clause 4.2 (2) (f) of the Agreed Structure Plan deals with "Building height and setbacks to street alignment".

(5) Codes not to apply

The provisions of the Codes are not to apply to the development of land in the City Fringe Zone for any of the residential purposes dealt with by the Codes.

3.20 The Mixed Use Corridor Zone**(1) General objective**

The general objective of the Mixed Use Corridor Zone is to provide a mix of residential and commercial land uses in a built form that provides an appropriate entry statement to the Central Core Zone.

(2) Additional objectives

The additional objectives of the Mixed Use Corridor Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, 4.12 and 4.14 do not apply to the development of land in the Mixed Use Corridor Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.12 deals with "Landscaping requirements for non residential buildings".
4. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Clause 4.5.1 not to apply

The following clauses of the Agreed Structure Plan applying to the Zone are not standards or requirements for the purpose of clause 4.5.1:

- (a) clause 5.2 (2) (a);
- (b) clause 5.2 (2) (d);
- (c) clause 5.2 (3);
- (d) clause 5.2 (4) (c); and
- (e) clause 5.2 (8) (a).

Footnotes:

1. Clause 5.2 (2) (a) and (d) of the Agreed Structure Plan deal with “Building height and setbacks to street alignment”.
2. Clause 5.2 (3) of the Agreed Structure Plan deals with “Side and rear setbacks”.
3. Clause 5.2 (4) (c) of the Agreed Structure Plan deals with “Entrances”.
4. Clause 5.2 (8) (a) of the Agreed Structure Plan deals with “Access”.

(5) Restrictions on use for residential purposes

- (a) A person must not use the ground floor of a building for the purposes of:
 - (i) multiple dwellings; or
 - (ii) short stay accommodation.
- (b) A person must not use more than 50% of the total floor area of a building for multiple dwellings or short stay accommodation.

(6) Codes not to apply

The provisions of the Codes are not to apply to the development of land in the Mixed Use Corridor Zone for any of the residential purposes dealt with by the Codes.

(7) Residential density

Notwithstanding subclause (6):

- (a) the Residential Design Code density R100 applies in the Mixed Use Corridor Zone to the development of land for any of the residential purposes dealt with by the Codes; and
- (b) for that purpose, clause 6.1 of the Codes is taken to apply.

3.21 The Business Boulevard Zone

(1) General objective

The general objective of the Business Boulevard Zone is to provide an attractive and substantial built form entry to the City Centre, centred along Joondalup Drive.

(2) Additional objectives

The additional objectives of the Business Boulevard Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, 4.12 and 4.14 do not apply to the development of land in the Business Boulevard Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.12 deals with "Landscaping requirements for non residential buildings".
4. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Clause 4.5.1 not to apply

The following clauses of the Agreed Structure Plan applying to the Zone are not standards or requirements for the purpose of clause 4.5.1:

- (a) clause 6.2 (2); and
- (b) clause 6.2 (4).

Footnotes:

1. Clause 6.2 (2) of the Agreed Structure Plan deals with "Building height".
2. Clause 6.2 (4) of the Agreed Structure Plan deals with "Entrances".

(5) Restrictions on use for residential purposes

- (a) A person must not use the ground floor of a building for the purposes of:
 - (i) multiple dwellings; or
 - (ii) short stay accommodation.
- (b) A person must not use more than 50% of the floor area of a building for multiple dwellings or short stay accommodation.

(6) Codes not to apply

The provisions of the Codes are not to apply to the development of land in the Business Boulevard Zone for any of the residential purposes dealt with by the Codes.

3.22 The Business Support Zone

(1) General objective

The general objective of the Business Support Zone is to provide for the creation of a well designed and attractive business park style development, providing a range of service commercial uses.

(2) Additional objectives

The additional objectives of the Business Support Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, 4.12.2 and 4.14 do not apply to the development of land in the Business Support Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.12.2 deals with "Landscaping requirements for non residential buildings".
4. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Clause 4.5.1 not to apply

The following clauses of the Agreed Structure Plan applying to the Zone are not standards or requirements for the purpose of clause 4.5.1:

- (a) clause 7.2 (2).

Footnote:

1. Clause 7.2 (2) of the Agreed Structure Plan deals with "Building height".

3.23 The Inner City Residential Zone

(1) General objective

The general objective of the Inner City Residential Zone is to provide a mixture of residential densities and promote a high quality residential environment.

(2) Additional objectives

The additional objectives of the Inner City Residential Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.8.1 and 4.14.1 do not apply to the development of land in the Inner City Residential Zone.

