

CARPARKING:

Car bays =	30
M/C bays =	5
TOTAL BAYS =	35

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**PLANNING SUBMISSION**

**PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 523, 35  
DAVIDSON TCE, JOONDALUP  
FOR RAPHAEL MAGUIRE**

CONTRIBUTOR: **ENDLESS CONCEPTS MARKETING**  
CONTACTED FOR: **MARKETING PLAN**  
CONTACTED BY: **JOONDALUP TOWN COUNCIL**  
SUBMITTED: **20/04/2011**  
SUBJECT: **PROPOSED COMMERCIAL DEVELOPMENT AT LOT 523, 35 DAVIDSON TCE, JOONDALUP FOR RAPHAEL MAGUIRE**

REV: 1     Scale: 1:100

DATE: 218     APR 2011

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**Lot 523**  
1334m<sup>2</sup>

**TENANCY 5**  
119m<sup>2</sup>  
R/L 8.50

**TENANCY 4**  
148m<sup>2</sup>  
R/L 10.00

**TENANCY 3**  
149m<sup>2</sup>  
R/L 10.00

**TENANCY 2**  
155m<sup>2</sup>  
R/L 9.80

**TENANCY 1**  
160m<sup>2</sup>  
R/L 9.60

**FOYER**  
8.50

**MALE**

**FEMALE**

**SHRS / LOCKERS**

**UTILITY ROOM**

**BIN STORE**  
3.4 x 3.7m  
12.6m<sup>2</sup>

**DRIVE**

**BITUMEN**

**SEWER LINE**

**TERMINAL U.C. POWER DRAINAGE GRATE**

**STORMWATER MANHOLE**

**BRICK FENCE**

**BRICK PARAPET WALL**

**BRICK PAVING**

**DAVIDSON TERRACE**

**REID PROMENADE**

**PLAT**

**FLAT**

**NOTE:**  
All Tenancy Finished floor levels match existing R.L.s on verge/ footpaths.

**AMENDED DRAWINGS**

**ANTHONY & ASSOCIATES**  
Architectural Consultants

**REVISIONS**

**SCALE** 1:100

**DATE** 2018

**PROJECT** PROPOSED COMMERCIAL DEVELOPMENT AT LOT 523, 35 DAVIDSON TCE, JOONALUP FOR RAPHAEL WOODRIFE

**REVISIONS**

**DATE** 2018

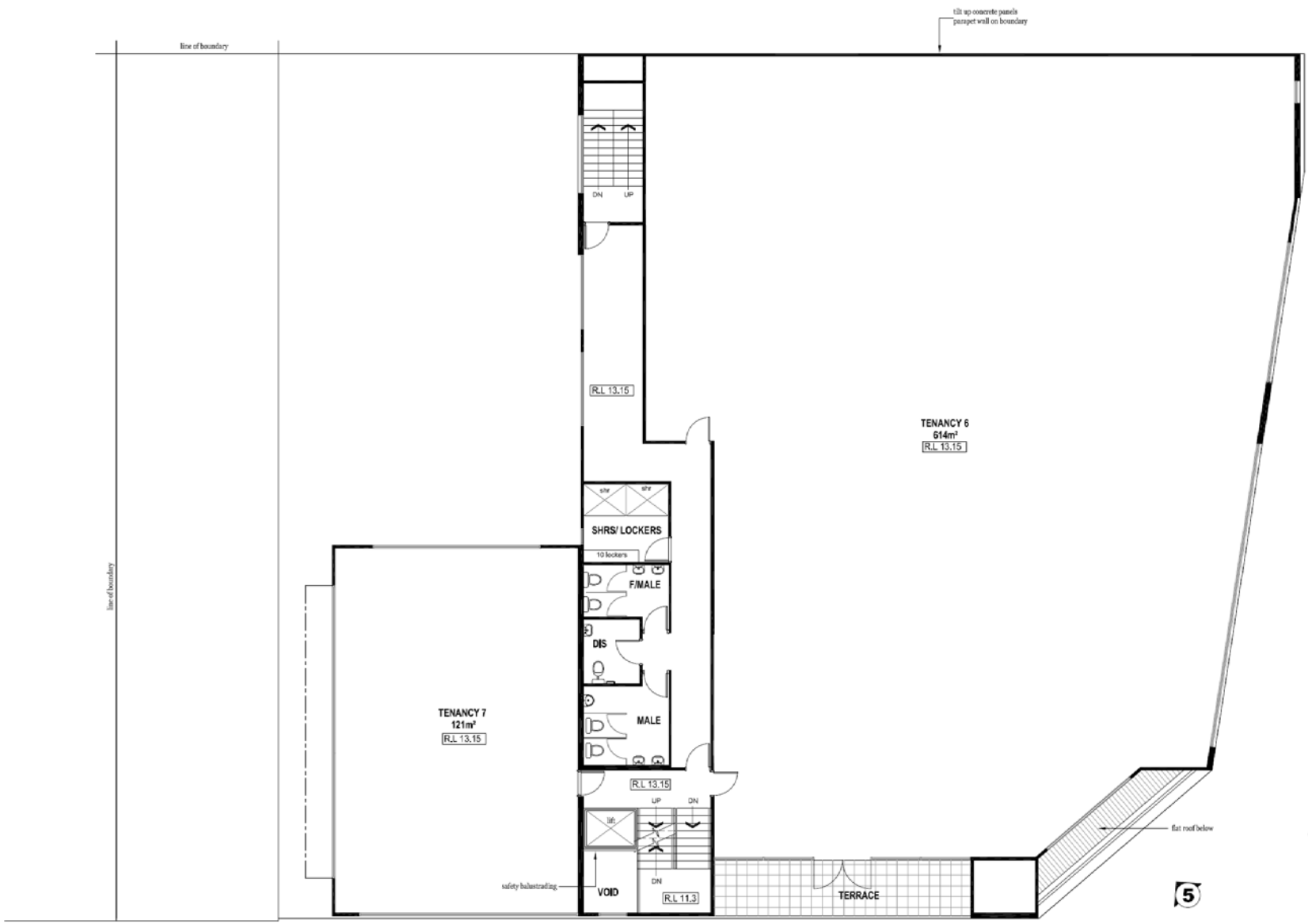
**PROJECT** PROPOSED COMMERCIAL DEVELOPMENT AT LOT 523, 35 DAVIDSON TCE, JOONALUP FOR RAPHAEL WOODRIFE

