

Child Care Premises Local Planning Policy

Responsible Directorate: Planning and Community Development

Objectives:

- To provide development standards for the location, siting and design of child care premises.
- To ensure that child care premises do not have an adverse impact on the amenity of surrounding areas, particularly residential areas.

1. Authority:

This policy has been prepared in accordance with Schedule 2, Part 2 of the deemed provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* which allows the local government to prepare local planning policies relating to planning and development within the Scheme area.

2. Application:

This policy applies to the whole of the City of Joondalup.

3. Definitions:

“**child care premises**” as defined in *Local Planning Scheme No. 3* means premises where:

- (a) an education and care service as defined in the *Education and Care Services National Law (Western Australia)* section 5(1), other than a family day care service as defined in that section, is provided; or
- (b) a child care service as defined in the *Child Services Act 2007* section 4 is provided.

“**district distributor road**” means a road as defined in the *Western Australian Road Hierarchy* produced by Main Roads Western Australia.

“**local distributor road**” means a road as defined in the *Western Australian Road Hierarchy* produced by Main Roads Western Australia.

4. Statement:

In considering applications for child care premises, the location, siting and design of the child care premises will be taken into consideration with the aim of ensuring that the development is compatible with, and avoids adverse impacts on, the amenity of adjoining and surrounding areas.

5. Details:

In assessing an application for development approval for child care premises, the following will apply:

5.1. Location:

The appropriate location of child care premises is crucial in avoiding adverse impacts on surrounding properties, particularly in terms of additional traffic, car parking and noise.

5.1.1. Neighbouring Uses:

- a. To minimise potential adverse impacts such premises may have on the amenity of residential properties, particularly as a result of noise and/or increased traffic, it is preferable to locate child care premises adjacent to non-residential uses such as shopping centres, medical centres or consulting rooms, schools, parks and community purpose buildings.
- b. Where a child care premises is proposed to be located next to a residential property, the applicant must demonstrate that the proposal will not have an undue impact on residential amenity.

5.1.2. Road Hierarchy:

- a. As child care premises can be reasonably high traffic-generators, they should be located on Local Distributor Roads in such a manner that they would not conflict with traffic control devices and would not encourage the use of nearby Access Roads for turning movements.

5.2. Parking and Access:

5.2.1. Car Parking Standard

- a. Car parking bays are to be provided in accordance with the following table:

Use Class	Number of on-site parking bays
Child Care Premises	1 per employee plus 5 per ≤ 25 children 6 per 26–30 children 7 per 31–56 children 8 per 57–64 children 9 per 65–72 children 10 per 73–80 children 11 per 81–88 children 12 per 89–96 children 13 per 97–104 children 14 per 105 + children

5.2.2. Car Park Location and Design

a. Car park access and design is to be in accordance with the following requirements:

Design Element	Development Requirement
(a) Car park location	(i) All car parking is to be provided on-site; verge parking is not permitted. (ii) Car parks must be clearly visible from the street to encourage parking on-site instead of on the road verge.
(b) Car park design	(i) Car parks shall be designed in accordance with Australian Standards AS 2890.1 and/or AS 2890.2 as amended from time to time.
(c) Vehicle Access	(i) Vehicle access should not be taken from District Distributor A Roads. Only under exceptional circumstances may vehicle access be considered from a District Distributor B or Access Road. (ii) Vehicle access with separate entry and exit points is preferred (Type 1 on Figure 1). Alternatively, 'two-way' vehicle access (Type 2 on Figure 1) is required. (iii) Where practicable, existing vehicle access points should be utilised instead of proposing new access points. (iv) Vehicles are required to enter and exit the site in forward gear.
(d) Pedestrian Access	(i) A footpath must be provided from the car park and the street to the building entrance.

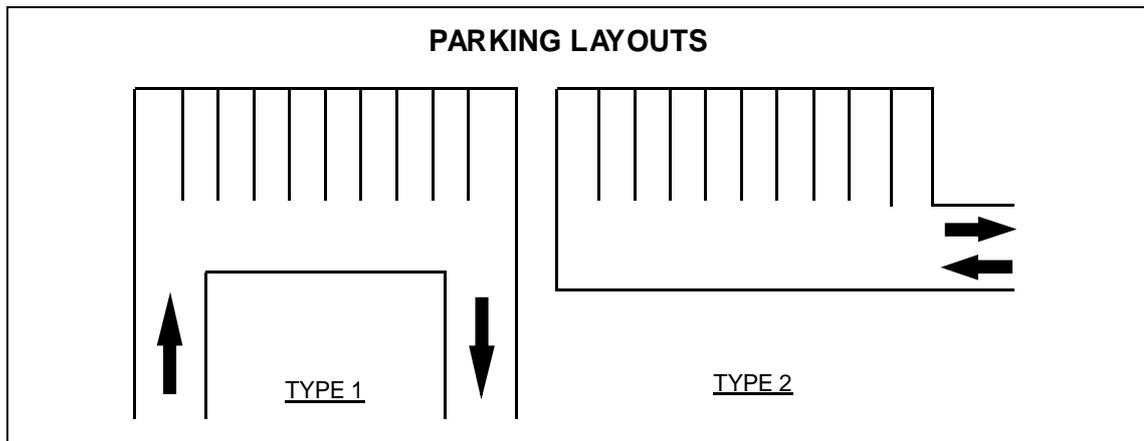


Figure 1. Vehicle Access

5.2.3. Bicycle Parking Standards

a. Bicycle parking is to be provided in accordance with the following table and relevant Australian standards.