Footnotes:

1. Clause 4.8.1 deals with "Car parking standards".
2. Clause 4.14.1 deals with "Storage and rubbish accumulation".

(4) Certain provisions of the Codes not to apply

(a) The following provisions of the Codes are not to apply to the development of land in the Inner City Residential Zone having a residential density of R15:

- (i) clause 6.2.1;
- (ii) clause 6.2.2;
- (iii) clause 6.2.3;
- (iv) clause 6.2.5;
- (v) clause 6.2.8; and
- (vi) clause 6.7.1.

Footnotes:

1. Clause 6.2.1 of the Codes deals with "Setback of buildings generally".
2. Clause 6.2.2 of the Codes deals with "Minor incursions into street setback area".
3. Clause 6.2.3 of the Codes deals with "Setback of garage and carports".
4. Clause 6.2.5 of the Codes deals with "Street walls and fences".
5. Clause 6.2.8 of the Codes deals with "Garage doors".
6. Clause 6.7.1 of the Codes deals with "Building height".

(b) The following provisions of the Codes are not to apply to the development of land in the Inner City Residential Zone having a residential density of R40:

- (i) clause 6.2.1;
- (ii) clause 6.2.2;
- (iii) clause 6.2.3;
- (iv) clause 6.2.5;
- (v) clause 6.2.8;
- (vi) clause 6.3.2;
- (vii) clause 6.3.3;
- (viii) clause 6.4.1; and
- (ix) clause 6.7.1.

Footnotes:

1. Clause 6.2.1 of the Codes deals with "Setback of buildings generally".
2. Clause 6.2.2 of the Codes deals with "Minor incursions into street setback area".
3. Clause 6.2.3 of the Codes deals with "Setback of garage and carports".
4. Clause 6.2.5 of the Codes deals with "Street walls and fences".
5. Clause 6.2.8 of the Codes deals with "Garage doors".
6. Clause 6.3.2 of the Codes deals with "Buildings on the boundary".
7. Clause 6.3.3 of the Codes deals with "Setback of retaining walls".
8. Clause 6.4.1 of the Codes deals with "Open space provision".
9. Clause 6.7.1 of the Codes deals with "Building height".

(c) The following provisions of the Codes are not to apply to the development of land in the Inner City Residential Zone having a residential density of R60:

- (i) clause 6.2.1;
- (ii) clause 6.2.2;

- (iii) clause 6.2.3;
- (iv) clause 6.2.5;
- (v) clause 6.2.8;
- (vi) clause 6.3.2;
- (vii) clause 6.3.3;
- (viii) clause 6.4.1; and
- (ix) clause 6.7.1.

Footnotes:

1. Clause 6.2.1 of the Codes deals with "Setback of buildings generally".
2. Clause 6.2.2 of the Codes deals with "Minor incursions into street setback area".
3. Clause 6.2.3 of the Codes deals with "Setback of garage and carports".
4. Clause 6.2.5 of the Codes deals with "Street walls and fences".
5. Clause 6.2.8 of the Codes deals with "Garage doors".
6. Clause 6.3.2 of the Codes deals with "Buildings on the boundary".
7. Clause 6.3.3 of the Codes deals with "Setback of retaining walls".
8. Clause 6.4.1 of the Codes deals with "Open space provision".
9. Clause 6.7.1 of the Codes deals with "Building height".

(d) The following provisions of the Codes are not to apply to the development of land in the Inner City Residential Zone having a residential density of R100:

- (i) clause 6.2.1;
- (ii) clause 6.2.2;
- (iii) clause 6.2.3;
- (iv) clause 6.2.5;
- (v) clause 6.2.8;
- (vi) clause 6.3.1;
- (vii) clause 6.3.2;

- (viii) clause 6.3.3;
- (ix) clause 6.4.1;
- (x) clause 6.7.1;
- (xi) clause 6.8.1; and
- (xii) clause 6.9.1.

Footnotes:

1. Clause 6.2.1 of the Codes deals with "Setback of buildings generally".
2. Clause 6.2.2 of the Codes deals with "Minor incursions into street setback area".
3. Clause 6.2.3 of the Codes deals with "Setback of garage and carports".
4. Clause 6.2.5 of the Codes deals with "Street walls and fences".
5. Clause 6.2.8 of the Codes deals with "Garage doors".
6. Clause 6.3.1 of the Codes deals with "Buildings setback from the boundary".
7. Clause 6.3.2 of the Codes deals with "Buildings on the boundary".
8. Clause 6.3.3 of the Codes deals with "Setback of retaining walls".
9. Clause 6.4.1 of the Codes deals with "Open space provision".
10. Clause 6.7.1 of the Codes deals with "Building height".
11. Clause 6.8.1 of the Codes deals with "Visual privacy".
12. Clause 6.9.1 of the Codes deals with "Solar access for adjoining sites".