**REVISIONS**

**DATE** 2018

**PROJECT** PROPOSED COMMERCIAL DEVELOPMENT AT LOT 523, 35 DAVIDSON TCE, JOONALUP FOR RAPHAEL WOODRIFE

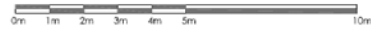
ATTACHMENT 2 - Development Plans



AMENDED DRAWINGS



**FIRST FLOOR PLAN**  
SCALE 1: 100



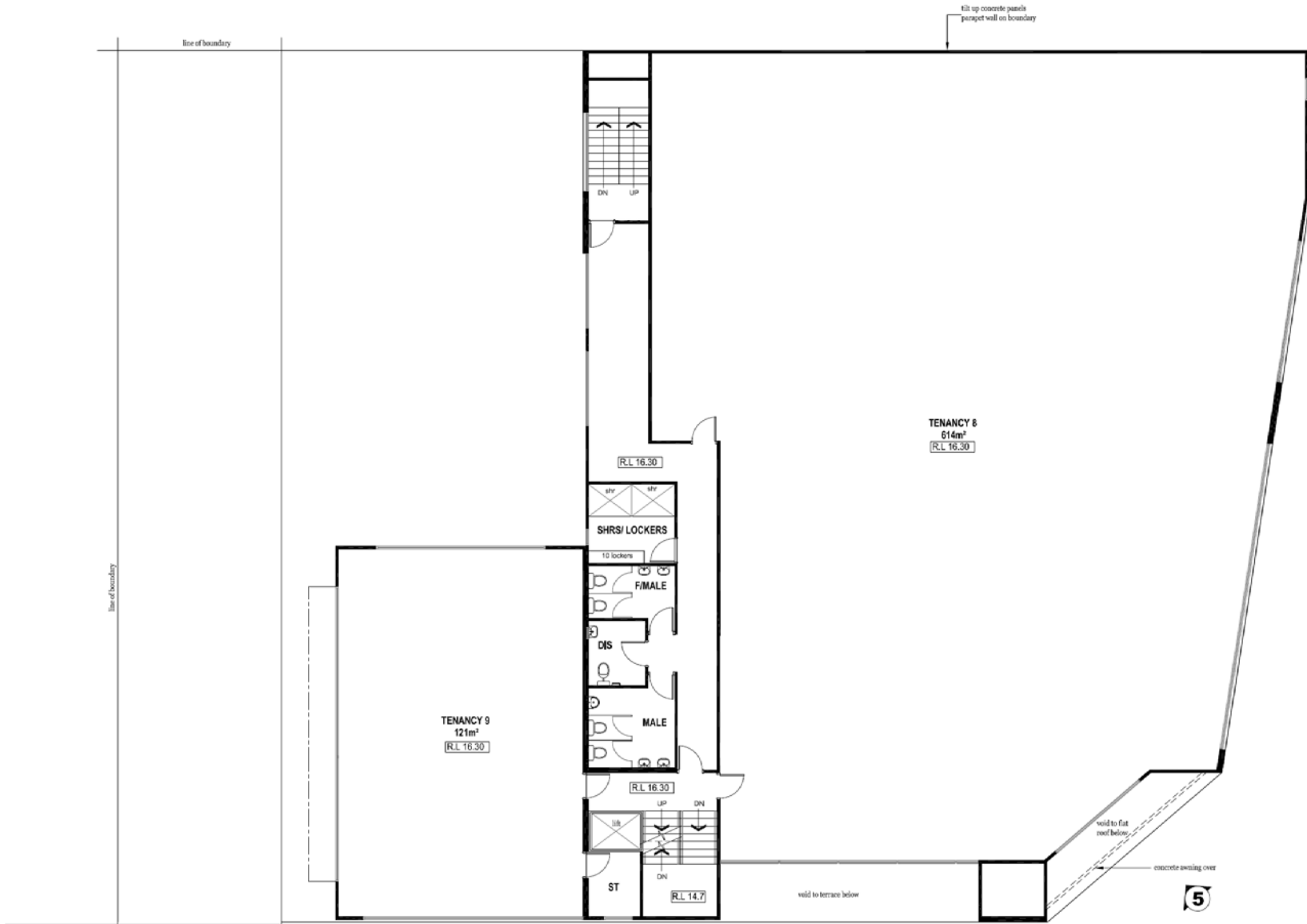
**ANTHONY & ASSOCIATES**  
Architectural Designers

