











**PERSPECTIVE (FRONT LEFT)**  
SCALE 1:1



**PERSPECTIVE (FRONT RIGHT)**  
SCALE 1:1

<b>MRODIC</b> <small>ASSOCIATES PTY LTD</small> <b>Design Consultants</b> 165 SEVENTH AVENUE INGLEWOOD, W.A. 6052 TEL: 9272 3633 FAX: 9370 3669 E-MAIL: mick@mrodic.com.au ABN: 28076630325	project:  PROPOSED MIXED USE DEVELOPMENT ON LOT2 (#10) SUNLANDER DRIVE CURRAMBINE	rev	amendment	date	client: Mr. Bloonfield & Mr. Grubisa	
					notes: check all levels and dimensions on site before commencing any work all dimensions are in millimetres dimensions shall take precedence over scale	dwg no: <b>A00</b>
					Drawn: Aung Checked: M Rodic Date: July 2011 Scale: 1:1 Job No: 10-52	Job No: 10-52



NOTE:  
ALL DIMENSIONS FROM  
① TO ③ CLOCKWISE  
ARE ORIGINAL

VER. 2  
3

AMENDMENT  
AUDIT REQUIREMENTS  
EASEMENTS ADDED

AUTHORIZED BY  
N.A. BARTLETT  
N.A. BARTLETT

DATE  
25/06/08  
24/07/08

FORMER TENURE TABLE

LOT	FORMER TENURE	ON PLAN / DIAGRAM	TITLE
LOT 1	LOT 999	DP 484.2	2545 / 14.8
LOT 2	PI, LOT 1018	DP 484.3	2545 / 119
LOT 3	PI, LOT 1018	DP 484.3	2545 / 119

LOTS 1, 2,  
ROAD WIDENING  
& EASEMENTS

DISTRICT SWAN  
TOWNSHIP

FILE CURRAMBINE  
LOCAL AUTHORITY  
CITY OF JOONDALUP

INDEX 8625 01 84, 18

SCALE 1: 1000 @ A2

SURVEYOR'S CERTIFICATE: Reg 54

APPROVED BY  
REGISTERED SURVEYOR  
PLANNED COMMISSION  
13/05/13

DATE 11/10/2008

IN ORDER FOR DEALINGS

REG 125 & 196 of the L.A.A.  
Sec 125 & 196 of the L.A.A.  
Sec 125 & 196 of the L.A.A.  
Sec 125 & 196 of the L.A.A.  
Sec 125 & 196 of the L.A.A.

APPROVED - Reg 204.4  
9.10.08

REGISTERED SURVEYOR  
LAND INFORMATION AUTHORITY

DEPOSITED PLAN  
ORIGINAL  
58614

SHEET 1 OF 2 SHEETS

VER. 2

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9.10.08

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ORIGINAL  
58614

SHEET 1 OF 2 SHEETS

VER. 2

INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND SUBDIVISION	BENEFIT TO	COMMENTS
1	MINERAL RESERVATION	15/507/1946	Dec	LOT 1		
2	MINERAL RESERVATION	17033/1940	Dec	LOT 1 & 2		
3	EASEMENT (EASEMENT)	Sec 125 & 196 of the L.A.A.	1945 PLAN	LOT 1		
4	EASEMENT (EASEMENT)	Sec 125 & 196 of the L.A.A.	1945 PLAN	LOT 1		
5	RESTRICTIVE COVENANT	Sec 125 & 196 of the L.A.A.	DUCKT32023	LOT 1		
6	EASEMENT	Sec 125 & 196 of the L.A.A.	DUCKT32023	LOT 2		

FOURD SPATIAL SOLUTIONS Pty Ltd  
100/100, 100/100, 100/100  
100/100, 100/100, 100/100  
100/100, 100/100, 100/100  
100/100, 100/100, 100/100

SCALE 1: 1000  
ALL DISTANCES ARE IN METRES

DP 58614 (01)



## Environmentally Sustainable Design – Checklist

Under the City's planning policy, *Environmentally Sustainable Design in the City of Joondalup*, the City encourages the integration of environmentally sustainable design principles into the construction of all new residential, commercial and mixed-use buildings and redevelopments (excluding single and grouped dwellings, internal fit outs and minor extensions) in the City of Joondalup.