(5) Convenience Store

Notwithstanding the Zoning Table, and any other provision of the Scheme, in the Inner City Residential Zone, a person must not use a convenience store for the sale or supply of petrol.

3.24 The Arena Zone

(1) General objective

The general objective of the Arena Zone is to facilitate a major regional sporting and multi-use facility.

(2) Additional objectives

The additional objectives of the Arena Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, and 4.14 do not apply to the development of land in the Arena Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Codes not to apply

The provisions of the Codes are not to apply to the development of land in the Arena Zone for any of the residential purposes dealt with by the Codes.

3.25 The Central Park Zone

(1) General objective

The general objective of the Central Park Zone is to provide an open space area that facilitates recreation and social activity, as well as providing a green link through the heart of the City Centre.

(2) Additional objectives

The additional objectives of the Central Park Zone are set out in the Agreed Structure Plan applying to the Zone.

3.26 The Transit Development Zone

(1) General objective

The general objective of the Transit Development Zone is to provide for development that takes best advantage of the transit opportunities of the Edgewater train station.

(2) Additional objectives

The additional objectives of the Transit Development Zone are set out in the Agreed Structure Plan applying to the Zone.

(3) Certain Scheme provisions not to apply

Clauses 4.7, 4.8, 4.12 and 4.14 do not apply to the development of land in the Transit Development Zone.

Footnotes:

1. Clause 4.7 deals with "Building setbacks for non residential buildings".
2. Clause 4.8 deals with "Car parking standards".
3. Clause 4.12 deals with "Landscaping requirements for non residential buildings".
4. Clause 4.14 deals with "Storage and rubbish accumulation".

(4) Restrictions on use for residential purposes

- (a) A person must not use the ground floor of a building for the purposes of:
 - (i) multiple dwellings; or
 - (ii) short stay accommodation.
- (b) A person must not use more than 50% of the floor area of a building for multiple dwellings or short stay accommodation.
- (c) A shop is permitted in the Transit Development Zone, provided the following conditions are met:
 - (i) the shop must be located on the ground floor of a mixed use development; and
 - (ii) the floor space of the shop must not exceed 200m² net lettable area.
- (d) In paragraph (c), "mixed use development" has the meaning given to it in the Codes.

(5) Clause 4.5.1 not to apply

- (a) The provisions of subclause (4) are not standards or requirements for the purpose of clause 4.5.1.
- (b) The following clauses of the Agreed Structure Plan applying to the Zone are not standards or requirements for the purpose of clause 4.5.1:
 - (i) clause 11.2 (2) (a);

- (ii) clause 11.2 (2) (b);
- (iii) clause 11.2 (4) (d); and
- (iv) clause 11.2 (8) (a).

Footnotes:

1. Clause 11.2 (2) (a) and (b) of the Agreed Structure Plan deals with "Building height".
2. Clause 11.2 (4) (d) of the Agreed Structure Plan deals with "Entrances".
3. Clause 11.2 (8) (a) of the Agreed Structure Plan deals with "Access".

(6) Codes not to apply

The provisions of the Codes are not to apply to the development of land in the Transit Development Zone for any of the residential purposes dealt with by the Codes."

2. Table 1 of the Scheme is amended by adding 9 new zones along the top of Table 1 and by adding the symbols beside the list of Use Classes as specified in the following table:

