



**District Planning Scheme No.2
Amendment No. 72**

LEGEND

SCALE 1: 2000

 Boundary of Amendment
Zone Area

METROPOLITAN REGION SCHEME RESERVES

 Other Regional Roads

LOCAL RESERVES

 Civic and Cultural

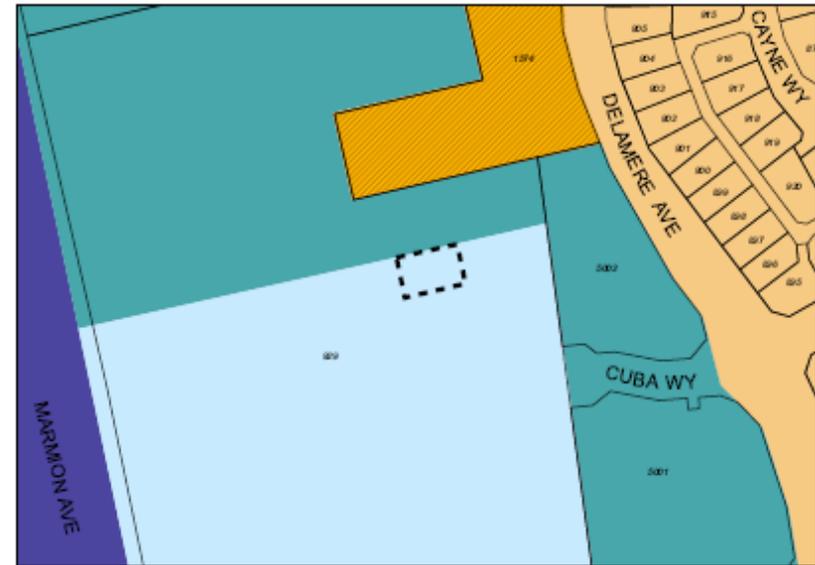
ZONES

 Residential

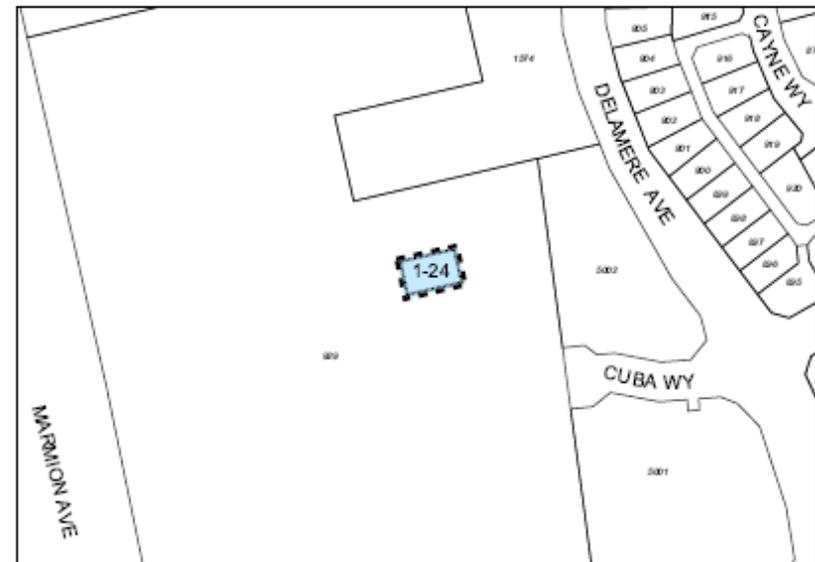
 Commercial

 Business

 Additional Use : 1-24



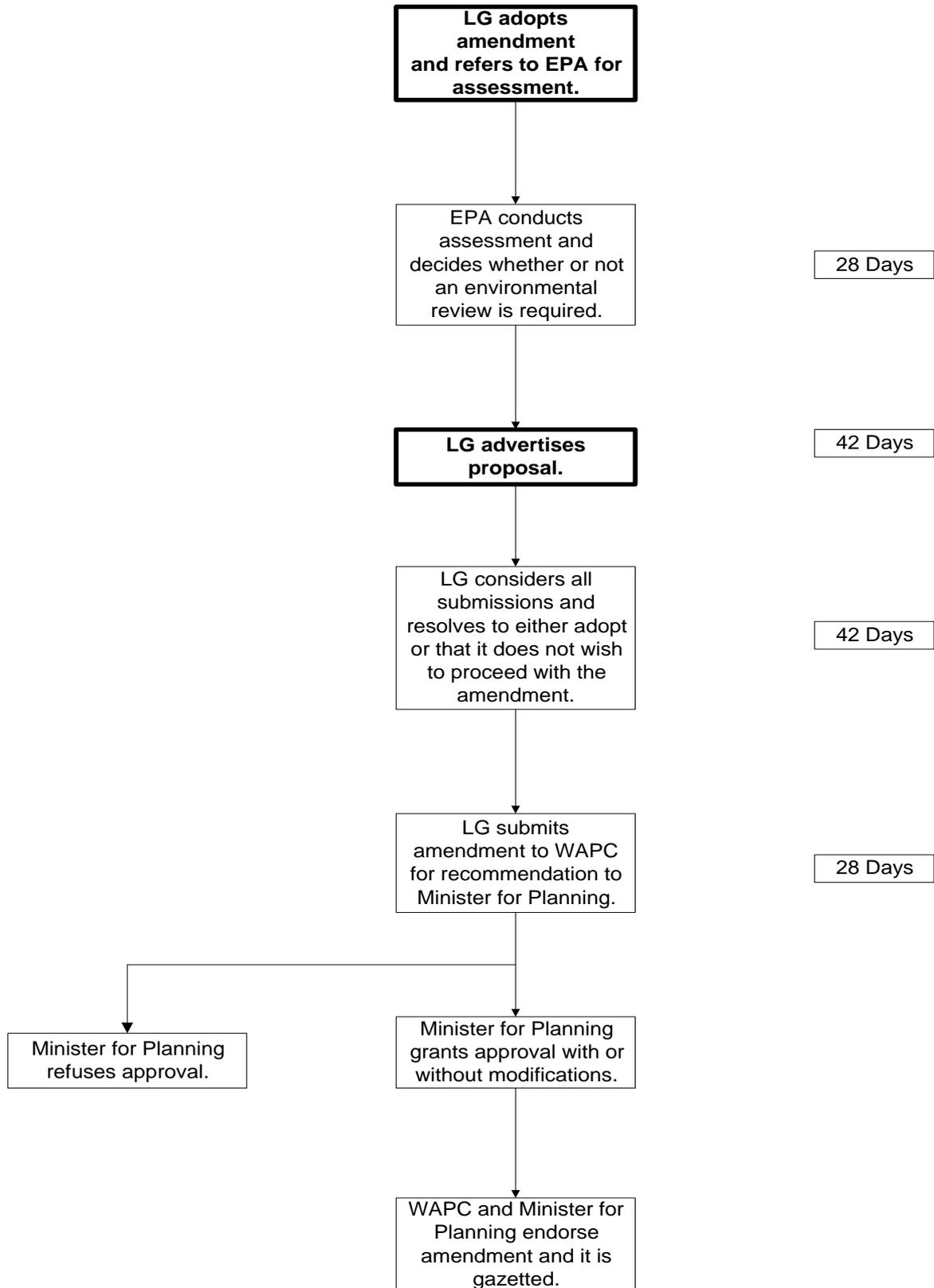
EXISTING ZONING



SCHEME AMENDMENT



Scheme Amendment Process





Schedule of submissions

ATTACHMENT 5

**PROPOSED AMENDMENT NO 72
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
(CLOSED 7 MAY 2014)**

NO	NAME AND ADDRESS OF SUBMITTER	DESCRIPTION OF AFFECTED PROPERTY	SUBMISSION SUMMARY	OFFICER OR COUNCIL'S RECOMMENDATION
1	T Mayvis	Email address provided	<p>It would be terrible to see a vehicle repairs business (or similar) to operate on this site, it has been so great to see the cultural, entertainment and restaurant business open of recent. If it were to open, it would have a negative impact on this area which is fast becoming a dining and cultural precinct.</p> <p>A vehicle repairs business would very much be out of place with its neighbours, the community would not benefit from this development (it is much better suited to the Business Park in Joondalup).</p>	<p>The restriction to the location of the vehicle repairs at the rear of the existing Currambine Shopping Centre and Cinema, off the main street and fronting a proposed future car park ensures that it is not highly visible the main street of the Currambine District Centre. This also ensures that there is no impact on the main street and the preferred location of more active land uses, such as restaurants.</p> <p>The land use is considered an appropriate use for a District Centre, and will act to serve the daily and weekly needs of local residents.</p>