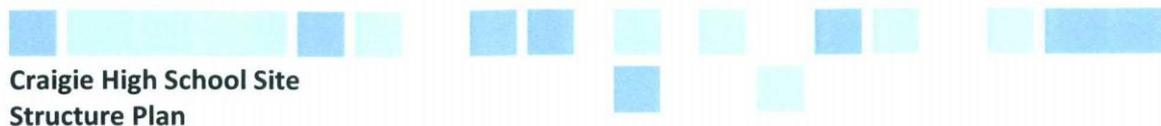




SUBJECT SITE
Craigie High School (Demolished)
7 Arawa Place, Craigie



Craigie High School Site Structure Plan

PART ONE – STATUTORY PLANNING

1 STATUTORY PLANNING

As provided for under Part 9 of the City of Joondalup District Planning Scheme No. 2, this part of the Structure Plan has the same force and effect as a provision, standard or requirement of the Scheme.

Part 1 of this Structure Plan is a general guide to future subdivision, zoning and development of the land included in the Craigie High School Structure Plan.

1.1 THE STRUCTURE PLAN AREA

The Structure Plan area covers a total of approximately 10.1470 hectares of Lot 500 on Deposited Plan 60150 and described on Certificate of Title Volume LR3154 Folio 14 and Lot 501 on Deposited Plan 60150 and described on Certificate of Title Volume LR3154 Folio 15 (refer **Appendix 1** Certificate of Titles). The land is bound by Camberwarra Drive to the west, Parks and Recreation Reserve (R33739) to the north, existing residential to the east and south, Otago Park to the south-east and Arawa Place to the south-west.

1.2 STRUCTURE PLAN CONTENT

The Structure Plan comprises:

-  Statutory Section (Part 1)
-  Explanatory Report and Elements of the Structure Plan (Part 2)
-  Appendices – Detailed Technical Reports

1.3 INTERPRETATION

The words and expressions used in this Structure Plan shall have the respective meanings given to them in the Scheme, or where not defined in the Scheme, as set out hereunder:

‘The Scheme’ shall mean the City of Joondalup District Planning Scheme No. 2 (as amended) or such amendments or modifications thereto that may be current. ‘The Structure Plan’ shall mean the Structure Plan (SP).

The adopted Structure Plan includes the Structure Plan Map (refer **Plan 1** - Structure Plan) and the Part 1 – Statutory Section. All other documentation contained within the Structure Plan Report is for background or explanatory purposes only and does not form part of the adopted Structure Plan.

1.4 OPERATION DATE

This Structure Plan shall come into operation on the date it is endorsed by the Western Australian Planning Commission (WAPC) pursuant with sub-clause 9.8 of the Scheme.

1.5 RELATIONSHIP WITH THE SCHEME

Unless provided for by specific requirements of this Structure Plan, all requirements shall be in accordance with the provisions of the Scheme or such amendments or modifications thereto that may be current.



2 OPERATION OF THE STRUCTURE PLAN

The subdivision and development of land within the Structure Plan area is to generally be in accordance with the Structure Plan. Matters of detailed design (i.e. provision of rear lanes, public open space rationalisation, local road realignments and detailed intersection design) can be considered and refined at the subdivision stage. Significant variations in design or land use will require amendments to the Structure Plan, in accordance with the provisions clause 9.7 of the Scheme.

The residential density codes shall apply to future development within that respective Residential Zone. All dwellings are required to comply with the Residential Design Codes unless variations are provided for in **section 8** of this Structure Plan.

3 STRUCTURE PLAN MAP

The Structure Plan Map (refer **Plan 1 - Structure Plan**) outlines the planned pattern of development for the Structure Plan area.

4 STRUCTURE PLAN ZONES/RESERVATIONS

The Structure Plan divides the land into the following Zones/Reservations:

-  Residential R20 Zone;
-  Residential R25 Zone;
-  Residential R30 Zone;
-  Residential R40 Zone;
-  Public Open Space Reservation; and
-  Drainage Reservation

5 OBJECTIVES

The objectives for the Residential Precincts are:

-  To provide for housing diversity through a variety of single and grouped housing lot sizes at densities indicated on the Structure Plan;
-  To provide residential lots which have the correct solar orientation to facilitate passive solar access and the construction of energy efficient dwellings;
-  To provide smaller lots adjacent to public open space to derive benefit from proximity to informal recreation areas;
-  To provide lots which overlook parkland areas and streets to maximise passive surveillance opportunities and promote attractive streetscapes; and
-  To maintain a high level of pedestrian connectivity, amenity and safety.

