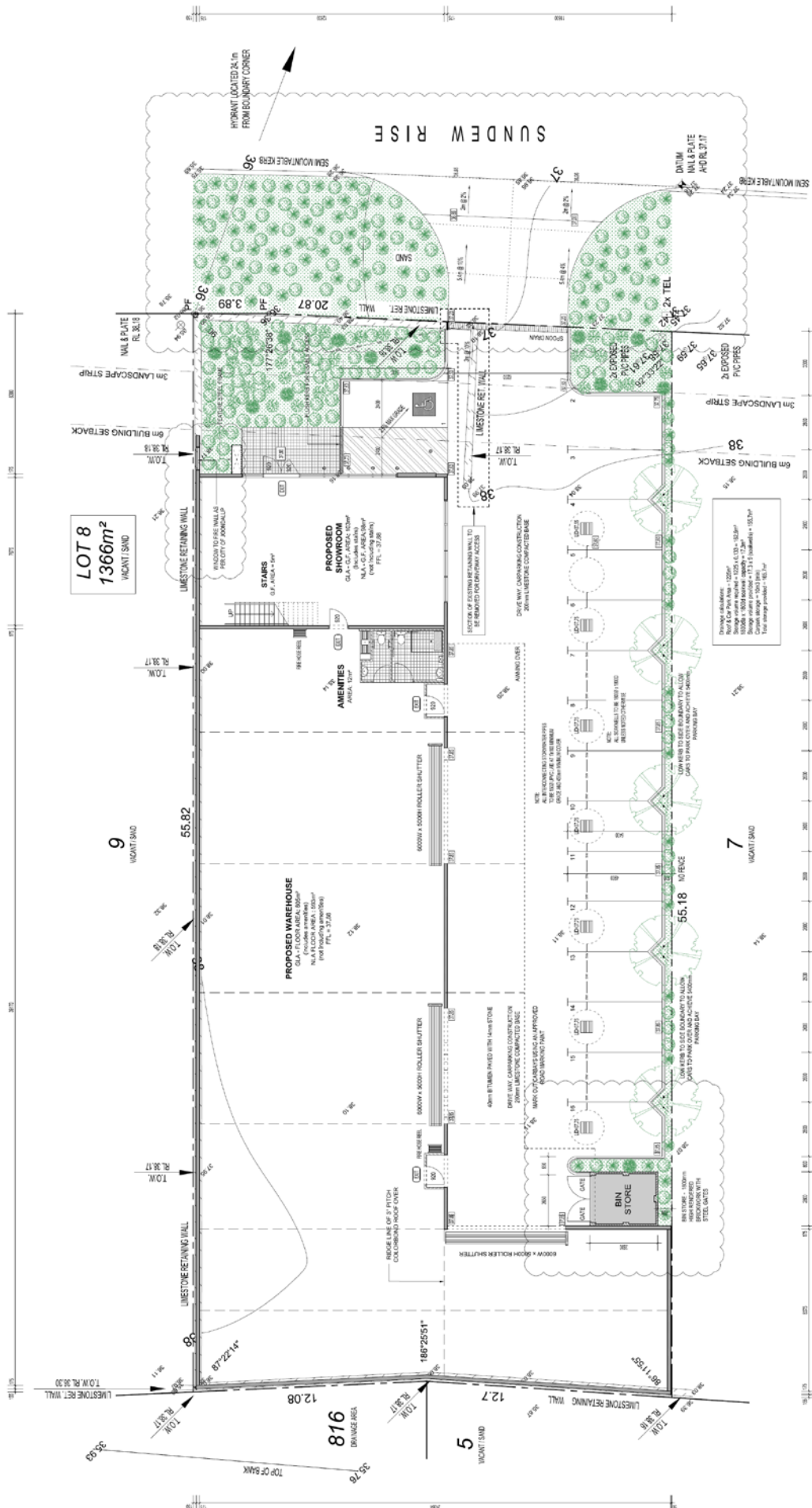




ISSUED FOR
DEVELOPMENT
APPROVAL



NOTE: NO SEWER INFORMATION IS AVAILABLE WAS AT TIME OF SURVEY. IF FURTHER INFORMATION IS REQUIRED PLEASE ENQUIRE WITH THE WATER CORPORATION.