Table

Use classes	Zones								
	Central core	City fringe	Mixed use corridor	Business boulevard	Business support	Inner City Residential	Central park	Arena	Transit Development
Abattoir	X	X	X	X	X	X	X	X	X
Aged or Dependent Persons' Dwelling	X	X	X	X	X	P	X	X	X
Amusement Parlour	P	P	P	X	P	X	X	X	X
Ancillary Accommodation	X	X	X	X	X	P	X	X	X
Aquaculture	X	X	X	X	X	X	X	X	X
Art Gallery	P	P	P	P	P	X	X	X	P
Auction Room	P	X	P	P	P	X	X	X	P
Bakery	X	X	X	X	P	X	X	X	X
Bank	P	P	P	P	X	X	X	X	X
Beauty Parlour	P	P	P	P	X	X	X	X	P
Bed & Breakfast	P	X	P	X	X	P	X	X	X
Car Park	P	P	X	X	X	X	X	X	D
Car Wash	D	X	X	X	P	X	X	X	P
Caravan Park	X	X	X	X	X	X	X	X	X
Caretaker's Dwelling	P	P	P	P	P	P	X	X	P
Cattery	X	X	X	X	X	X	X	X	X
Child Care Centre	P	P	D	X	X	X	X	P	P
Cinema	P	P	X	X	X	X	X	X	X
Cinema Complex	P	P	X	X	X	X	X	X	X
Civic Building	P	P	P	P	X	X	X	X	X
Club (Non-Residential)	D	P	D	D	P	X	X	P	X
Communication Antenna - Domestic	P	P	P	P	D	P	X	X	P
Communication Antenna	D	D	D	D	D	D	X	D	D
Concrete Batching Plant	X	X	X	X	X	X	X	X	X
Consulting Rooms	P	P	P	P	X	X	X	P	P
Convenience Store	X	D	D	D	D	X	X	X	X
Corner Store	P	P	P	P	X	D	X	X	P
Costume Hire	P	P	P	P	P	X	X	X	P
Department Store	P	X	X	X	X	X	X	X	X
Display Home	P	P	P	P	X	P	X	X	P

Use classes	Zones								
	Central core	City fringe	Mixed use corridor	Business boulevard	Business support	Inner City Residential	Central park	Arena	Transit Development
Drive In Theatre	X	X	X	X	X	X	X	P	X
Drive Through Food Outlet	X	X	X	P	X	X	X	X	X
Dry Cleaning Premises	P	P	P	P	P	X	X	X	P
Educational Establishment	P	P	P	P	P	X	X	X	P
Equestrian Activity	X	X	X	X	X	X	X	P	X
Equipment Hire	X	X	X	P	P	X	X	X	D
Fuel Depot	X	X	X	X	X	X	X	X	X
Funeral Parlour	X	X	P	P	P	X	X	X	P
Garden Centre	X	X	X	X	P	X	X	X	P
Golf Course	X	X	X	X	X	X	X	X	X
Grouped Dwelling	X	X	X	X	X	P	X	X	X
Hairdresser	P	P	P	P	X	X	X	X	P
Hall	X	P	X	X	X	X	P	P	X
Hardware Store	P	P	P	P	P	X	X	X	P
Holiday Village	X	X	X	X	X	X	X	X	X
Home Business – Category 1	P	P	P	P	X	P	X	X	P
Home Business – Category 2	D	D	D	D	X	D	X	X	D
Home Business – Category 3	X	X	X	X	X	X	X	X	X
Hospital	X	P	X	X	X	X	X	X	X
Hotel	P	P	P	X	X	X	X	X	X
Industry – Extractive	X	X	X	X	X	X	X	X	X
Industry – General	X	X	X	X	X	X	X	X	X
Industry – Hazardous	X	X	X	X	X	X	X	X	X
Industry – Light	X	X	X	X	P	X	X	X	X
Industry – Rural	X	X	X	X	X	X	X	X	X
Kindergarten	X	P	X	X	X	X	X	X	X
Land Sales Office (Temporary)	X	P	P	P	P	P	X	X	P
Landscape supplies	X	X	X	X	P	X	X	X	X
Laundrette	P	P	P	P	X	X	X	X	P
Laundry	X	X	X	X	P	X	X	X	X
Liquor Store	P	P	P	P	P	X	X	X	P
Lunch Bar	P	P	P	P	P	X	X	X	P
Markets (Retail)	P	P	X	X	X	X	X	X	D
Market Garden	X	X	X	X	X	X	X	X	X
Medical Centre	P	P	P	P	P	X	X	D	P
Milk Depot	X	X	X	X	P	X	X	X	X