6 LAND USES

Land use permissibility and general provisions in the Residential Zone shall be the same as those within the Residential zone under the scheme.

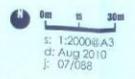


LEGEND

ZONES AND R-CODES	ZONES AND R-CODES	LOCAL SCHEME RESERVES	OTHER
RESIDENTIAL R20	RESIDENTIAL R40	PARKS, RECREATION AND DRAINAGE	SUBJECT LAND BOUNDARY
RESIDENTIAL R25		PUBLIC PURPOSE DRAINAGE	
RESIDENTIAL R30			

NOTE:
 FURTHER DETAILED DESIGN OF THE MOVEMENT NETWORK IS REQUIRED AT THE SUBDIVISION STAGE AND SHOULD ADDRESS THE OUTCOMES OF THE REVISED MOVEMENT NETWORK POLICY

STRUCTURE PLAN
 Craigie High School Structure Plan



Taylor Burrell Barnett
 ECOSCAPE | EMERSON STEWART
 BRUCE ADLASAUGH | PFR

plan **01**



Craigie High School Site Structure Plan

7 VISION

The vision for the Craigie High School development is to provide housing diversity, affordability and liveability whilst optimising the relationship between built form and public open space.

To ensure development within the Craigie Structure Plan area follows this vision, built form requirements have been provided for below. All development is required to comply with the requirements of the R-Code provisions unless otherwise provided in **Section 7 – Built Form Requirements**.

8 BUILT FORM REQUIREMENTS

The built form and lot design elements below are the basis for the proposed built form requirements in achieving the above vision for the Craigie High School Development:

-  Provide narrow front loaded lots to maximise housing affordability;
-  Better enable two storey development to occur that without the constraints of the City of Joondalup Policy 3.19 *“Height and Scale of Buildings Within a Residential Area”*;
-  Avoid over supply of laneway product to achieve housing diversity and therefore appeal to a wider market;
-  Ensure built form activation and presentation to the streetscape and public open space;
-  Ensure the retention of significant trees onsite; and
-  Ensure private open space requirements do not compromise the opportunity for a variety of housing product and design, especially on smaller blocks and considering the provision of quality public open space amenity.

The Structure Plan Map (refer **Plan 1 – Structure Plan**) delineates and depicts the reserves, zones and residential density codes applicable to the Structure Plan according to the legend thereon.

The reserves, zones and residential density codes designated under this Structure Plan apply to the land within it as if they were incorporated in the Scheme.

All provisions, standards and requirements applicable to the reserves, zones and residential density codes in the Scheme shall apply, except where stipulated within **section 8** of Part 1 of this report.

The requirements of the R-Codes shall be varied as outlined below:

8.1 GENERAL PROVISIONS

8.1.1 STREETScape AND ORIENTATION REQUIREMENTS

8.1.1.1 ORIENTATION

- a) Dwellings must address nominated street/s and/or public reserve in terms of main entry, major openings, articulation, materials and detailing. Dwellings directly abutting public reserve shall orientate as follows:
 -  If vehicle access is via a laneway - the public reserve is considered as the primary façade.



 If vehicle access is via a street, this shall be considered the primary façade, however the secondary façade overlooking the public reserve must be articulated and include at least one major opening.