PROPOSED SITE PLAN / GROUND FLOOR PLAN

SCALE 1:100

DATA SHEET	
SITE AREA	130ha
BUILDING AREA	81ha
PLANT AREA	18.2%
LANDSCAPE REQUIRED (P)	103.3ha
LANDSCAPE PROVIDED	101ha
PAVING REQUIRED (OFFICE BUILDING)	3.28
PAVING REQUIRED (WATERCHUTE 5000002)	11.18
PAVING REQUIRED (SHOWROOM 300002)	3.28
TOTAL PAVING REQUIRED	16.28
PAVING PROVIDED	16

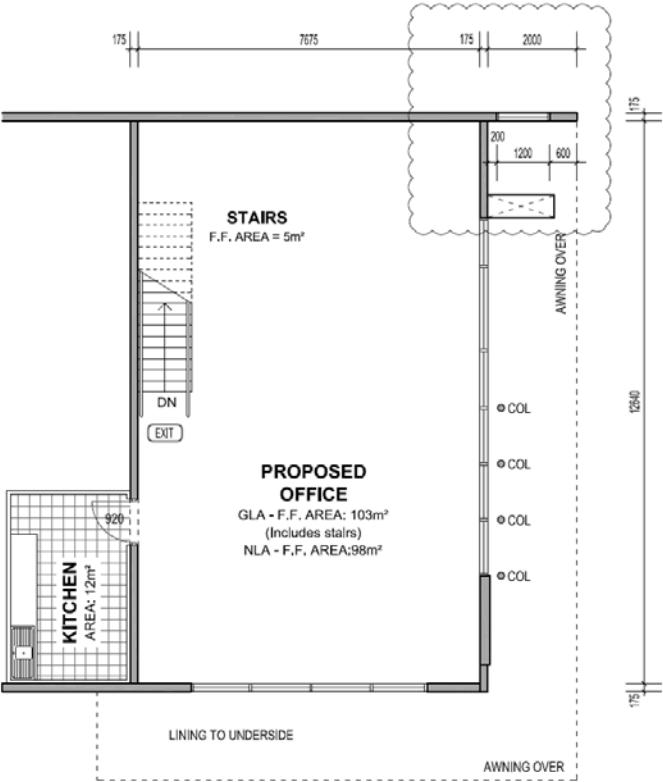


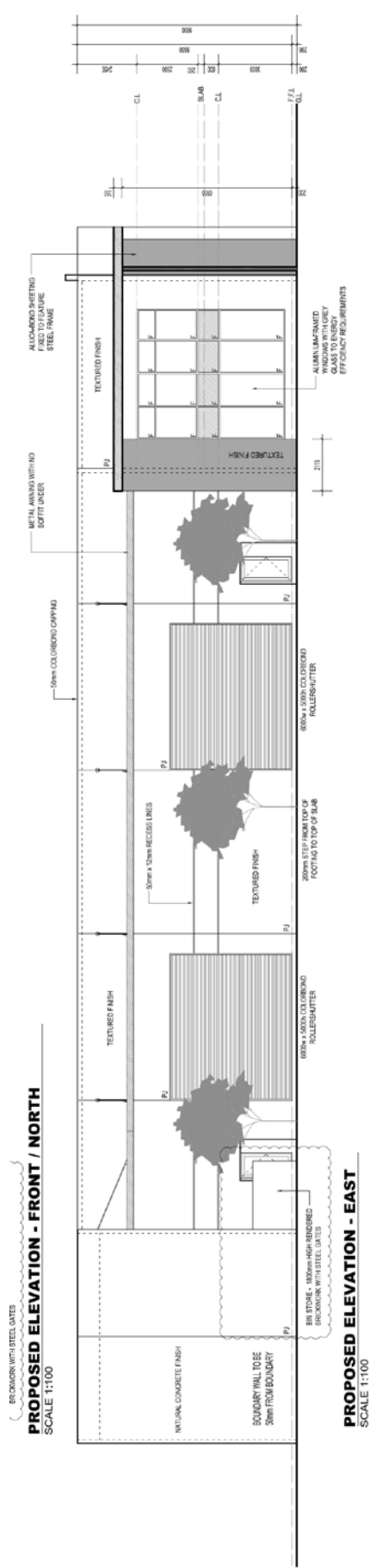
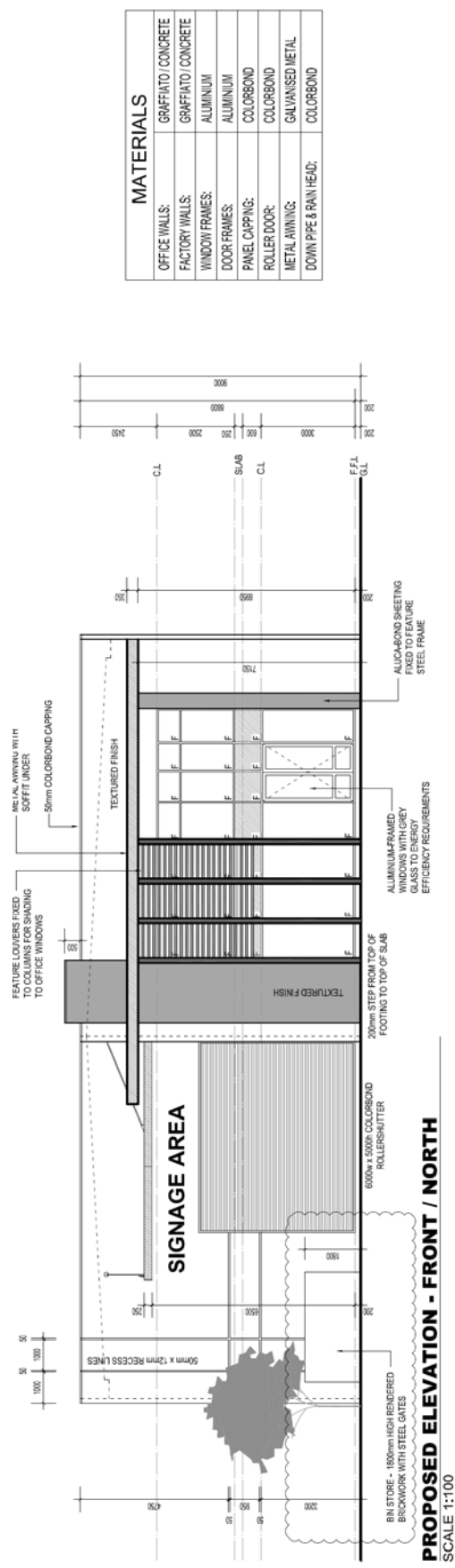
LANDSCAPE KEY