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**PLANNING SUBMISSION**  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 523, 35  
DAVIDSON TCE, JOONDALUP  
FOR RAPHAEL MACGUIRE

REVISION: 11 Scale: 1:100  
JOB: 218 APR 2011

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**SECOND FLOOR PLAN**  
SCALE 1:100



AMENDED DRAWINGS

**ANTHONY & ASSOCIATES**  
Architectural Designers

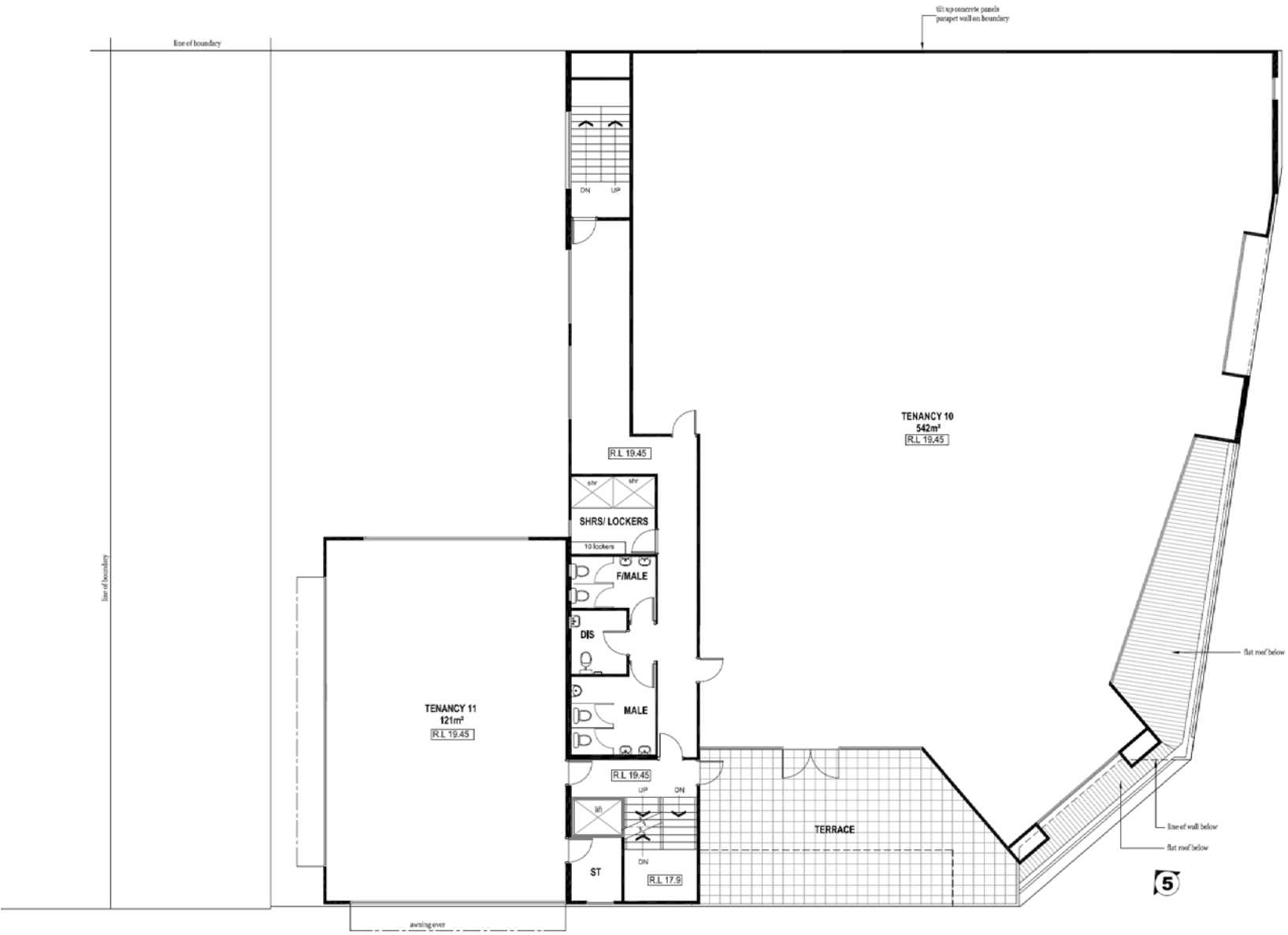
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PLANNING SUBMISSION  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 533, 35  
DAVIDSON TCE, JOONDALLUP  
FOR RAPHAEL WAGGURE

Conditions of submission are that the client  
understands and agrees that the drawings  
are preliminary and not for construction  
and that the client is responsible for all  
other requirements.