Use Class	Employee / Visitor Bicycle Parking
Child Care Premises	1 per 8 employees

5.3. Building Height:

- a. The maximum building height as measured from the natural ground level is to be in accordance with the following table:

Maximum Building Height		
Top of external wall	Top of external wall (concealed roof)	Top of pitched roof
6 metres	7 metres	9 metres

5.4. Building Design:

5.4.1. Building Setbacks

- a. Building setbacks in the 'Residential' zone are to be in accordance with Part 5 of the R-Codes, with the exception of the following:

R-Code	Minimum Primary Street Setback Distance	Minimum Secondary Street Setback Distance
R5	12 metres	6 metres
R20 and R25	6 metres	1.5 metres
R30 and above	4 metres	1.5 metres

- b. Building setbacks in all other zones are to be in accordance with the setback requirements for that zone or in accordance with any relevant structure plan, activity centre plan or local development plan.

5.4.2. Noise Attenuation:

- a. The layout and design of child care premises must consider noise attenuation measures to reduce the noise impact on adjacent properties. Noise-generating activities such as outdoor play areas, vehicle accessways, car parking areas and any plant and equipment are to be located away from noise-sensitive land uses (such as residences).
- b. The design and construction of child care premises must also consider measures to reduce the impacts of noise from external sources, to achieve acceptable indoor noise limits. These measures should include consideration of the size and placement of windows and doors, the use of double-glazing, fencing, landscaping and the location of vehicle accessways, car parking areas and any plant and equipment.
- c. An acoustic report prepared by a suitably qualified person must be submitted with the application for development approval. A noise management plan is also required where identified by the acoustic report.

5.5. Landscaping:

- a. Landscaping is to be in accordance with the following requirements:

Design Element	Development Requirement
(a) % landscaping	(i) A minimum of 8% of the area of a lot shall be landscaped. (ii) The landscaped area shall include a minimum strip of 1.5 metres wide adjacent to all street boundaries.

(b) Size	(i) The landscaped area shall have a minimum width of 1.0 metre and distributed in areas of not less than 4.0 square metres.
(c) Shade trees	(i) Shade trees shall be provided and maintained in uncovered car parks at the rate of one tree for every four car parking bays.
(d) Verge area	(i) The verge areas of all child care premises are required to be suitably landscaped, reticulated and maintained to discourage patrons from parking on the verge. The verge is not permitted to be paved or sealed as this would encourage its use for parking.

5.6. Hours of Operation:

- a. The days and hours of operation for child care premises within the 'Residential' zone or abutting or opposite the 'Residential' zone are to be in accordance with the following:

Days	Operating hours
(a) Monday to Friday	(i) 7.00 am to 6.00 pm
(b) Saturday	(i) 8.00 am to 1.00 pm
(c) Sunday	(i) Not permitted

5.7. Applications for development approval:

- a. In addition to the general requirements for an application for development approval, the following are required:
- *Traffic and Road Safety Impact Report*
 - *Acoustic Report*

5.8. Public consultation:

- a. Refer to the City's *Planning Consultation Local Planning Policy*.

Creation Date:	June 1999
Amendments:	CJ206-10/05, CJ207-10/07, CJ126-07/08, CJ052-04/08, CJ110-06/13, CJ174-10/17, CJ033-03/20
Related Documentation:	<ul style="list-style-type: none"> • <i>Education and Care Services National Law (WA) Act 2012</i> • <i>Child Care Services Act 2007</i> • <i>City of Joondalup Local Planning Scheme No. 3</i> • <i>Main Roads Western Australia Road Hierarchy</i> • <i>Planning Consultation Local Planning Policy</i>

**Child Care Premises Determined since 2016
Summary Table**

No.	Application ID	Address	City Recommendation	Decision	No. of car bays	Number of children	Road	Zone	Lot size	Built form	Complaints	Adjoining / opposite Residential
1	DA21/0611	73 Kingsley Dr 22 Woodford Wells Way Kingsley	Refuse	DAP refused	23	82 children 12 staff	Corner of Local distributor and Access road	Residential Opposite park	1,407m ² (2 lots to be amalgamated)	Two storey		Yes Adjoins residential
2	DA21/0499	104 Mullaloo Dr 20 Stanford Rd Kallaroo	Refuse	DAP refused	26	80 children 16 staff	Corner of Local distributor and Access road	Residential	1,413m ² (2 lots to be amalgamated)	Single storey with undercroft parking		Yes Surrounded by residential
3	DA21/0240	44 and 46 Grand Ocean Entrance Burns Beach	Refuse	Council refused	19	66 children 12 staff	Corner of two Access roads	Urban Development Local Shop Precinct Opposite park	877m ² (2 lots to be amalgamated)	Two storey		Yes Adjoins residential
4	DA21/0072	1 Kutcharo Crs Joondalup	Approve	Delegated Authority	11 (1:3.2)	30 children 5 staff	Corner of Local distributor and Access road	Residential Opposite park	729m ²	Two storey	Not yet commenced	Yes Adjoins residential
5	DA20/1364	25 Koorana Rd Mullaloo	Approve	Delegated Authority	27 (1:4.1)	94 children 17 staff	Local distributor road	Commercial Adjoins Private community purposes	3,062m ²	Single storey	Not yet commenced	Only battleaxe accessway opposite residential
6	DA20/0828	29 and 31 Acacia Way Duncraig	Refuse	DAP approved	27 (1:3.9)	92 children 15 staff	Corner of Local distributor, Access road and Primary distributor	Residential	1,830m ² (2 lots amalgamated)	Two storey	Noise complaint during construction and construction	Yes Surrounded by residential