Environmentally sustainable design is an approach that considers each building project from a 'whole-of-life' perspective, from the initial planning to eventual decommissioning. There are five fundamental principles of environmentally sustainable design, including: siting and structure design efficiency; energy efficiency; water efficiency; materials efficiency; and indoor air quality enhancement.

For detailed information on each of the items below, please refer to the *Your Home Technical Manual* at: [www.yourhome.gov.au](http://www.yourhome.gov.au), and *Energy Smart Homes* at: [www.clean.energy.wa.gov.au](http://www.clean.energy.wa.gov.au).

This checklist must be submitted with the planning application for all new residential, commercial and mixed-use buildings and redevelopments (excluding single and grouped dwellings, internal fit outs and minor extensions) in the City of Joondalup.

The City will seek to prioritise the assessment of your planning application and the associated building application if you can demonstrate that the development has been designed and assessed against a national recognised rating tool.

Please tick the boxes below that are applicable to your development.

### Siting and structure design efficiency

Environmentally sustainable design seeks to affect siting and structure design efficiency through site selection, and passive solar design.

Does your development retain:

- ☒ existing vegetation; and/or *EXISTING STREET TREE IS TO BE RETAINED*
- ☒ natural landforms and topography *SITE IS A CLEARED FLAT BLOCK.*

Does your development include:

- ☐ northerly orientation of daytime living/working areas with large windows, and minimal windows to the east and west *GIVEN STREET ORIENTATION - EAST FACING GLAZING UNAVOIDABLE*
- ☒ passive shading of glass *CANOPY PROTECTION TO STREET FACING GLAZING*
- ☒ sufficient thermal mass in building materials for storing heat
- ☒ insulation and draught sealing *ANTICON & INSULATION IN CEILING*
- ☐ floor plan zoning based on water and heating needs and the supply of hot water; and/or
- ☐ advanced glazing solutions



**Energy efficiency**

Environmentally sustainable design aims to reduce energy use through energy efficiency measures that can include the use of renewable energy and low energy technologies.

Do you intend to incorporate into your development:

- ☐ renewable energy technologies (e.g. photo-voltaic cells, wind generator system, etc); and/or
- ☒ low energy technologies (e.g. energy efficient lighting, energy efficient heating and cooling, etc); and/or
- ☐ natural and/or fan forced ventilation

**Water efficiency**

Environmentally sustainable design aims to reduce water use through effective water conservation measures and water recycling. This can include stormwater management, water reuse, rainwater tanks, and water efficient technologies.

Does your development include:

- ☐ water reuse system(s) (e.g. greywater reuse system); and/or
- ☐ rainwater tank(s)

Do you intend to incorporate into your development:

- ☒ water efficient technologies (e.g. dual-flush toilets, water efficient showerheads, etc)

**Materials efficiency**

Environmentally sustainable design aims to use materials efficiently in the construction of a building. Consideration is given to the lifecycle of materials and the processes adopted to extract, process and transport them to the site. Wherever possible, materials should be locally sourced and reused on-site.

Does your development make use of:

- ☐ recycled materials (e.g. recycled timber, recycled metal, etc)
- ☐ rapidly renewable materials (e.g. bamboo, cork, linoleum, etc); and/or
- ☐ recyclable materials (e.g. timber, glass, cork, etc)
- ☐ natural/living materials such as roof gardens and "green" or planted walls

**Indoor air quality enhancement**

Environmentally sustainable design aims to enhance the quality of air in buildings, by reducing volatile organic compounds (VOCs) and other air impurities such as microbial contaminants.