REV: 0 Scale 1:100  
JOB: 210 APRIL 2011

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**THIRD FLOOR PLAN**  
SCALE 1:100



AMENDED DRAWINGS



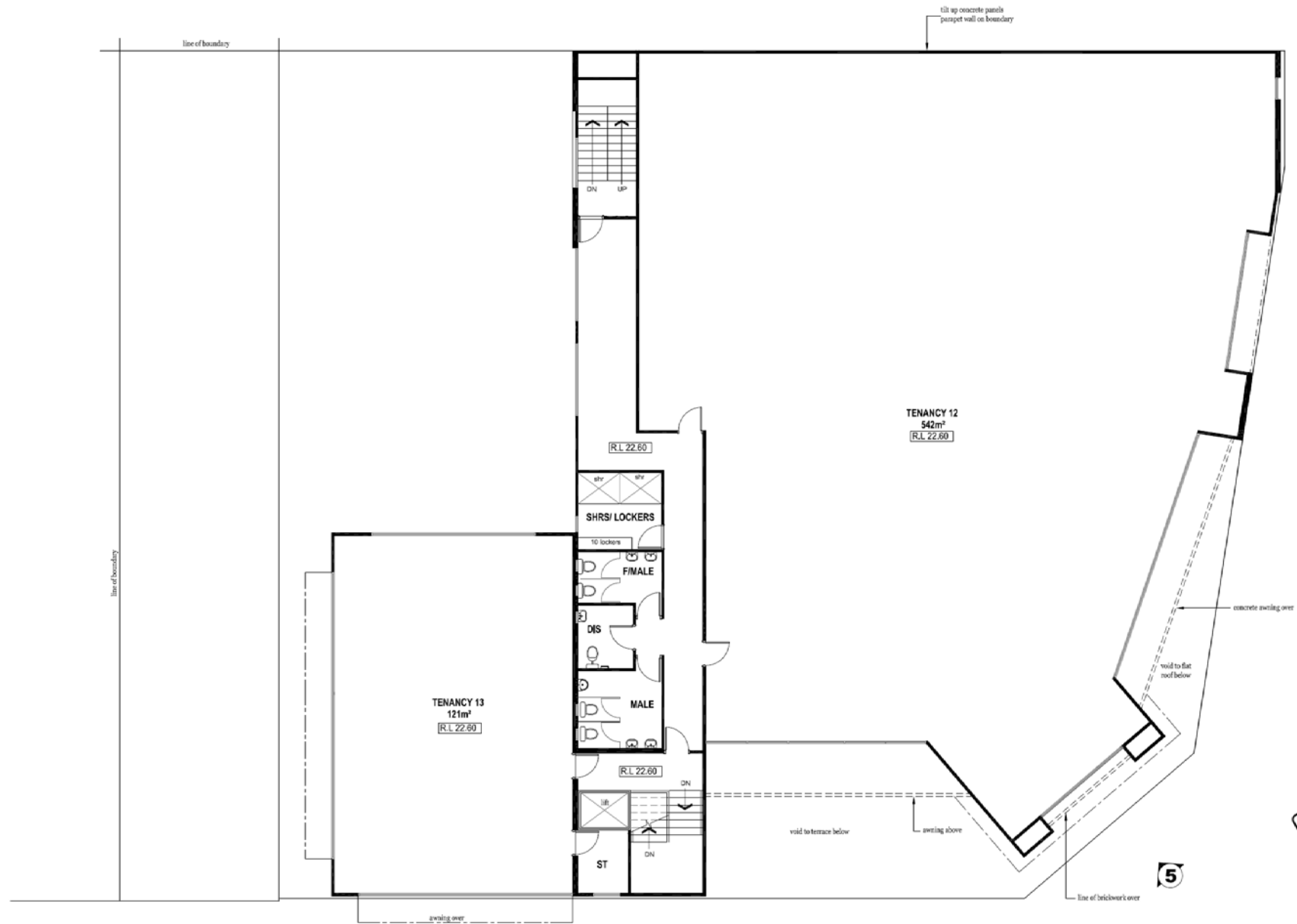
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PLANNING SUBMISSION  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 321, 35  
DAVIDSON TCE, JOONDAHLUP  
FOR RAPHAEL MACGURE

REV: 08 Scale: 1:100  
JOB: 275 APRIL 2011

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**FOURTH FLOOR PLAN**  
SCALE 1:100



