

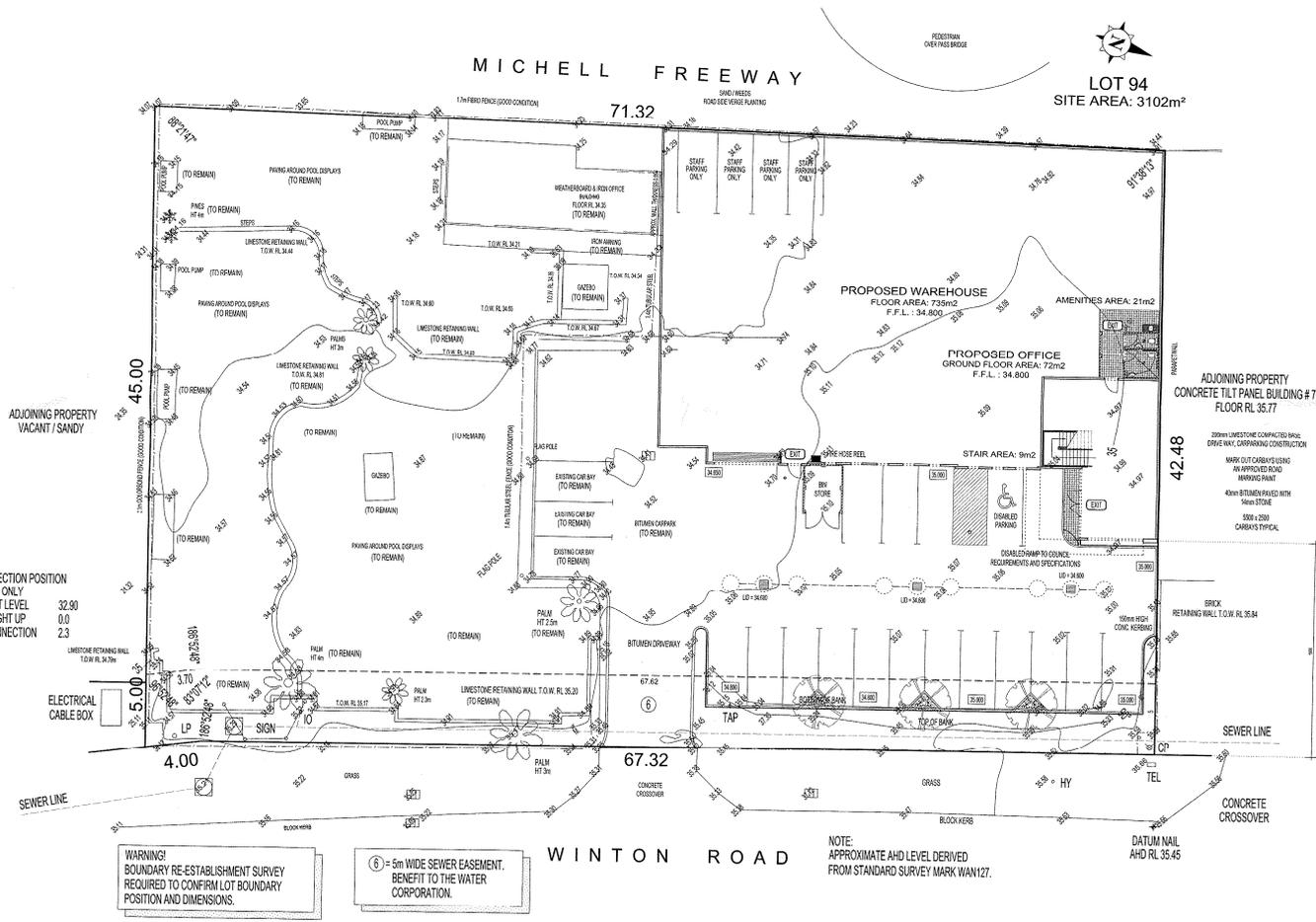


Attachment 2 – Development plans

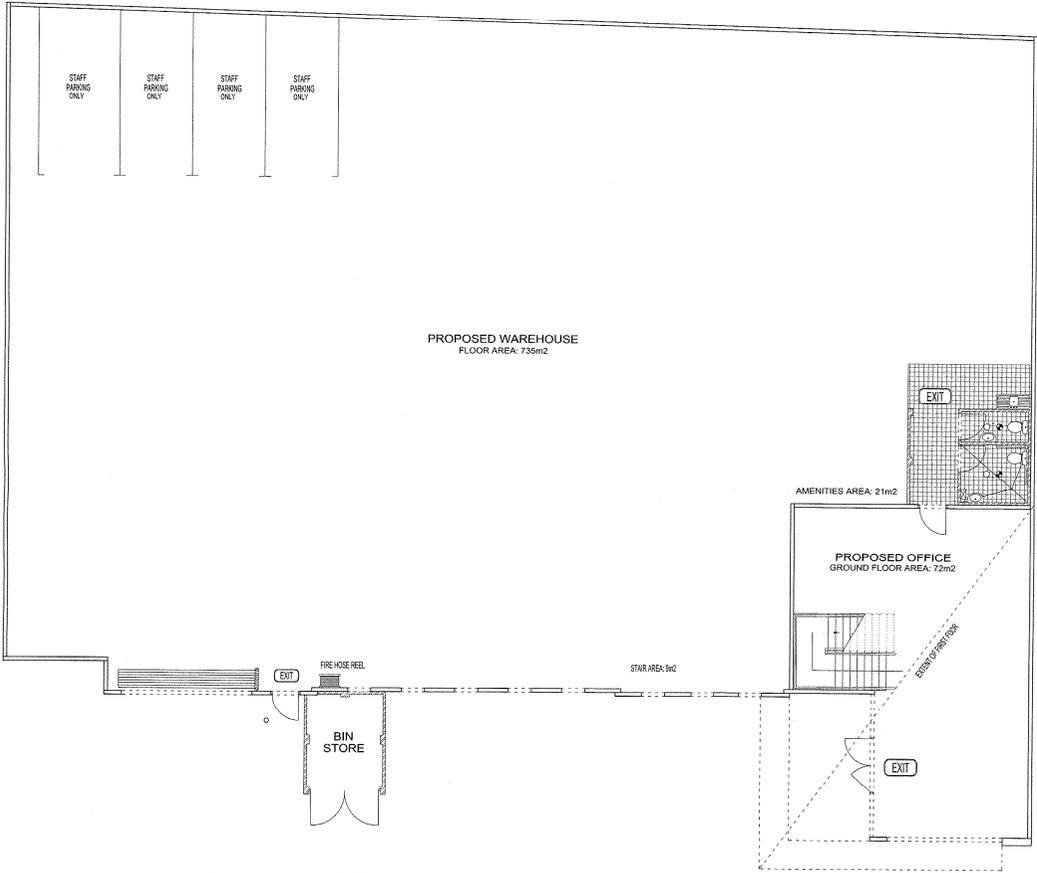
DATA SHEET	
SITE AREA:	3102m ²
BUILDING AREA:	882m ²
PLOT RATIO:	30.04%
PARKING REQUIRED (OFFICE 1680m ²):	5.25
PARKING REQUIRED (WAREHOUSE 7365m ²):	14.73
PARKING REQUIRED (AMENITIES 2114m ²):	0.03
TOTAL PARKING REQUIRED:	19.98
PARKING PROVIDED:	21

MATERIALS	
OFFICE WALLS:	GRAFFIATO / CONCRETE
FACTORY WALLS:	GRAFFIATO / CONCRETE
WINDOW FRAMES:	ALUMINIUM
DOOR FRAMES:	ALUMINIUM
PANEL CAPPING:	COLORBOND
ROLLER DOOR:	COLORBOND
METAL AWNING:	GALVANISED METAL
DOWN PIPE & RAIN HEAD:	COLORBOND

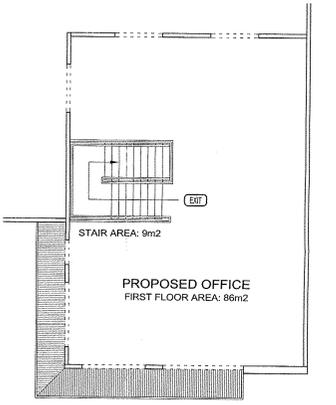
- EUCALYPTUS MACRANDRA
- CALLISTEMON YANG YARK SPECIAL
- CALLISTEMON TUTTLE JUNY
- GREWIA TOYAL WATTLE
- BRACHYCEPHALUS LANCASTRAN
- WATER GREEN LAMIN COVER