- b) North facing lots are permitted to locate outdoor living areas within the front setback area to take advantage of the northern aspect of the site and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

8.1.1.2 CORNER LOTS

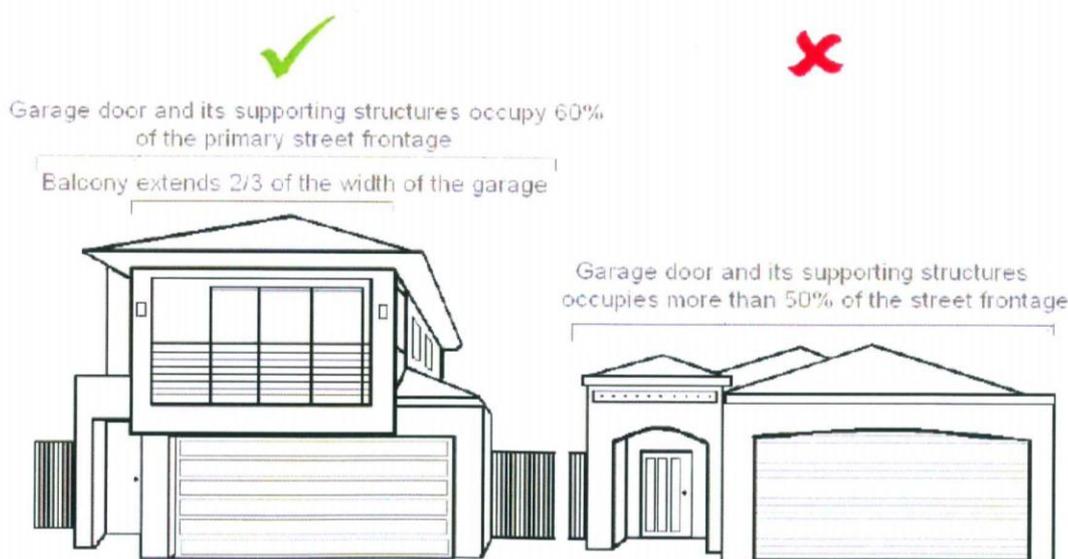
- a) Dwellings located on corner lots shall address both streets through their design by extending the primary elevation features onto the secondary street elevation where forward of a return fence. Exposed secondary street façade must incorporate major openings.

8.1.1.3 ROOFS

- a) Eaves or window overhangs to a minimum dimension of 400mm are required to all habitable rooms. South facing walls, garages and walls with no major openings are excluded.

8.1.1.4 GARAGES/CARPORTS

- a) The roof and design features must be consistent with the form and materials of the home.
- b) Garages shall be located on the nominated nil side setback boundary.
- c) Garages on corner lots, however, may be permitted on northern or eastern side boundaries for a maximum depth of 9m.
- d) A garage door and its supporting structures must not occupy more than 50% of the primary street frontage at the setback line. This may be varied to 60% where a balcony or upper floor with major openings extends 2/3 of the width of the garage (refer below figure). Note: For the purpose of Residential Design Codes Clause 6.2.8 'Garage doors', the performance criterion does not apply.





Craigie High School Site Structure Plan

8.1.1.5 BOUNDARY FENCING

- a) Fencing to a secondary street must be set back at least 4m from the corner truncation.
- b) Side and rear fencing is to be a maximum of 1.8m high and must return to the house a minimum of 1m behind the front façade of the dwelling closest to the street.

8.1.2 OTHER REQUIREMENTS

8.1.2.1 RETAINED TREES

- a) Trees within lots at time of purchase shall be retained, unless deemed to be a safety hazard by an approved arboricultural expert to the satisfaction of the City of Joondalup.
- b) Location of crossovers shall avoid impact on existing verge trees.

8.1.2.2 DEVELOPER WORKS

Where the developer has constructed a fence, entry statement or retaining wall, it must be maintained by the owner to the standard to which it was constructed.

8.1.2.3 RETAINING WALLS

Retaining walls visible from the street or a public space must be constructed of materials matching those provided by the developer. Pre-cast concrete "panel and post" retaining walls are not permitted.

8.2 R20 AND R25 PROVISIONS

8.2.1 BOUNDARY SETBACK REQUIREMENTS

The variations to R-Codes setbacks are determined by elements including solar penetration, addressing the street/Public Open Space, tree retention, accessibility, surveillance and land efficiency.

Setbacks for the development shall be in accordance with the following. Except where identified below, all boundary setbacks shall be in accordance with the R-Codes.