AMENDED DRAWINGS

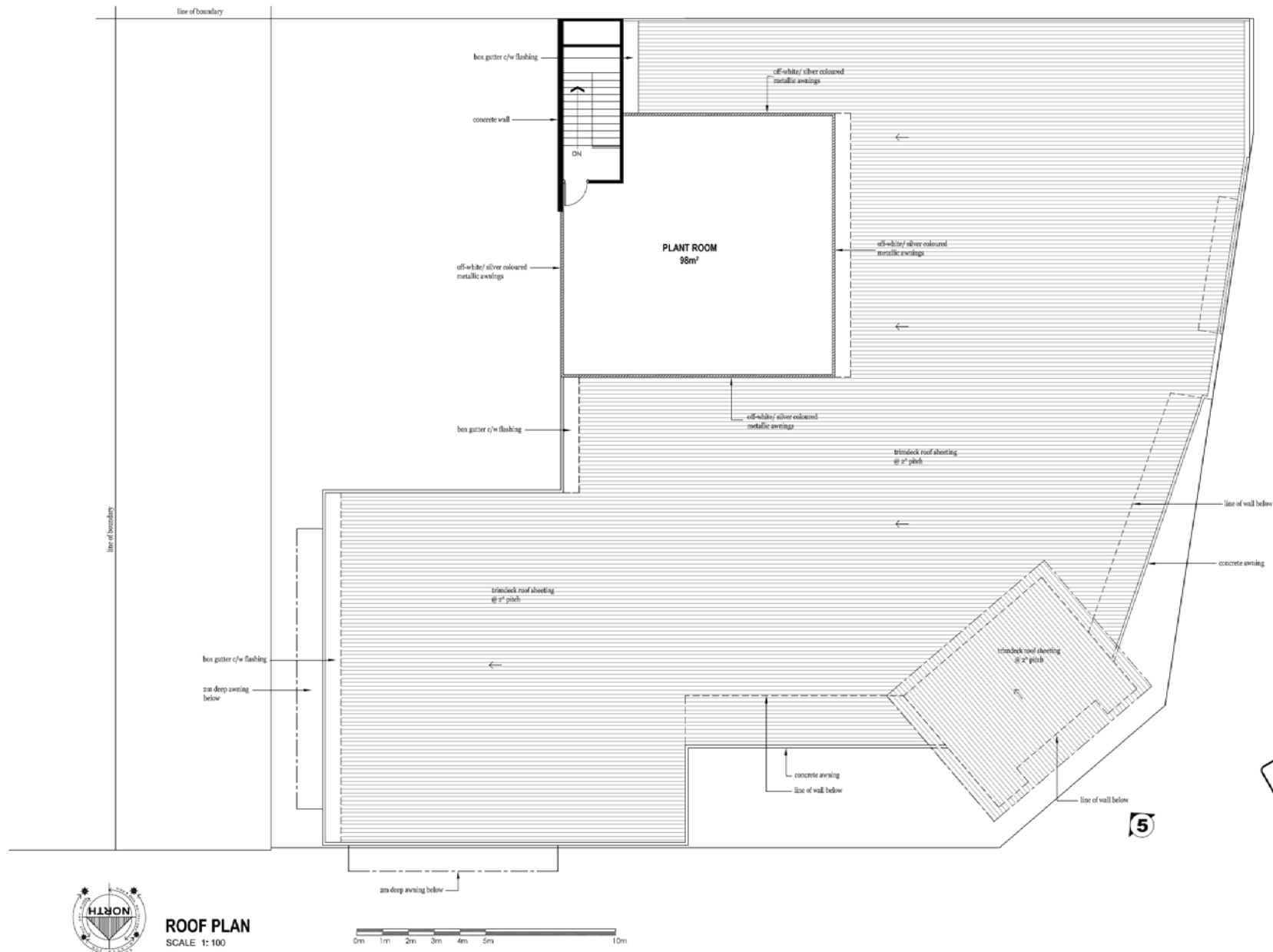


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PLANNING SUBMISSION  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 535, 35  
DAVIDSON TCE, DOONALUP  
FOR RACHAEL MACGUIRE


CONFIRMED: This drawing is subject to the  
conditions of the planning submission and  
any amendments to the planning submission  
must be approved by the relevant authority  
before construction commences.

REV: 01 Scale 1:100  
JOB: 174 APR 2011



**ROOF PLAN**  
SCALE 1:100

AMENDED DRAWINGS



**ANTHONY & ASSOCIATES**  
*Architectural Designers*

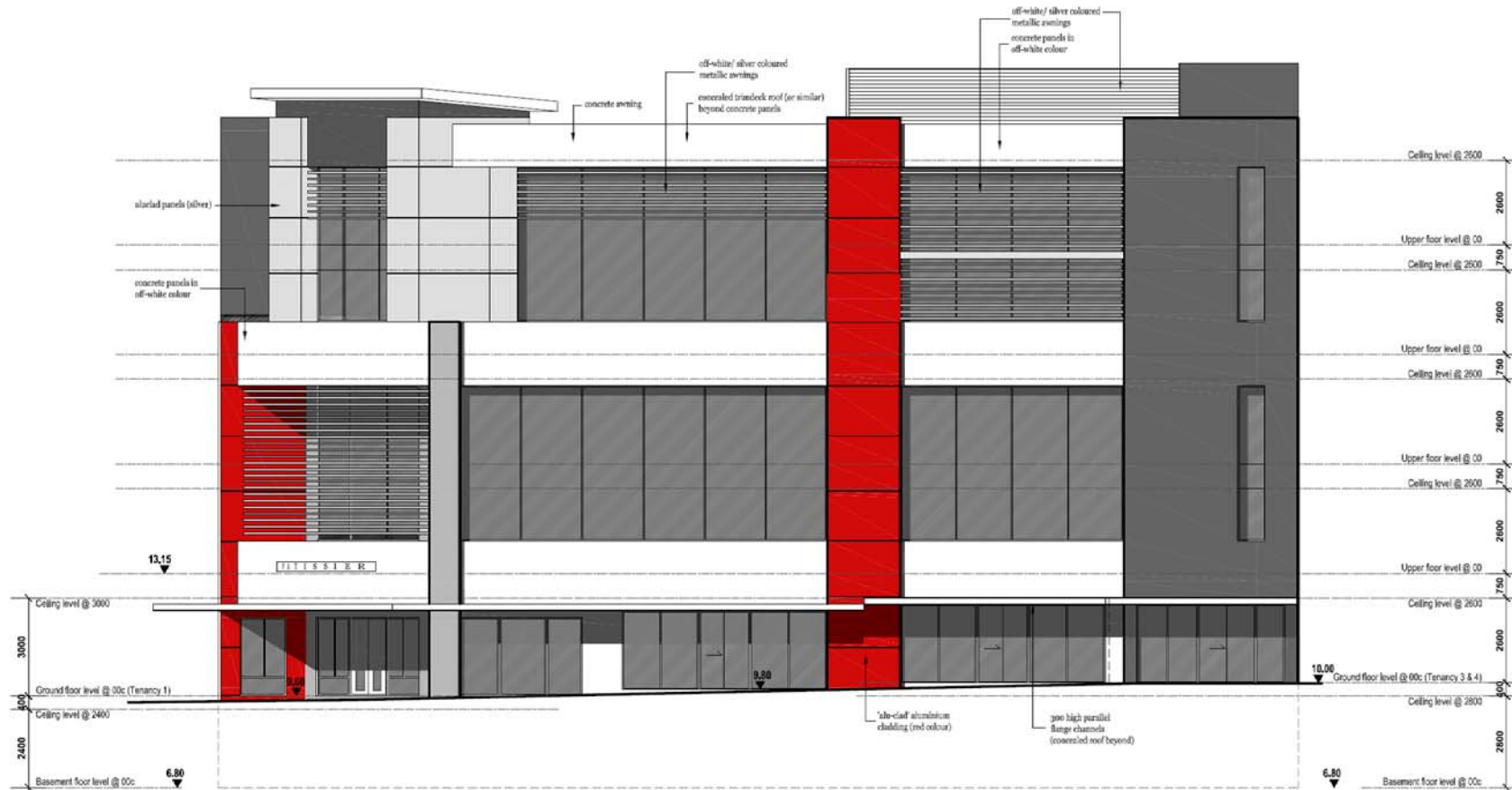
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PLANNING SUBMISSION  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 523, 35  
DAVIDSON TCE, JOON DALUP  
FOR RAPHAEL MACOURE