Use classes	Zones								
	Central core	City fringe	Mixed use corridor	Business boulevard	Business support	Inner City Residential	Central park	Arena	Transit Development
Motel	X	X	X	X	X	X	X	X	X
Multiple Dwelling	P	P	P	P	X	P	X	X	P
Night Club	D	X	X	X	D	X	X	X	X
Nursing Home	X	P	D	X	X	P	X	X	X
Office	P	P	P	P	P	X	X	X	P
Open Air Display	D	D	D	D	P	X	X	X	X
Park	X	X	X	X	X	X	P	P	X
Park Home Park	X	X	X	X	X	X	X	X	X
Place of Assembly	D	D	D	D	D	X	X	X	D
Place of Worship	P	P	P	P	P	X	X	X	D
Private Recreation	X	P	D	X	P	X	X	P	X
Public Exhibition Facility	P	P	D	D	X	X	X	X	P
Public Utility	P	P	P	P	P	P	X	X	P
Reception Centre	P	P	P	D	D	X	X	D	X
Recreation Centre	P	D	D	X	P	X	X	P	X
Residential Building	P	X	X	X	X	X	X	X	X
Resort	X	X	X	X	X	X	X	X	X
Restaurant	P	P	P	P	X	X	P	P	P
Restricted Premises	P	X	X	X	P	X	X	X	X
Retirement Village	D	D	D	X	X	D	X	X	D
Rural Use	X	X	X	X	X	X	X	X	X
Salvage Yard	X	X	X	X	X	X	X	X	X
Service Station	X	D	P	P	P	X	X	X	D
Shop	P	P	P	X	X	X	X	X	X*
Showroom	X	D	D	P	P	X	X	X	P
Single House	X	X	X	X	X	P	X	X	X
Special Place of Assembly	X	D	X	X	D	X	X	P	X
Sports Ground	X	P	X	X	X	X	X	P	X
Stables	X	X	X	X	X	X	X	X	X
Storage Yard	X	X	X	X	P	X	X	X	X
Take Away Food Outlet	P	P	P	P	D	X	X	X	P
Tavern	D	D	D	D	X	X	X	X	D
Theatre	P	P	D	D	X	X	X	X	X
Trade Display	X	X	X	D	P	X	X	X	X
Transport Depot	X	X	X	X	D	X	X	X	X
Vehicle Panel Beating/Spray Painting	X	X	X	X	P	X	X	X	X

Use classes	Zones								
	Central core	City fringe	Mixed use corridor	Business boulevard	Business support	Inner City Residential	Central park	Arena	Transit Development
Vehicle Repairs	D	D	D	D	P	X	X	X	D
Vehicle Sales/Hire Premises	X	D	X	D	P	X	X	X	X
Vehicle Wrecking	X	X	X	X	X	X	X	X	X
Veterinary Consulting Rooms	P	P	P	P	P	X	X	X	P
Veterinary Hospital	X	X	X	D	P	X	X	X	X
Warehouse	X	X	X	P	P	X	X	X	D
Winery	X	X	X	X	X	X	X	X	X

3. Clause 6.1.3 is amended:

- (a) by deleting the full stop after paragraph (m) and substituting a semi colon; and the word “and”
- (b) by adding a new paragraph after paragraph (m) as follows:

“(n) in the case of land within the Central Core Zone, the City Fringe Zone, the Mixed Use Corridor Zone, the Inner City Residential Zone, the Business Boulevard Zone, the Business Support Zone, the Arena Zone, the Central Park Zone, and the Transit Development Zone – a change of use from a permitted or P use to another permitted or P use in the zone in which the land is situated.”

4. The following land is rezoned from the Centre Zone to the Central Core Zone:

Land descriptions currently under preparation.

5. The following land is rezoned from the Centre Zone to the City Fringe Zone:

Land descriptions currently under preparation.

6. The following land is rezoned from the Centre Zone to the Mixed Use Corridor Zone:

Land descriptions currently under preparation.

7. The following land is rezoned from the Centre Zone to the Business Boulevard Zone:

Land descriptions currently under preparation.

8. The following land is rezoned from the Centre Zone to the Business Support Zone:

Land descriptions currently under preparation.

9. The following land is rezoned from the Centre Zone to the Inner City Residential Zone:

Land descriptions currently under preparation.

10. The following land is rezoned from the Centre Zone to the Central Park Zone:

Land descriptions currently under preparation.

11. The following land is rezoned from the Centre Zone to the Arena Zone;

Land descriptions currently under preparation.

12. The following land is rezoned from the Centre Zone to the Transit Development Zone:

Land descriptions currently under preparation.

13. (1) The Residential Density Code Map is amended by showing the following land in the Inner City Residential Zone as having a Residential Design Codes density of R15:

Land descriptions currently under preparation.

- (2) The Residential Density Code Map is amended by showing the following land in the Inner City Residential Zone as having a Residential Design Codes density of R40:

Land descriptions currently under preparation.

- (3) The Residential Density Code Map is amended by showing the following land in the Inner City Residential Zone as having a Residential Design Codes density of R60:

Land descriptions currently under preparation.

- (4) The Residential Density Code Map is amended by showing the following land in the Inner City Residential Zone as having a Residential Design Codes density of R100:

Land descriptions currently under preparation.

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