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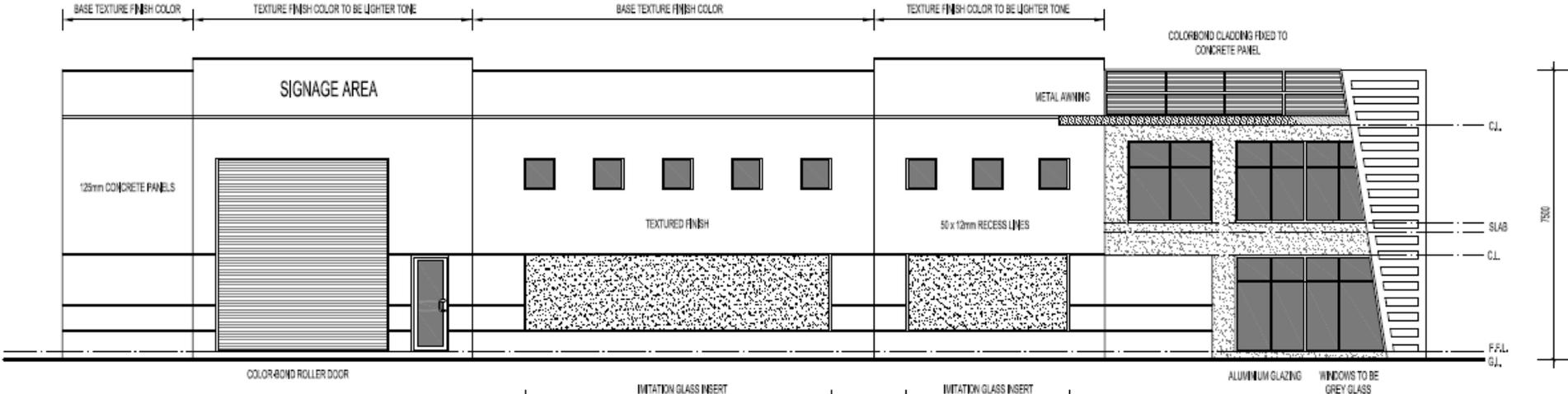