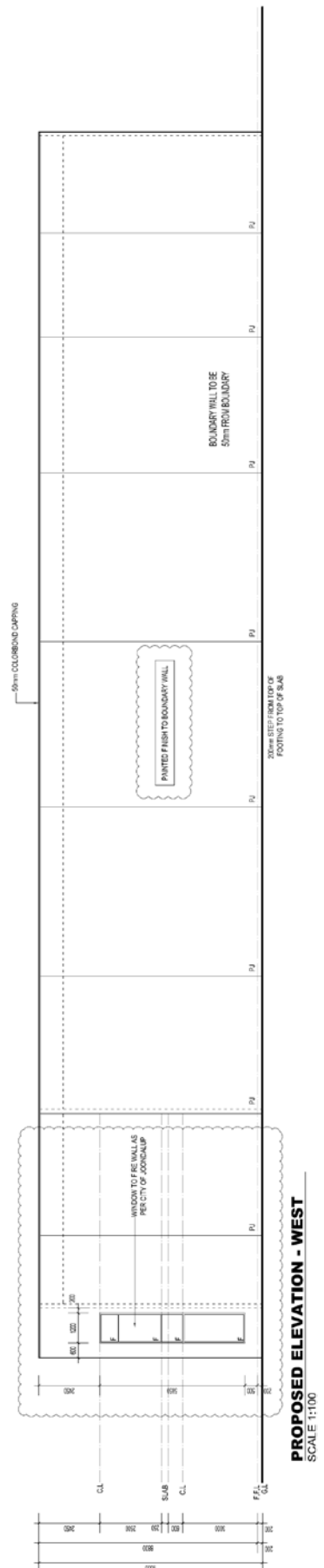
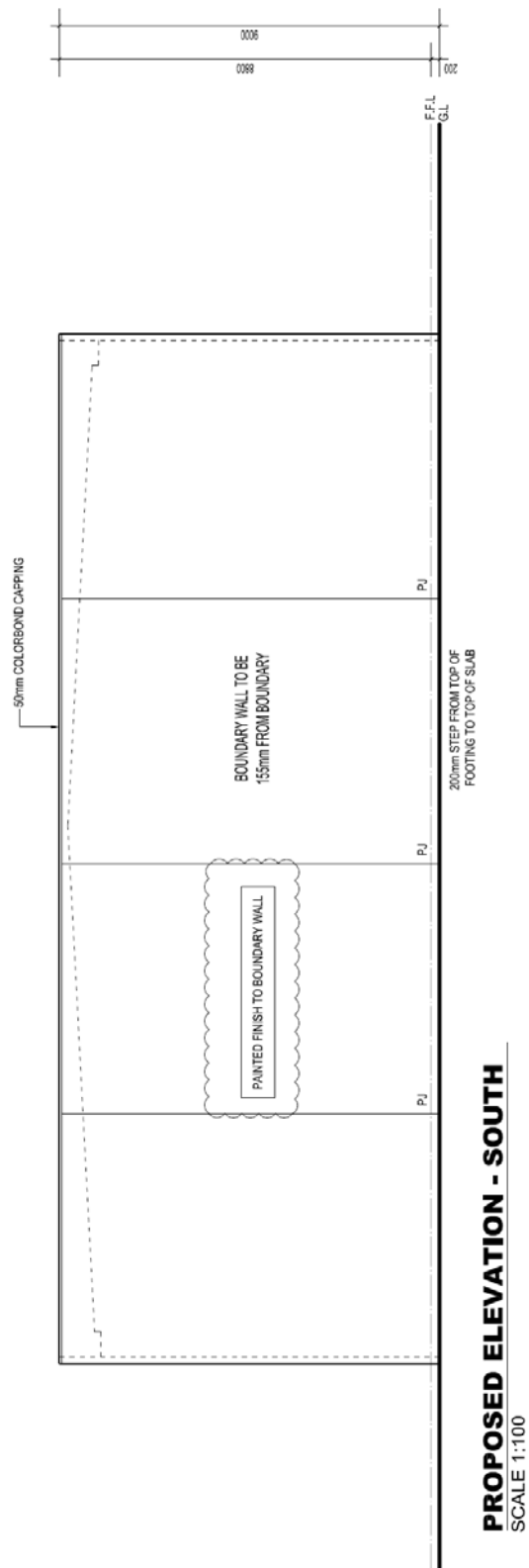


MATERIALS

OFFICE WALLS	GRAFFATO CONCRETE
FACTORY WALLS	GRAFFATO CONCRETE
WINDOW FRAMES	ALUMINUM
DOOR FRAMES	ALUMINUM
PANEL CAPPING	COLORBOND
ROLLER DOOR	COLORBOND
METAL AWNING	GALVANISED METAL
POUNCE (ALUMINUM)	COLORBOND











Lot 8 Sundew Rise Joondalup



Environmentally Sustainable Design – Checklist

Under the City's planning policy, *Environmentally Sustainable Design in the City of Joondalup*, the City encourages the integration of environmentally sustainable design principles into the construction of all new residential, commercial and mixed-use buildings and redevelopments (excluding single and grouped dwellings, internal fit outs and minor extensions) in the City of Joondalup.

Environmentally sustainable design is an approach that considers each building project from a 'whole-of-life' perspective, from the initial planning to eventual decommissioning. There are five fundamental principles of environmentally sustainable design, including: siting and structure design efficiency; energy efficiency; water efficiency; materials efficiency; and indoor air quality enhancement.

For detailed information on each of the items below, please refer to the *Your Home Technical Manual* at: www.yourhome.gov.au, and *Energy Smart Homes* at: www.clean.energy.wa.gov.au.

This checklist must be submitted with the planning application for all new residential, commercial and mixed-use buildings and redevelopments (excluding single and grouped dwellings, internal fit outs and minor extensions) in the City of Joondalup.

The City will seek to prioritise the assessment of your planning application and the associated building application if you can demonstrate that the development has been designed and assessed against a national recognised rating tool.

Please tick the boxes below that are applicable to your development.

Siting and structure design efficiency

Environmentally sustainable design seeks to affect siting and structure design efficiency through site selection, and passive solar design.