Condition A: Development Design Stage 1 only  
This submission is for information only and does not constitute a final design or construction document. It is subject to change without notice and should not be relied upon for construction purposes. For more information, please contact the architect.

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REV: 02 Date: 11/01/2017





AMENDED DRAWINGS

DAVIDSON TERRACE ELEVATION  
SCALE 1: 100



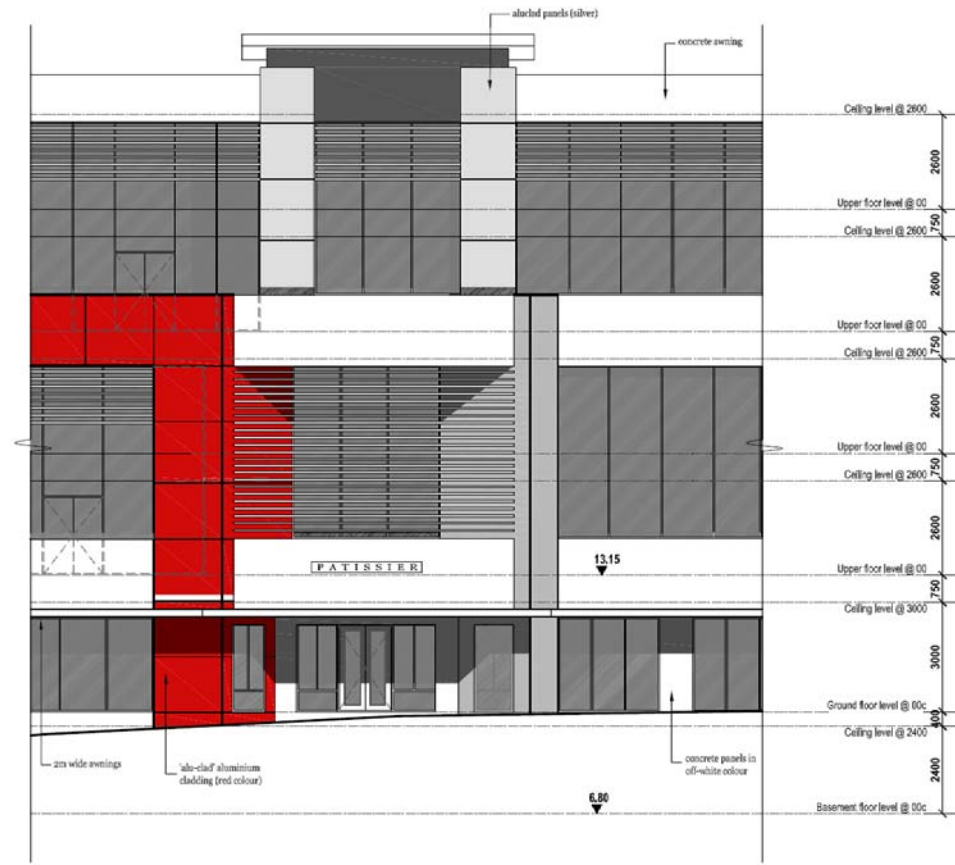
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PLANNING SUBMISSION  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 523, 35  
DAVIDSON TERRACE, JOONDALUP  
FOR RAPHAEL MACSURE

Consent to develop the land in accordance with the provisions of the Local Government Act 1995 and the provisions of the Local Government (Planning and Development) Act 2005 and the provisions of the Local Government (Planning and Development) Regulations 2006.