No.	Application ID	Address	City Recommendation	Decision	No. of car bays	Number of children	Road	Zone	Lot size	Built form	Complaints	Adjoining / opposite Residential
											commencing before 7am Not yet completed	
7	DA20/0767	68 and 70 Readshaw Rd Duncraig	Defer (26 Feb 2021) Approve (25 March 2021)	DAP approved	28 (1:3.9)	92 children 18 staff	Corner of Local distributor and Primary distributor	Residential	2,068m ² (2 lots amalgamated)	Single storey undercroft parking	Not yet commenced	Yes Surrounded by residential
8	DA20/0469	122 and 124 Coolibah Dr Greenwood	Approve	DAP approved	24 (1:4.1)	83 children 16 staff	Local distributor road	Residential Adjoins consulting room	1,464m ² (2 lots amalgamated)	Storey undercroft parking	Not yet commenced	Yes Adjoins residential
9	DA20/0142	16 Mercer Lane Joondalup	Approve	DAP approved	19	80 children 12 staff	Access Road	Centre (Joondalup Activity Centre plan Joondalup West)	1,944m ²	Single storey	None	No
10	DA19/0231	23 Currambine Boulevard, Currambine	Refuse	Refused by SAT	4 (1:5.7)	20 children 3 staff	Access Road	Residential	340m ²	Single storey (existing dwelling)		Yes Surrounded by residential
11	DA19/0862 DA20/1254	1 Glenelg Place Connolly	Approve	Delegated Authority	Approved as part of larger development	100 children 17 staff	Local distributor	Commercial (located inside centre)	10,574 m ²	Single storey	None	Yes Adjoins residential
12	DA19/0146 DA19/1161	57 Joondalup Drive, Edgewater	Approve	Delegated Authority	Approved as part of larger development	120 children 30 staff	District distributor	Centre (Joondalup Activity Centre Plan Joondalup Edge precinct)	17,505 m ²	Single storey commercial building (false two storey)	None	No (Residential is on the other side of Joondalup Drive)

No.	Application ID	Address	City Recommendation	Decision	No. of car bays	Number of children	Road	Zone	Lot size	Built form	Complaints	Adjoining / opposite Residential
13	DA19/0005	2 Portree Way, Duncraig	Approve	Delegated Authority	12 (1:3.7)	40 children 5 staff	Corner of Local distributor and Access road Access from access road	Residential (opposite Commercial)	769 m ²	Two storey	Complaint prior to opening regarding staircase and parking. One concern since operating regarding 'U' turns at intersection	Yes Adjoins residential
14	DA18/1336 DA19/0685	98 O'Mara Boulevard Iluka	Approve	DAP approved	26	80 children	Corner of Access road and Access road	Iluka Structure Plan Commercial	5,552m ²	Two storey commercial building	None regarding child care premises	Yes (opposite on Calis Avenue)
15	DA17/1419	50 Marri Rd, Duncraig	Refuse (16 October 2018) Approve (16 April 2019)	Council Refused	10 additional bays	62 children 13 staff	Local distributor and Access Road	Commercial	14,271 m ²	Two storey		Yes Opposite residential
16	DA17/1181	20 Coolibah Drive, Greenwood	Approve	DAP approved	26 (1:3.6)	82 children 13 staff	Corner of Local distributor and Access Road	Residential (opposite park and Mixed Use)	1,696m ² (2 lots amalgamated)	Single storey with undercroft	None	Yes Adjoins residential
17	DA17/0989 DA18/0565	2 Banks Avenue, Hillarys	Approve	DAP approved	87 bays for whole devt	Not stated on application	Corner of Local distributor, Access road and Primary distributor	Whitfords Activity Centre Banks District	4,228m ²	Two storey commercial building	None	Yes Opposite residential
18	DA17/0495	248 Camberwarra Drive, Craigie	Refuse	DAP approved following	25	82 children 14 staff	Corner of Local distributor	Private Community Purposes	2,404m ²	Single storey	Complaint regarding air vents on	Yes Adjoins residential

No.	Application ID	Address	City Recommendation	Decision	No. of car bays	Number of children	Road	Zone	Lot size	Built form	Complaints	Adjoining / opposite Residential
				SAT			and Access road				building - resolved	
19	DA17/0969	1 Forrest Road, Padbury	Approve	DAP approved	25 (1:3.8)	82 children 14 staff	Corner of Local and Primary distributor	Residential (opposite a park)	1,737m ² (2 lots amalgamated)	Two storey	Boundary wall complaint – no further issues	Yes Adjoins residential
20	DA16/0277 DA17/0841	10 Warburton Avenue, Padbury	Approve	Council	19 (1:4.3)	72 children 10 staff	Corner of Local distributor and Access road	Residential (opposite Mixed use zone)	1,515m ² (2 lots amalgamated)	Single storey	Noise complaint – ongoing had to do remedial works	Yes Adjoins residential