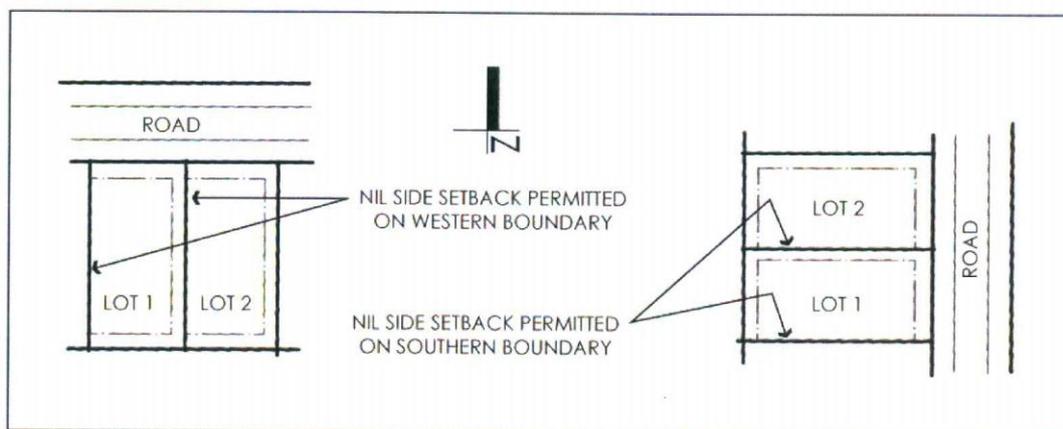
8.2.1.1 FRONT SETBACKS

The following setback requirements shall apply to R20 and R25 front loaded lots (except where noted, all other setbacks shall be in accordance with the R-Codes):

- a) Dwellings, exclusive of carports and garages, shall be set back a minimum of 3.0 m to a maximum of 5.0 m from the primary street (no average applies).
- b) A 3.0m minimum dwelling setback is required to lots that abut public open space.
- c) Lots abutting Camberwarra Drive shall have a minimum dwelling front setback of 8m to avoid impact on existing trees.

8.2.1.2 SIDE SETBACKS

- a) A nil side setback is permitted (excluding street and public open space setbacks) to the ground floor level of a dwelling to a maximum wall height of 3.2m (no average) up to 9m in length between a minimum of 1.5m behind the dwelling frontage (face of building) and rear setback. For north south lots the nil side setback shall be on the western boundary and for east west lots the nil side setback shall be on the southern boundary (refer figure below). These nominated nil side setbacks maximise solar penetration whilst facilitating solar accessible private open space.



- b) A 2.0m minimum dwelling side setback is required to a side boundary abutting public open space.

8.2.1.3 GARAGE/CARPORT SETBACKS

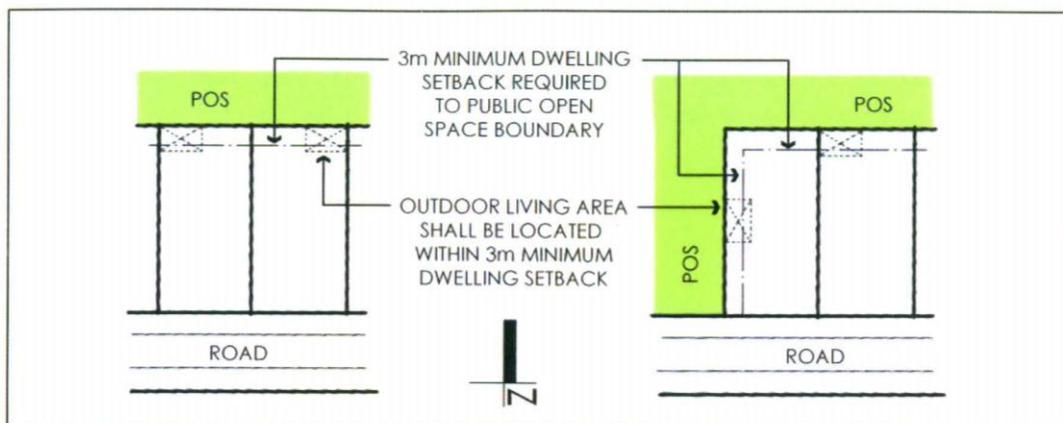
Garages and carports shall be setback a minimum of 4.5m from the primary street or 0.5m behind dwelling frontage (face of building).