Do you intend to incorporate into your development:

- ☒ low-VOC products (e.g. paints, adhesives, carpet, etc)

**'Green' Rating**

Has your proposed development been designed and assessed against a nationally recognised "green" rating tool?

- ☐ Yes
- ☒ No

If yes, please indicate which tool was used and what rating your building will achieve:

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If yes, please attach appropriate documentation to demonstrate this assessment.

If you have not incorporated or do not intend to incorporate any of the principles of environmentally sustainable design into your development, can you tell us why:

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Is there anything else you wish to tell us about how you will be incorporating the principles of environmentally sustainable design into your development:

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When you have checked off your checklist, sign below to verify you have included all the information necessary to determine your application.

Thank you for completing this checklist to ensure your application is processed as quickly as possible.

Applicant's Full Name: RICHARD RODIC Contact Number: 9272 3533

Applicant's Signature:  Date Submitted: 14/9/11

Accepting Officer's Signature: \_\_\_\_\_

Checklist Issued: March 2011



# JOONDALUP DESIGN REFERENCE PANEL



## NOTES FROM MEETING

**WEDNESDAY 5 OCTOBER 2011 – 8.00am**  
**City of Joondalup**

### Attendees:

MR GARRY HUNT	Chief Executive Officer
MS DALE PAGE	Director Planning and Development
MR JOHN HUMPHREYS	Manager Planning Services
MS MELINDA BELL	Coordinator Planning Approvals
MS CHANTAL CORTHALS	Personal Assistant

### Panel Members:

MR ROD MOLLET	Australian Institute of Architects
MR MATHEW SELBY	Planning Institute of Australia
MS REGAN DOUGLAS	Australian Institute of Landscape Architects

### Other Attendees:

MR NEIL TEO	Dynamic Planning and Developments
MR PETER HODGE	Hodge Collard Preston Architects
MR IAN GOODENOUGH	Currambine District Centre One Pty Ltd
MR GILES HARDEN JONES	hardenjonesarchitects
MR ROB CURLEWIS	Development Planning Solutions
MR MURRAY CASSELTON	TPG Town Planning and Urban Design

## 1. WELCOME AND OPENING

The meeting was declared open at 8.00am and the CEO welcomed Panel Members and City officers.

The CEO advised that Mathew Selby will need to leave early due to other commitments.

## 2. APOLOGIES

Andy Sharp	Australian Institute of Landscape Architects
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# JOONDALUP DESIGN REFERENCE PANEL



## 3. REPORTS

### **Item 1      Proposed Restaurant, Medical Centre and Shop Development at Lot 2 (10) Sunlander Drive, Currambine**

The Coordinator, Planning Services spoke to the item and provided information on the development of a single storey restaurant, medical centre and shop application and how it relates to the other developments within the area.

No presentation was provided by the designer or applicant for this development.

The CEO asked the Panel for any questions and comments:

The Panel:

- Questioned why a tiny development is proposed for this area. Commented that architecturally, the design is inferior and also queried the size of the restaurant.
- Queried the streetscape and the amount of shading provided on the main street. Queried whether more shading could be provided along Sunlander Drive.
- Queried the front set back and whether it will create a sea of car parks at the front of the development.
- Overall, the Panel agreed that the design was “boring architecturally” and had concerns with the white colour signage scheme and that over time it may not stay that way. General discussion ensued regarding the City’s signage policy.

It was stated that the façade is bland, and suggested that the City encourages the applicants to lift the landscape and façade rather than have bland/blank walls. The Director Planning and Development explained that Officers could ask for more information regarding colours and materials when the application is submitted.

It was suggested that City officer’s advise applicants that the City requires more detailed plans with various options/plans for the Panel to assess.

The Panel suggested that the City advises the applicant that it does not support the application in its current form.

These issues will be discussed with the applicants.