Review – Child Care Premises Local Planning Policy

City of Joondalup – <i>Child Care Premises Local Planning Policy</i>	Town of Cambridge – <i>LPP 3.6 Child Day Care Centres</i>	City of Stirling – <i>LPP 6.4 Child Care Premises</i>	City of Vincent – <i>Policy 7.5.3 Education and Care Services</i>	City of Wanneroo – <i>Local Planning Policy 2.3 Child Care Centres</i>	City of Melville – <i>Child Care Premise and Family Day</i>	City of Canning – <i>Child Care Premises in Residential Areas</i>	City of Victoria Park – <i>Family Day Care and Child Care Premises</i>
<p>Objectives:</p> <ul style="list-style-type: none"> To provide development standards for the location, siting and design of childcare premises. To ensure that childcare premises do not have an adverse impact on the amenity of surrounding areas, particularly residential areas. 	<p>Introduction</p> <p>Child day care centres are becoming an increasingly important service to families in which parents work outside the home, and there is a need to provide for these services in convenient locations close to either homes or to centres of employment, in surroundings which are both safe and enjoyable for the children.</p> <p>Accordingly, the Town Planning Scheme provides for child day care centres as a discretionary use in all zones, although applications are to be advertised under the ‘SA’ procedures within Residential and Residential/Commercial zones (refer to Local Planning Policy 1.2: Public Notification and Advertising Procedures). It is recognised however, that the majority of proposals for child day care centres are likely to be in residential areas.</p> <p>Up to four children may be cared for in a private dwelling as a Child Family Care Centre, which does not require formal planning approval, being a ‘P’ (i.e. permitted) use in a Residential zone (refer to Local Planning Policy 1.1: Minor Use and Development Exempt from Development Approval). These centres are subject to licensing by the Child Care Services Board, which is responsible for administering the regulations governing</p>	<p>Objectives</p> <ul style="list-style-type: none"> To promote the establishment of Child Care Premises in proximity to activity centres and along activity corridors; To avoid potential land use conflicts by ensuring the development of Child Care Premises integrates with its surrounding areas; To minimise the adverse impacts of the bulk and scale of Child Care Premises on neighbouring properties and the streetscape, and the buildings are consistent with the built form of an areas, including future character; To locate noise-generating activities such as outdoor play areas, vehicle access ways, car parking areas and any plant and equipment way from noise-sensitive land uses (such as residential dwellings); and To minimise the impact of traffic associated with Child Care Premises on the function and safety of the local road network. 	<p>Objectives</p> <p>The purpose of this policy is to facilitate the establishment of Education and Care Services premises and to provide specific development, design and operating requirements for Family Day Care Service and Centre Based Child Care Service premises</p> <p><i>NOTE: Policy refers to Family Day Care and Centre Based Child Care Services. For this purpose only the Centre Based Child Care provisions will be captured.</i></p> <p>Definitions: Family Day Care A Family Day Care Service has the same meaning as is given to it in, and for the purposes of, the Education and Care Services National Regulations 2012.</p> <p>A Family Day Care Service offers education and care in the private homes of registered carers through a family day care scheme.</p> <p>Centre Based Child Care Services A Centre Based Child Care Service has the same meaning as is given to it in, and for the purposes of, the Education and Care Services National Regulations 2012.</p> <p>A Centre Based Child Care Service offers education and care in from a premises used exclusively for this purpose and includes long day care, out of school hours care and occasional care.</p>	<p>Objectives</p> <ul style="list-style-type: none"> To ensure Child Care Centres are located in an accessible and convenient location where it will not have a detrimental impact on the function and safety of the surrounding road network, minimises potential land use conflict, and will not result in the proliferation of on-street parking; To ensure the development of Child Care Centres is site-responsive, integrates with its context and is in keeping with the character of the locality; and To ensure that Child Care Centres are sited and designed to maintain visual and acoustic privacy. 	<p>Policy Objectives</p> <p>To provide for the establishment of child care and family day care premises within the City of Melville, whilst ensuring that their location, siting and design is compatible with the surrounding built form, and avoids significant adverse amenity impacts.</p> <p>Policy Scope</p> <p>This policy applies to the assessment of all applications for planning approval in respect of the child care premises proposals including extensions to existing approved centres.</p> <p>This policy also applies to the assessment of Home Occupation applications for family day care.</p>	<p>Purpose or Objective</p> <ul style="list-style-type: none"> To facilitate the establishment of Child Care Premises in appropriate locations within the Residential zone. To minimise adverse impacts that Child Care Premises land uses may create on the amenity of an area. To provide guidance on the planning criteria that will be applied by the local government in assessing applications for Child Care Premises. <p>Policy Statement</p> <p>This policy sets out the matters the City of Canning (the local government) will take into account when considering applications for development approval for Child Care Premises land uses on Residential zoned land within the local government.</p> <p>Scope</p> <p>This policy applies to development applications (DA) involving Child Care Premises land uses on Residential zoned land within Local Planning Scheme No. 42 (the Scheme). The policy does not apply to Family Day Care proposals as defined under the Scheme.</p>	<p>Introduction</p> <p>The policy establishes a consistent approach for the Council to consider proposals for the establishment of new or expanded child care services within the Town, with particular regard to location, site characteristics, environmental suitability, design, traffic, access, noise, and health and safety issues.</p> <p>Objectives</p> <ul style="list-style-type: none"> To provide an appropriate planning framework from which planning decisions can be made regarding the location and design of family day care services and child care premises; To clarify the circumstances in which a family day care service will require development approval to be obtained from the Town; To locate family day care services and child care premises appropriately in relation to their surrounding service area; To minimise the impact a child care premises has on its surrounds, in particular on the amenity of existing residential areas; To minimise the impact that the surrounds may have on a child care premises; and To consider the health and safety of children attending the child care