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PAGE: 118 2022/01/11





STREET CNR ELEVATION/ ELEVATION 5  
SCALE 1: 100

AMENDED DRAWINGS

**ANTHONY & ASSOCIATES**  
Architectural Designers

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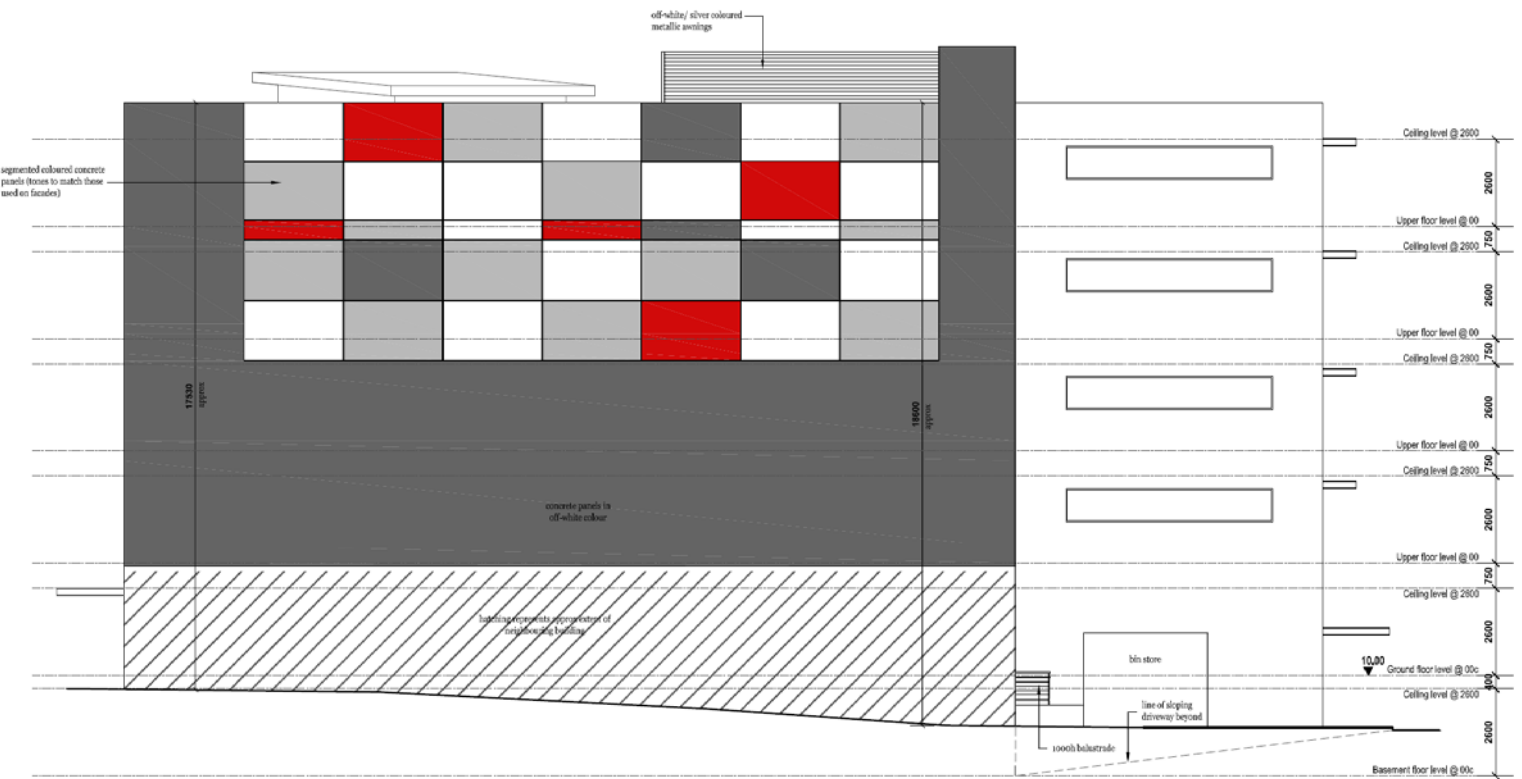
PLANNING SUBMISSION  
PROPOSED COMMERCIAL  
DEVELOPMENT AT LOT 523, 35  
DAVIDSON TCE, JOONDALLUP  
FOR RAPHAEL MACGUIRE

Consent is given for the use of this  
document for the purpose of the  
planning submission only. It is not to  
be used for any other purpose without  
the written consent of the architect.  
This document is the property of the  
architect and is to be kept confidential.

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JOB: 2011 APR 2011

NOTE:

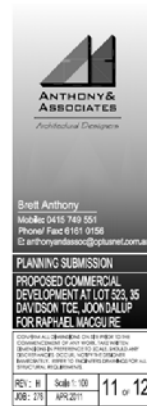
Decorative mouldings/ recesses on South facade to be designed during working drawings stage and to meet council satisfaction.