8.2.2 PRIVATE OPEN SPACE REQUIREMENTS

Lots abutting public open space shall provide outdoor living areas within the 3.0m minimum setback to Public Open Space (refer figure below).

Lots not abutting public open space are permitted to locate outdoor living areas within the front setback area to take advantage of the northern aspect of the site and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

Craigie High School Site Structure Plan



- A minimum provision of 40% total open space is permitted for R20 Coded Zones.
- A minimum provision of 35% total open space is permitted for R25 Coded Zones.
- An unenclosed balcony (roofed or open) with an area of 10 m² or greater can be included as part of the minimum open space calculation.
- Outdoor living area to be provided with a minimum dimension configuration of 4m x 6m and minimum area of 24 m².

8.2.3 BUILDING HEIGHT REQUIREMENTS

The provisions of the City of Joondalup Policy 3.19 "Height and Scale of Buildings Within a Residential Area" shall not apply.

- Dwellings may be constructed to a maximum height of 9.5 metres with loft areas within the roof space permitted.
- The maximum building height measured from natural ground level shall be:
 -  Maximum wall height (with pitched roof) – 6.5 metres
 -  Maximum total height to roof ridge – 9.5 metres
 -  Maximum wall and total height (parapet wall with concealed roof) – 7.5 metres

8.3 R30 AND R40 PROVISIONS

8.3.1 BOUNDARY SETBACK REQUIREMENTS

The variations to R-Codes setbacks are determined by elements including solar penetration, addressing the street/Public Open Space, tree retention, accessibility, surveillance and land efficiency.

Setbacks for the development shall be in accordance with the following. Except where identified below, all boundary setbacks shall be in accordance with the R-Codes.



8.3.1.1 FRONT SETBACKS

- d) A 3.0m minimum to a 5.0 m maximum dwelling front setback is required to the primary street, exclusive of carports and garages (no average applies).
- e) A 3.0m minimum dwelling front setback is required to lots that abut public open space.

8.3.1.2 SIDE SETBACKS

- c) A nil side setback is permitted (excluding street and public open space setbacks) to the ground floor level of a dwelling to a maximum wall height of 3.2m (no average) for two-thirds the length determined by a minimum of 1.5m behind the dwelling frontage (face of building) and rear setback. For north south lots the nil side setback shall be on the western boundary and for east west lots the nil side setback shall be on the southern boundary (refer figure below). These nominated nil side setbacks maximise solar penetration whilst facilitating solar accessible private open space.
- d) A 2.0m minimum dwelling side setback is required to a side boundary abutting public open space.

8.3.1.3 REAR/GARAGE/STORE SETBACKS

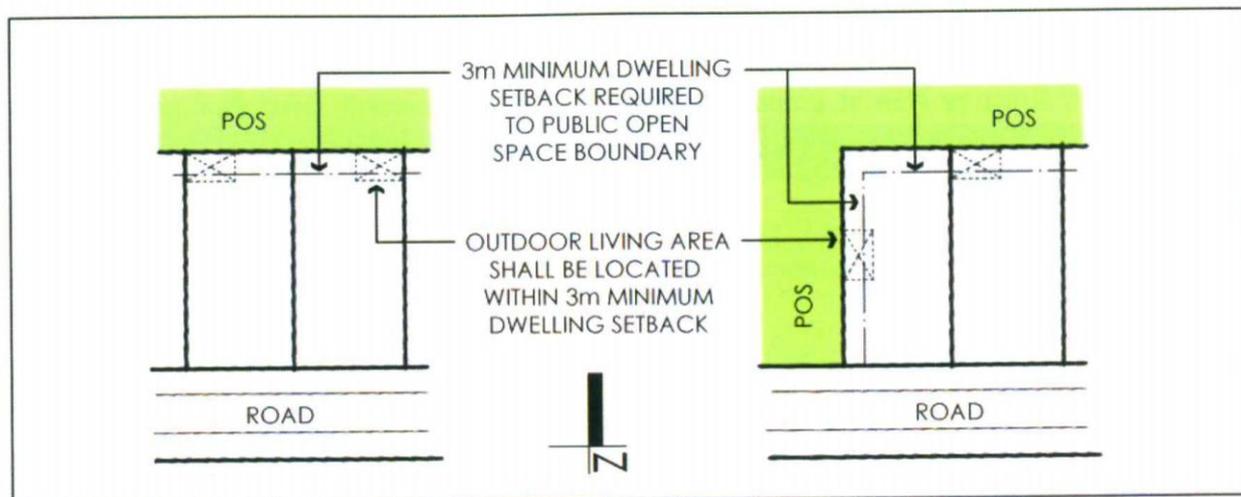
- a) A 1.5m minimum garage setback is required to the laneway boundary.
- b) A 0.5m minimum store setback is required to the laneway boundary.
- c) A 1.5m minimum dwelling setback is required to the ground floor level from the laneway boundary.
- d) A nil dwelling setback is permitted to the dwelling upper floor balcony on a laneway boundary.
- e) Garages and carports shall be setback a minimum of 4.5m from the primary street or 0.5m behind dwelling frontage (face of building).