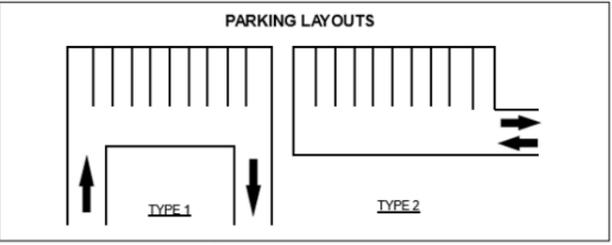
City of Joondalup – <i>Child Care Premises Local Planning Policy</i>	Town of Cambridge – <i>LPP 3.6 Child Day Care Centres</i>	City of Stirling – <i>LPP 6.4 Child Care Premises</i>	City of Vincent – <i>Policy 7.5.3 Education and Care Services</i>	City of Wanneroo – <i>Local Planning Policy 2.3 Child Care Centres</i>	City of Melville – <i>Child Care Premise and Family Day</i>	City of Canning – <i>Child Care Premises in Residential Areas</i>	City of Victoria Park – <i>Family Day Care and Child Care Premises</i>
	<p>staffing, safety and the children’s welfare.</p> <p>Definition:</p> <p>Child day care centre means any land or buildings used as a day care centre for the daily or occasional care of more than four children in accordance with the Community Services (Child Care) Regulations 2006.</p> <p>Aim:</p> <p>To provide guidance for the location, siting and design of child day care centres, and to ensure as far as practicable, that such development is compatible with surrounding development and provides a safe and pleasant environment.</p>						<p>premises within the confines of the planning system.</p> <p>Policy Scope</p> <p>This policy aims to differentiate between child care related activities operating in existing residential areas, such as family day care that takes place in dwellings, and non-residential child care activities, namely ‘Child Care Premises’, that are centre-based child care services operated from purpose-built facilities.</p>
<p>Location</p> <p>The appropriate location is crucial in avoiding adverse impacts on surrounding properties, particularly in terms of additional traffic, car parking and noise.</p> <p>Neighbouring uses</p> <ul style="list-style-type: none"> To minimise potential adverse impacts such premises may have on the amenity of residential properties, particularly as a result of noise and/or increased traffic, it is preferable to locate child care premises adjacent to non-residential uses such as shopping centres, medical centres or consulting rooms, schools, parks and community purpose buildings. Where a child care premises is proposed to be located next to a residential property, the applicant must demonstrate that the proposal will not have an undue impact on residential amenity. <p>Road Hierarchy</p> <p>As child care premises can be reasonably high traffic-generators, they should be located on Local Distributor Roads in such a manner that they would not conflict with traffic control devices and would not encourage the use of nearby Access Roads for turning movements.</p>	<p>Location</p> <p>Centres are encouraged to locate near commercial, community or recreational areas and near distributor roads which have the capacity to accommodate any additional traffic generated by a child day care centre.</p> <p>Site characteristics</p> <p>The site should be of a regular shape with a minimum lot area of 1,000m².</p>	<p>General Provisions</p> <ul style="list-style-type: none"> Child Care Premises should be located in or abutting non-residential zones, and specific provisions will apply for CCP that are located in a Residential zone; Street fencing should be visually permeable. Solid portions are to be a maximum of 1.2m, and will be assessed on their individual merit taking into account the need for noise mitigation and security; Child Care Premises on corner sites shall be designed to address the street with the least impact on surrounding residential properties. Assessment of these applications will place strong emphasis on the 	<p>General Provisions Toilet and Hygiene Facilities</p> <p>All Education and Care Services is to provide:</p> <ol style="list-style-type: none"> Adequate, developmentally and age-appropriate toilet, hand washing, bathing and drying facilities; The location and design of the toilet, hand washing, bathing and drying facilities enable safe use by the children; and There is convenient access to the toilet, hand washing, bathing and drying facilities from the indoor and outdoor playing spaces. <p>Laundry and Hygiene Facilities</p> <p>All Education and Care Services is to provide:</p> <ol style="list-style-type: none"> A laundry facility or access to laundry facilities; or 	<p>Location</p> <p>Child Care Centres should ideally be located abutting and/or adjacent to non-residential uses such as shopping centres, medical centres, schools, parks and community purpose buildings.</p>	<p>Locations:</p> <p>Child Care Premises located within the Residential zone are classed as an ‘A’ use pursuant to LPS6, which means that they are capable of approval following advertising in accordance with Clause 64 of the Regulations. Where Child Care Premises are proposed within the Residential zone the following will be taken into account in the assessment of whether the location is appropriate:</p> <p>Preferred site characteristics</p> <ol style="list-style-type: none"> Corner sites - to improve the ability for access and to limit the impacts upon adjoining residential properties. Located close to, or abutting shopping centres, workplaces, schools, community 	<p>Location Criteria</p> <p>The site should:</p> <ol style="list-style-type: none"> Be regular in shape, have a minimum lot area of 1,000m² and an effective frontage of 20m. Preferably be located on a corner site to provide the opportunity for a design aimed at minimising the impact on surrounding residential properties. Be within easy walking distance of existing commercial, community or recreational centres. Be on a Local Distributor Road or on, or adjacent to a District Distributor Road. Be well served by footpaths, dual use 	<p>Location</p> <p>Child care premises should be appropriately located to ensure they meet the needs of children and their families as well as limiting the impact they may have on surrounding activities and vice versa.</p> <p>A proposed child care premises may be suitable in locations that are:</p> <ul style="list-style-type: none"> within convenient walking distance (5-10 minutes), or part of, appropriate commercial, recreation or community nodes and education facilities (e.g., local parks and playground facilities, schools and kindergartens, etc.). located in areas where adjoining uses are compatible with a child care premises (includes