Does your development retain:

- ☒ existing vegetation; and/or
- ☒ natural landforms and topography

Does your development include:

- ☒ northerly orientation of daytime living/working areas with large windows, and minimal windows to the east and west
- ☒ passive shading of glass
- ☒ sufficient thermal mass in building materials for storing heat
- ☒ insulation and draught sealing
- ☒ floor plan zoning based on water and heating needs and the supply of hot water; and/or
- ☒ advanced glazing solutions

Energy efficiency

Environmentally sustainable design aims to reduce energy use through energy efficiency measures that can include the use of renewable energy and low energy technologies.

Do you intend to incorporate into your development:

- ☐ renewable energy technologies (e.g. photo-voltaic cells, wind generator system, etc); and/or
- ☒ low energy technologies (e.g. energy efficient lighting, energy efficient heating and cooling, etc); and/or
- ☒ natural and/or fan forced ventilation

Water efficiency

Environmentally sustainable design aims to reduce water use through effective water conservation measures and water recycling. This can include stormwater management, water reuse, rainwater tanks, and water efficient technologies.

Does your development include:

- ☐ water reuse system(s) (e.g. greywater reuse system); and/or
- ☐ rainwater tank(s)

Do you intend to incorporate into your development:

- ☒ water efficient technologies (e.g. dual-flush toilets, water efficient showerheads, etc)

Materials efficiency

Environmentally sustainable design aims to use materials efficiently in the construction of a building. Consideration is given to the lifecycle of materials and the processes adopted to extract, process and transport them to the site. Wherever possible, materials should be locally sourced and reused on-site.

Does your development make use of:

- ☐ recycled materials (e.g. recycled timber, recycled metal, etc)
- ☐ rapidly renewable materials (e.g. bamboo, cork, linoleum, etc); and/or
- ☒ recyclable materials (e.g. timber, glass, cork, etc) ~~Aluminium~~
- ☐ natural/living materials such as roof gardens and "green" or planted walls

Indoor air quality enhancement

Environmentally sustainable design aims to enhance the quality of air in buildings, by reducing volatile organic compounds (VOCs) and other air impurities such as microbial contaminants.

Do you intend to incorporate into your development:

- ☒ low-VOC products (e.g. paints, adhesives, carpet, etc)

'Green' Rating

Has your proposed development been designed and assessed against a nationally recognised "green" rating tool?

- ☐ Yes
- ☒ No

If yes, please indicate which tool was used and what rating your building will achieve:

If yes, please attach appropriate documentation to demonstrate this assessment.

If you have not incorporated or do not intend to incorporate any of the principles of environmentally sustainable design into your development, can you tell us why:

Is there anything else you wish to tell us about how you will be incorporating the principles of environmentally sustainable design into your development:

The showroom to Lot 8 sundew rise development has large areas of East, north & West facing glass, increasing natural lighting & reducing the need for high levels of lighting.

When you have checked off your checklist, sign below to verify you have included all the information necessary to determine your application.

Thank you for completing this checklist to ensure your application is processed as quickly as possible.

Applicant's Full Name: Jason Merolo Contact Number: 9209 1800

Applicant's Signature:  Date Submitted: 1/7/14

Accepting Officer's Signature: _____

Checklist Issued: March 2011

**ITEM 3 PROPOSED SHOWROOM, WAREHOUSE AND ANCILLARY OFFICE
DEVELOPMENT AT LOT 8 (19) SUNDEW RISE, JOONDALUP**

The CEO introduced the item on the showroom development at 19 Sundew Rise, Joondalup.

The CEO re-introduced Mr Michael Stewart to the Panel and City Officers present.

Mr Stewart spoke to the item on the proposed showroom, warehouse and ancillary office development at Sundew Rise. He advised that it is a similar plan to the Honeybush Drive design which was presented to the Panel earlier in the meeting.

The Panel made the following comments/questions to the representative:

- A general discussion held on City Centre parking standards.

There were no further comments from the Panel. The CEO thanked Mr Stewart for attending the meeting who left the room at 3.58pm.

Further discussion ensued with the Panel on the following points:

- Noted that the plans indicate that the verge will remain as sand.
The City advised that the verge will be landscaped in addition to the on-site landscaping.

The City will discuss these issues and comments with the applicants.