8.3.2 PRIVATE OPEN SPACE REQUIREMENTS

Lots abutting public open space shall provide outdoor living areas within the 3.0m minimum setback to Public Open Space (refer figure below).

Lots not abutting public open space are permitted to locate outdoor living areas within the front setback area to take advantage of the northern aspect of the site and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

Craigie High School Site Structure Plan

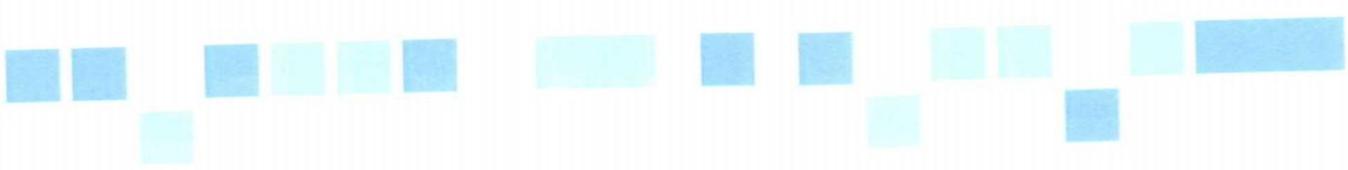


- a) A minimum provision of 35% total open space is permitted for R30 Coded Zones.
- b) A minimum provision of 35% total open space is permitted for R40 Coded Zones.
- c) An unenclosed balcony (roofed or open) with an area of 10 m² or greater can be included as part of the minimum open space calculation.
- d) An outdoor living area with a minimum area of 24 sqm for R30 and 20 sqm for R40, and a minimum dimension of 4m which is directly accessed from a living area is to be provided in a location to best facilitate winter solar penetration.
- e) North facing lots are permitted to locate outdoor living areas within the front setback area to take advantage of the northern aspect of the site and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

8.3.3 BUILDING HEIGHT REQUIREMENTS

The provisions of the City of Joondalup Policy 3.19 *"Height and Scale of Buildings Within a Residential Area"* shall not apply.

- a) Multiple dwellings may be constructed to a maximum height of 13 metres.
- b) The maximum building height measured from natural ground level shall be:
 -  Maximum wall height (with pitched roof) - 10 metres
 -  Maximum total height to roof ridge - 13 metres
 -  Maximum wall and total height (parapet wall with concealed roof) - 11 metres



9 VARIANCE FROM THE STRUCTURE PLAN

Any variance from the Structure Plan at proposed subdivision and development stage shall generally be in accordance with the Structure Plan. Council will determine whether a modification is required to be subject to a formal modification to the Structure Plan.

Craigie High School Site

Community Involvement and Consultation Plan

November 2010

LandCorp and Stockland

Introduction

LandCorp and Stockland's vision for the Craigie High School Redevelopment project is to create a new and inspiring residential community that embraces natural landmarks and history and which:

- challenges existing suburban paradigms,
- promotes creative and social integration,
- compliments a new and emerging demographic,
- uses well established focal points and site specific innovation to accentuate natural landform, and
- stimulates the revitalisation of Craigie.