City of Joondalup – Child Care Premises Local Planning Policy	Town of Cambridge – LPP 3.6 Child Day Care Centres	City of Stirling – LPP 6.4 Child Care Premises	City of Vincent – Policy 7.5.3 Education and Care Services	City of Wanneroo – Local Planning Policy 2.3 Child Care Centres	City of Melville – Child Care Premise and Family Day	City of Canning – Child Care Premises in Residential Areas	City of Victoria Park – Family Day Care and Child Care Premises
		<p>effect of the traffic and parking;</p> <ul style="list-style-type: none"> Car parking is designed and landscaped to mitigate visual impacts when viewed from the street; The drop off and pick-up parking area provides safe and direct access from the car parking area to the primary entry point; Car parking bays should be easily accessed by customers, and the least visible or accessible bays should be allocated for staff use; and Crossover widths are to be a maximum of 6m. <p>Specific Provisions for CCP in Residential Zone: Location - To minimise impact on residential areas, to allow improved servicing and to promote multi-function trips, Child Care Premises shall be located adjacent to non-residential uses, particularly activity centres, medical centres, schools and other educational facilities, and civic uses.</p> <p>Child Care Premises proposed in a Residential-zoned area shall be:</p> <ul style="list-style-type: none"> Located fronting a Corridor Class 1, Class 2 and Class 3 road as identified in the Local Planning Strategy (Refer to Figure 2 in Appendix 1); or Located within 100m of a Centre identified in the Local 	<ul style="list-style-type: none"> Other facilities' for dealing with soiled clothing, nappies and linen; and The laundry or other facilities' are located and maintained in a way that prevents unsupervised access by children. <p>Fencing and Security</p> <ul style="list-style-type: none"> Any outdoor space at an Education and Care Service premises is required to be enclosed by a fence or barrier that is 1.2 metres in height. The Education and Care Service premises is sufficiently secure: <ul style="list-style-type: none"> to prevent exist by unsupervised children; to prevent persons without a legitimate reason to be on the premises. The Education and Care Service premises is to ensure that the side of any internal or external stairway, ramp, corridor, hallway or balcony that does not abut a wall, is enclosed so as to prevent a child being trapped or falling through or climbing over it. <p>Swimming Pools A swimming pool or outdoor spa is not permitted on a premises that contains an Education and Care Service.</p>		<p>facilities, public open space and civic facilities.</p> <ul style="list-style-type: none"> Well served by footpaths, dual access paths and public transport. Adequate size to provide suitable areas of play space and parking. Located on Local Distributor and District Distributor Roads. <p>Undesirable characteristics</p> <ul style="list-style-type: none"> Sites within cul-de-sacs. Sites with battleaxe access leg (or similar) configuration or shared access. <p>Child Care Premises within the Centre, Mixed Use, Service Commercial, Light Industry, Private Institutions and places of worship zones are 'P' (permitted) or 'D' (discretionary) uses pursuant to LPS6. In principle, the establishment of child care premises in these locations is supported in land use terms given their proximity to shopping centres, workplaces and public transport, however a car parking, traffic and amenity assessment will be undertaken.</p>	<p>access paths and public transport.</p> <p>Premises Accommodating more than 50 Children Child Care Premises that accommodate more than 50 children are generally not considered suitable in the Residential zone. Where such premises are proposed they will only be supported where:</p> <ul style="list-style-type: none"> The proposal will not have a significant detrimental impact to the residential amenity of adjoining and nearby properties. Arrangements are or will be put in place to manage the use of outdoor areas to minimise any impacts on the residential amenity of adjoining and nearby properties to the satisfaction of the local government. The site has particular attributes that may lend itself to being acceptable as a potential Child Care Premises that accommodates more than 50 children (e.g. the site is surrounded by roads and/or reserves, or there are existing non-residential land uses or zones on one or more sides). 	<p>considering all permissible uses under the zoning of adjoining properties);</p> <ul style="list-style-type: none"> serviced by public transport; considered suitable from a traffic engineering/safety perspective; and of sufficient size and dimension to accommodate the development, including provision of sufficient outdoor play space and other facilities as required by the Act and the Regulations, and on-site car parking, without unreasonably affecting the amenity of the area. <p>Child care premises are <u>not considered</u> suitable in locations where:</p> <ul style="list-style-type: none"> soil contamination exceeds the levels regarded by DEC and DOH as suitable for standard residential land uses with accessible soils as published in guideline "Assessment Levels for Soil, Sediment and Water" (Department of Environment, November 2003); groundwater is to be abstracted for the irrigation of gardens and play area within the child care premises and groundwater contamination exceeds 10 x Australian Drinking Water Criteria in accordance with the "Contaminated Sites Reporting Guideline for chemicals in groundwater"

City of Joondalup – <i>Child Care Premises Local Planning Policy</i>	Town of Cambridge – <i>LPP 3.6 Child Day Care Centres</i>	City of Stirling – <i>LPP 6.4 Child Care Premises</i>	City of Vincent – <i>Policy 7.5.3 Education and Care Services</i>	City of Wanneroo – <i>Local Planning Policy 2.3 Child Care Centres</i>	City of Melville – <i>Child Care Premise and Family Day</i>	City of Canning – <i>Child Care Premises in Residential Areas</i>	City of Victoria Park – <i>Family Day Care and Child Care Premises</i>
		<p>Planning Strategy (Refer to Figure 2 in Appendix 1).</p> <p>To prevent conflicts with residential amenity, traffic and parking access, Child Care Premises shall not be located in the following locations/type of sites:</p> <ul style="list-style-type: none"> • Sites on cul-de-sacs; • Sites with sole vehicular access from an undedicated or predominantly residential right-of-way, or laneway; • Sites under 1000m² in area; and • Sites with a frontage less than 20m. 					<p>(Department of Health 2006);</p> <ul style="list-style-type: none"> • access is from a major road or in close proximity to a major intersection where there may be safety concerns; • access is from a local access street where there may be unreasonable adverse amenity impacts due to traffic and parking; • the current use or any permissible use under the zoning of the adjoining premises produces unacceptable levels of noise, fumes or emissions or poses a potential hazard by reason of activities or materials stored on site; • noise produced by roads, railways and aircraft are likely to have an adverse impact on the site; and/or • the site is in a heavy industry area or within the buffer area of a heavy industry area. <p>Site Characteristics</p> <p>Size and Shape of Site</p> <ul style="list-style-type: none"> • Sites selected for child care premises should be of sufficient size and suitable shape to accommodate the development, including all buildings and structures, parking for staff and parents, outdoor play areas and landscaping. • Sites in residential areas should have a regular shape, with a minimum lot area of 1,000m² and

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							<p>effective frontage of 20 metres width to provide the opportunity for design aimed at minimising the impact on surrounding properties.</p> <p>Topography The site should generally be flat or gently sloping, as steep slopes may affect access to the facility, noise transfer and methods of noise mitigation.</p> <p>Site Contamination As a sensitive land use, any party considering development of a child care premises should obtain and consider any information the Department of Water and Environment Regulation (DWER) may have about the contamination status of a given site. Even in the absence of a report to DWER there is no guarantee that the site has not been contaminated by a previously operating land use and applicants/operators must exercise a duty of care to ensure that the site is suitable for use as a child care premises.</p> <p>If the site or adjoining site(s) may have been used for a potentially contaminating activity, a <i>Form 2 – Request for a Summary of Records in Respect of Land</i> is to be applied for and obtained from the Department of Water and Environment Regulation (available from https://www.der.wa.gov.au/your-environment/contaminated-sites/57-forms) for</p>