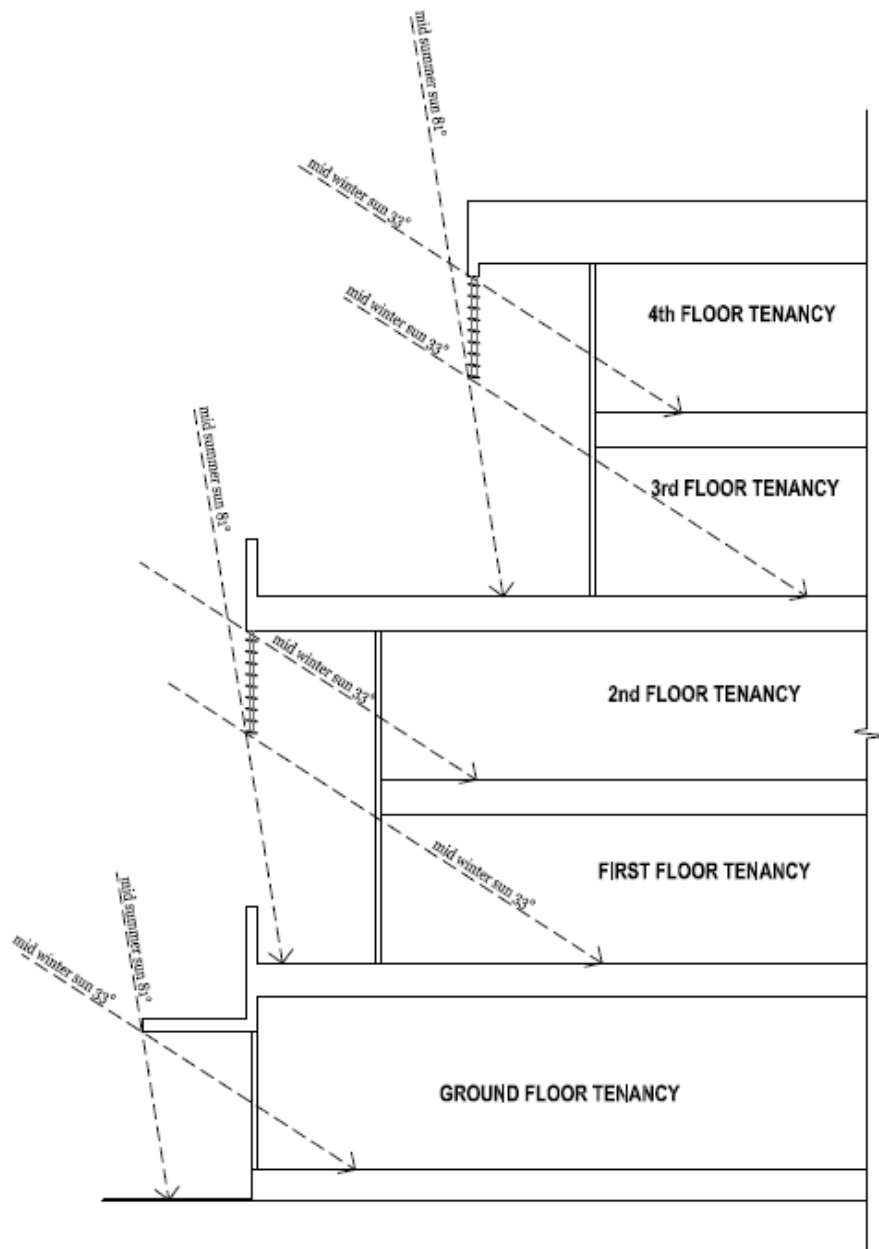


**SOUTH ELEVATION**  
SCALE 1: 100



AMENDED DRAWINGS





**SECTION THROUGH NORTH FACADE**  
SCALE 1:100





PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



**PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP**



**PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP**

## **ITEM 2      PROPOSED FIVE STOREY COMMERCIAL DEVELOPMENT AT LOT 525 (35) DAVIDSON TERRACE**

Acting Manager Planning Services provided an overview of the application, advising that the City has been working with the applicant following the Council's decision at its meeting on 19 October 2010. The Council resolved that the determination of the application be deferred pending improvement on the articulation of the building and further justification on the design and sustainability of the building, as well as consideration by the Panel.

Raphael Maguire, the owner and applicant of this development provided a brief introduction on the proposed development to the Panel members.

Discussion ensued and various questions and comments were raised by the Panel and addressed to the applicant:

- Raised concerns with the design of the building especially as it's located within the City Centre. Height of the building is good, however, it needs the quality to go with it.
- Concerned in relation to the environment and the use of mechanical air conditioning.
- The need to reconsider the corner of the building as it's the most visual and a prominent element is needed.
- Advised that more information should be provided on the materials to be used.
- Suggested that a schedule of completion be provided by the applicant.
- Queried the location of the rain water tanks.
- Queried the sun shading and how the windows will be treated on the western elevation.
- Concerned about the lack of details not being available at the approval stage.

The Panel Members were asked to provide feedback and raise any questions with the City officers present, following the presentation by the applicant.

Through its discussion the Panel:

- Advised that the materials to be used are not clearly stated by the applicant.
- Concerned that the corner element does not reflect that this site is a landmark.
- Queried the location of solar energy panels and rain tanks and that it's not reflected on the plans. The Panel advised that this should be shown on the plans and that this comment should be forwarded to Architect.
- Advised that more detail should be shown on the plans and that not enough information has been provided in relation to awnings and sun shading.
- Queried the extended glazing on the western side of the development and that due to the amount of glazing, the site will rely heavily on mechanical air conditioning.
- Advised that if no sun shading is provided, the air conditioning units will be large in size and for a prominent landmark building, will not provide a good look for the City Centre.



- Raised concern with regard to the street level and that it has no point of arrival, particularly due to the sliding doors to the tenancies rather than traditional doors.
- Concerned about the height aspect on the corner and that the applicant has the opportunity to “go for it”.
- Concerned with the design of the foyer and lift area.
- The Panel stated that it would have been beneficial for the Architect to attend the meeting.

The City will write to the Architect raising the concerns of the Panel, and requesting further information on the proposed design.