Key facts and strategic drivers for the project are highlighted below:

- Stockland and LandCorp partnership project.
- Development to undergo local structure planning process with related community consultation.
- 10.2 hectare residential renewal of former Craigie High School site. Zoned Urban under MRS.
- School surplus to Depart of Education and Training requirements 2002; closed in 2003, buildings demolished 2004.
- Project partnership seeks to ensure the redevelopment produces a cohesive, safe community that enjoys a great lifestyle; that the natural environment is retained and enhanced; and a commercially viable outcome is achieved.
- LandCorp requirement for 20 per cent affordable housing; and mandates for sustainability and building innovation.
- Opportunity to develop a range of living options to attract range of homebuyers to improve amenity.
- Development will reduce antisocial behaviour.
- Rehabilitation of dunes and surrounds will make the site more attractive and accessible to residents and neighbours.

Consultation Background

A community consultation strategy was formulated for the project, with the following specific objectives;

- Conduct consultation with key stakeholders, community and business to progress the local structure plan process.
- Encourage local community support for proposal.
- Demonstrate a partnership approach to ensure the local structure plan responds to the needs and expectations of the community.
- Address potential issues during local structure planning process and support City of Joondalup planning processes.

- Enhance LandCorp and Stockland's reputation as leaders in innovative, sensitive and sustainable residential development.

Community Consultation to Date

The following is a synopsis of the community consultation undertaken to date for the project;

- Project information line established Late 2009
- Website update 21 January 2010
- Invitation letter re home visit 21 January
- Media site visit and photos 28 January
- Personal home visits conducted 27-29 January
- Ministerial media statement 1 February
- Letter re information session invite 1 February
- E-shot re information session invite 2 February
- Brief school and bush care groups 4 February
- Community information session held 13 February
- Post event media release and images 24 February
- Media Statement 16 August
- Update letter to database 24 August
- Project e-shot 30 August
- Website update 24 August

Community information session

The most significant consultation event undertaken to date for the project was the onsite information session on 13 February 2010. The session exceeded expectations with more than 200 people attending the session held onsite next to Otago Park. Residents, businesses and stakeholders were given four fact sheets and a set of FAQs on arrival.

In addition to project site maps, four A0-sized display boards were set up:

- Project overview
- Roads, parks and paths
- Landscaping innovation
- Development principles and community initiatives

Attendees could view the broad plans for the site and discuss with members of the project team. More than 200 feed back forms were issued and community feedback has been considered in preparing the LSP.

Community Communications

To continue to build on the success of consultation to date, Stockland and LandCorp will continue to provide updates via the website and letters to stakeholders and the database at key project milestones including the statutory advertising period, civil works and expected land release dates.

During August 2010 a communication was sent to the database comprising approximately 320 people, confirming the Structure Plan has been lodged and will now go through the City of Joondalup's Statutory process.

During the advertising period, all LSP enquiries received by Stockland and LandCorp will be directed to the City.

Detailed Design

There is a potential opportunity to engage with the community to facilitate input into the detailed design, project branding as well as finalising the product mix. This strategy will be determined upon approval of the Structure Plan.



LEGEND

ZONES AND R-CODES		LOCAL SCHEME RESERVES		OTHER	
	RESIDENTIAL R20		PARKS, RECREATION AND DRAINAGE		SUBJECT LAND BOUNDARY
	RESIDENTIAL R25		PUBLIC PURPOSE DRAINAGE		
	RESIDENTIAL R30				
	RESIDENTIAL R40				

NOTE:
 FURTHER DETAILED DESIGN OF THE MOVEMENT NETWORK IS REQUIRED AT THE SUBDIVISION STAGE AND SHOULD ADDRESS THE OUTCOMES OF THE REVISED MOVEMENT NETWORK POLICY

STRUCTURE PLAN
 Craigie High School Structure Plan

Scale: 1:2000 @ A3
 d: Aug 2010
 2: 07/098

TAYLOR BIRRELL EARNETT
 ICCOCHIAI'S EMBERSON STEWART
 BRUCE ADLARBAUGH | PFP

plan 01

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