PROPOSED GROUND FLOOR PLAN
SCALE 1:100

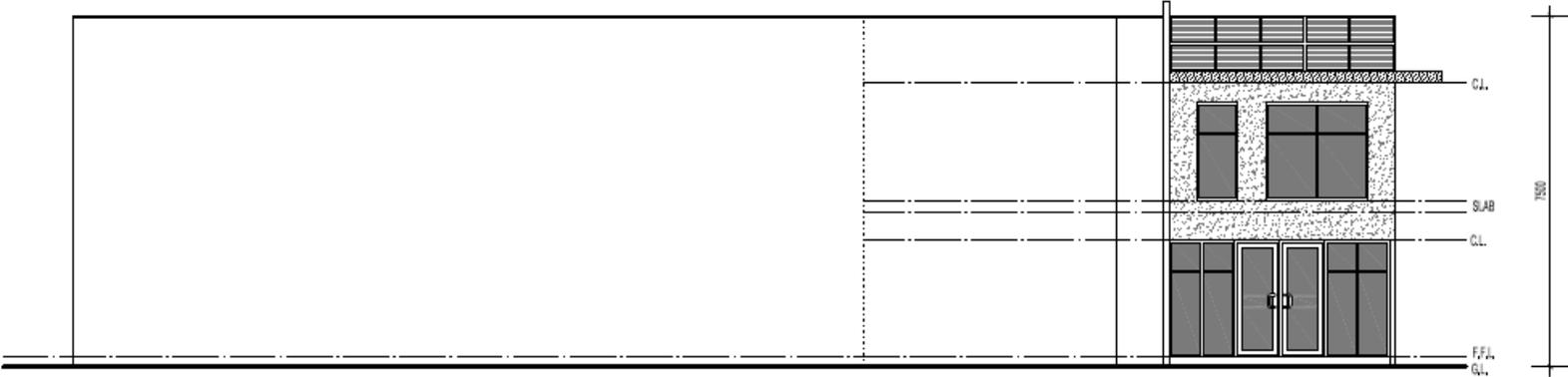


PROPOSED 1st FLOOR PLAN
SCALE 1:100

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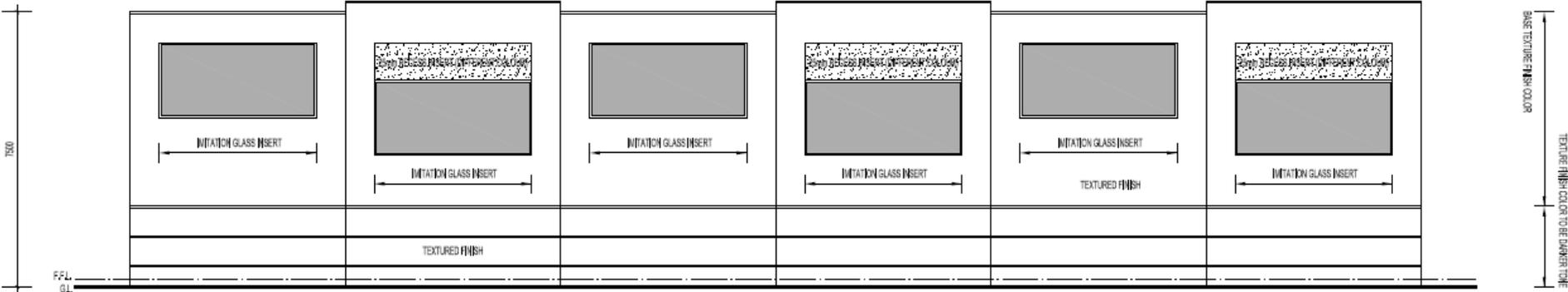


PROPOSED EAST ELEVATION
SCALE 1:100

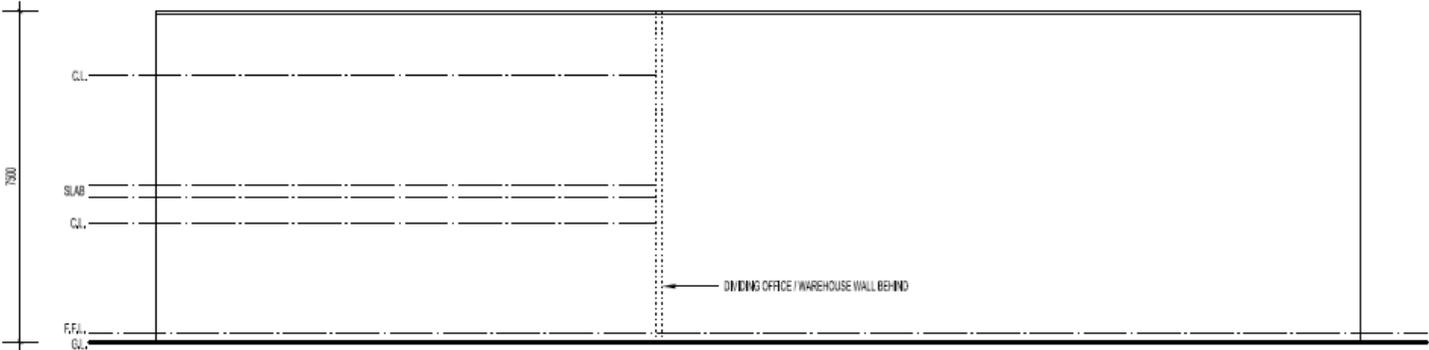


PROPOSED SOUTH ELEVATION
SCALE 1:100

Attachment 2 – Development plans



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED NORTH ELEVATION
SCALE 1:100

Notes of Joondalup Design Reference Panel Meeting, held 14 February 2011**ITEM 3 PROPOSED WAREHOUSE DEVELOPMENT AT LOT 94 (63)
WINTON ROAD, JOONDALUP**

James Leatherbarrow, Sales Manager Vespoli Construction/Applicant introduced the item to the Panel members and provided some outline of the development.

Discussion ensued and various questions and comments were raised by the Panel and addressed to the applicant:

- Discussion on the amount of glazing used.
- Discussion on setbacks and fire rated walls in relation to the blank northern façade.
- Queried the strategy for streetscaping and parking and how is this dealt with by the City.
- Queried the use of imitation glass on the west elevation and what type of material is being used.
- Discussion on lighting and articulation

Following the presentation by the Applicant, the Director Planning and Development provided an overview of the planning application, and advised the Panel how the draft Joondalup City Centre Structure plan relates to the Mitchell Freeway.

Following the presentation, the Panel Members were asked to provide feedback and raise any questions with the City officers present.

Through its discussion the Panel:

- Advised that it's a good design overall.
- Queried whether the design of the facade along the Mitchell Freeway be either broken up, varied or use public art to create some variation along the facade. It was suggested that the windows may be split up, and placed at varying heights to add visual interest.

These issues will be discussed with the applicants.