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							all relevant sites, and supplied to Council with the development application. The site will be assessed by Council to determine potential of soil or groundwater contamination having regard to previous or currently operating land uses on and within the vicinity of the site and may refer the application to the Department of Water and Environment Regulation for comment and advice should the subject site be known or suspected to be affected by a potentially contaminating land use.																																														
<p>Parking and Access Car Parking Standards Car parking bays are to be provided in accordance with the following table:</p> <table border="1" data-bbox="106 953 730 1331"> <thead> <tr> <th>Use Class</th> <th>Number of on-site parking bays</th> </tr> </thead> <tbody> <tr> <td>Child Care Premises</td> <td>1 per employee plus</td> </tr> <tr> <td></td> <td>5 per ≤ 25 children</td> </tr> <tr> <td></td> <td>6 per 26 – 30 children</td> </tr> <tr> <td></td> <td>7 per 31 – 56 children</td> </tr> <tr> <td></td> <td>8 per 57 – 64 children</td> </tr> <tr> <td></td> <td>9 per 65 – 72 children</td> </tr> <tr> <td></td> <td>10 per 73 – 80 children</td> </tr> <tr> <td></td> <td>11 per 81 – 88 children</td> </tr> <tr> <td></td> <td>12 per 89 – 96 children</td> </tr> <tr> <td></td> <td>13 per 97 – 104 children</td> </tr> <tr> <td></td> <td>14 per 105+ children</td> </tr> </tbody> </table> <p>Car Park Location and Design Car park access and design is to be in accordance with the following requirements:</p> <table border="1" data-bbox="106 1444 730 1936"> <thead> <tr> <th>Design Element</th> <th>Development Requirement</th> </tr> </thead> <tbody> <tr> <td>(a) Car park location</td> <td> <ul style="list-style-type: none"> i. All car parking is to be provided on-site; verge parking is not permitted. ii. Car parks must be clearly visible from the street to encourage parking on-site instead of on the road verge. </td> </tr> <tr> <td>(b) Car park design</td> <td> <ul style="list-style-type: none"> i. Car parks shall be designed in accordance with Australian Standards AS 2890.1 and/or AS 2890.2 as amended from time to time. </td> </tr> <tr> <td>(c) Vehicle Access</td> <td> <ul style="list-style-type: none"> i. Vehicle access should not be taken from District </td> </tr> </tbody> </table>	Use Class	Number of on-site parking bays	Child Care Premises	1 per employee plus		5 per ≤ 25 children		6 per 26 – 30 children		7 per 31 – 56 children		8 per 57 – 64 children		9 per 65 – 72 children		10 per 73 – 80 children		11 per 81 – 88 children		12 per 89 – 96 children		13 per 97 – 104 children		14 per 105+ children	Design Element	Development Requirement	(a) Car park location	<ul style="list-style-type: none"> i. All car parking is to be provided on-site; verge parking is not permitted. ii. Car parks must be clearly visible from the street to encourage parking on-site instead of on the road verge. 	(b) Car park design	<ul style="list-style-type: none"> i. Car parks shall be designed in accordance with Australian Standards AS 2890.1 and/or AS 2890.2 as amended from time to time. 	(c) Vehicle Access	<ul style="list-style-type: none"> i. Vehicle access should not be taken from District 	<p>Parking On-site parking is to be provided in accordance with <i>Local Planning Policy 3.13: Parking</i>. Where car parking is provided between the building and street alignment(s) a minimum 1.0-metre-wide landscaping strip is to be established and thereafter maintained along the street alignment(s). Suitable barriers shall be provided to protect the fencing of any properties situated adjacent to any parking areas.</p> <p>Traffic Management A traffic impact assessment will be required to be submitted. The assessment should address:</p> <ul style="list-style-type: none"> a) the site characteristics and surrounding area; b) the proposal and its expected trip generation; c) parking requirements, including the design of parking areas, 	<p>Parking – The use of the verge for parking is not permitted.</p> <p>Vehicle access, car parking and bicycle parking shall be provided in accordance with:</p> <ul style="list-style-type: none"> • Local Planning Policy 6.2 Bicycle Parking; • Local Planning Policy 6.7 Parking and Access; • Local Planning Policy 5.8 Stirling City Centre Parking; • Local Planning Policy 5.9 Mirrabooka Town Centre Parking; • Any relevant Local Development Plan. 	<p>Car Parking and Vehicular Access</p> <ul style="list-style-type: none"> • All car parking and vehicular access requirements is to be in accordance with the City’s Policy relating to Parking and Access. • A drop off/pick up area is required in accordance with the City’s Policy relating to Parking and Access. 	<p>Traffic, Access and Parking</p> <ul style="list-style-type: none"> • Child Care Centres should ideally be located on Neighbourhood Connector roads. • Parking areas should be located in front of buildings or easily visible from the entrance to the site. • Disabled parking bays should be located in close proximity to the pedestrian entrance to the site. • Parking is to be provided on site at a rate of one parking bay for each staff member, in addition to the required number of bays as outlined in the table below. <table border="1" data-bbox="1682 1650 1970 1787"> <thead> <tr> <th>Children</th> <th>Car bays required</th> </tr> </thead> <tbody> <tr> <td>25 or less</td> <td>5</td> </tr> <tr> <td>26-30</td> <td>6</td> </tr> <tr> <td>31-38</td> <td>7</td> </tr> <tr> <td>39-46</td> <td>8</td> </tr> <tr> <td>47-54</td> <td>9</td> </tr> <tr> <td>55 or more</td> <td>9 bays plus 1 per 8 children accommodated in excess of 5</td> </tr> </tbody> </table> <ul style="list-style-type: none"> • Pedestrian access within the site is to be provided from the parking area to the entrance of the 	Children	Car bays required	25 or less	5	26-30	6	31-38	7	39-46	8	47-54	9	55 or more	9 bays plus 1 per 8 children accommodated in excess of 5	<p>Car Parking and Traffic Generation Car parking will be required in accordance with Local Planning Policy LPP1.6 Car Parking and Access (Non-Residential).</p> <p>Parking areas must be designed to allow vehicles to enter and exit the property in a forward gear.</p> <p>Planning applications for new Child Care Premises, and those that propose to increase numbers within existing centres by more than 10 additional children, must be accompanied by a Transport Statement prepared by a suitably qualified and experienced traffic engineer. Proposals will not be supported if the form, function and safety of the surrounding road network is deemed to be compromised.</p>	<p>Car Parking and Traffic Generation A development application must be accompanied by a traffic impact assessment. Proposals will not be supported if the form, function and safety of the surrounding road network are compromised.</p> <p>On site car parking should comply with Scheme provisions, with a minimum of 4 car bays for any premises. Pick up and set down bays must be clearly marked and/or signposted.</p> <p>For sites with more than 1 street frontage, access must be provided from the lowest order road unless otherwise required and/or approved by the local government.</p> <p>Car parking and associated driveways should be easily visible from the street to encourage patrons to park on site instead of the road.</p>	<p>Car Parking, Vehicular Access and Traffic <i>On-site Car Parking and Vehicular Access</i></p> <ul style="list-style-type: none"> • Car parking and vehicular access shall be provided and designed in accordance with Council’s Local Planning Policy 23 – Parking Policy. <p>Traffic Generation</p> <ul style="list-style-type: none"> • Development should only be permitted where it does not negatively impact the function or safety of the adjacent roads or cause undue conflict through the generation of traffic or demand for parking. • In assessing an application for a new or expanded child care premises, in addition to considering matters such as traffic volumes, road capacity and road safety from a technical engineering perspective, Council
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<p>Distributor A Roads. Only under exceptional circumstances may vehicle access be considered from a District Distributor B or Access Road.</p> <p>ii. Vehicle access with separate entry and exit points is preferred (Type 1 on Figure 1). Alternatively, 'two-way' vehicle access (Type 2 on Figure 1) is required.</p> <p>iii. Where practicable, existing vehicle access points should be utilised instead of proposing new access points.</p> <p>iv. Vehicles are required to enter and exit the site in forward gear.</p> <p>(d) Pedestrian Access</p> <p>i. A footpath must be provided from the car park and the street to the building entrance.</p>	<p>and any pick-up and drop-off facilities;</p> <p>d) existing traffic conditions and any future changes expected to the traffic conditions;</p> <p>e) current road safety conditions, including an accident history in the locality; and</p> <p>f) the expected impact of the proposed development on the existing and future traffic conditions.</p> <p>A child care centre should be approved only if it can be demonstrated that it will have a minimal impact on the functionality and amenity of an area and will not create or exacerbate any unsafe conditions for children and families using the centre, or for pedestrians or road users.</p>			<p>building and link into existing or future neighbourhood pedestrian or cycle networks.</p>		<p>All vehicles must be able to enter the street in forward gear.</p>	<p>will have also regard to these matters from a residential amenity perspective.</p> <ul style="list-style-type: none"> A Transport Impact Statement (TIS) or Transport Impact Assessment (TIA) prepared by a suitably qualified independent traffic consultant may be required to be submitted as part of a development application, which assesses the likely traffic impacts associated with the proposed development and details how parking and/or traffic will be managed. The appropriate level of traffic assessment required to be undertaken for the proposed development will be determined by Council having regard to the requirements of the Western Australian Planning Commission's (WAPC) (2016) Transport Impact Assessment Guidelines. 									
<p>PARKING LAYOUTS</p>  <p>Figure 1. Vehicle Access</p> <p>Bicycle Parking Standards Bicycle parking is to be provided in accordance with the following table and relevant Australian Standards:</p> <table border="1" data-bbox="100 1377 730 1470"> <thead> <tr> <th>Use Class</th> <th>Employee / Visitor Bicycle Parking</th> </tr> </thead> <tbody> <tr> <td>Child Care Premises</td> <td>1 per 8 employees</td> </tr> </tbody> </table>	Use Class	Employee / Visitor Bicycle Parking	Child Care Premises	1 per 8 employees												
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<p>Building Height The maximum building height as measured from the natural ground level is to be in accordance with the following table:</p> <table border="1" data-bbox="100 1644 730 1780"> <thead> <tr> <th colspan="3">Maximum Building Height</th> </tr> <tr> <th>Top of external wall</th> <th>Top of external wall (concealed roof)</th> <th>Top of pitched roof</th> </tr> </thead> <tbody> <tr> <td>6 metres</td> <td>7 metres</td> <td>9 metres</td> </tr> </tbody> </table>	Maximum Building Height			Top of external wall	Top of external wall (concealed roof)	Top of pitched roof	6 metres	7 metres	9 metres		<p>Building Height – Building heights are to be in accordance with the provisions of 'Clause 6.1 Single Houses and Grouped Dwellings – Building Heights' in Local Planning Policy 2.6 Residential Building Heights.</p>					
Maximum Building Height																
Top of external wall	Top of external wall (concealed roof)	Top of pitched roof														
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Building Design		Built Form & Design	Internal Playing Space	Design	Siting and Design	Siting and Design	Design									

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<p>Building Setbacks – Building setbacks in the ‘Residential’ zone are to be in accordance with Part 5 of the R-Codes, with the exception of the following:</p> <table border="1" data-bbox="103 321 730 520"> <thead> <tr> <th>R-Code</th> <th>Minimum Primary Street Setback Distance</th> <th>Minimum Secondary Street Setback Distance</th> </tr> </thead> <tbody> <tr> <td>R5</td> <td>12 metres</td> <td>6 metres</td> </tr> <tr> <td>R20 and R25</td> <td>6 metres</td> <td>1.5 metres</td> </tr> <tr> <td>R30 and above</td> <td>4 metres</td> <td>1.5 metres</td> </tr> </tbody> </table> <p>Building setbacks in all other zones are to be in accordance with the setback requirements for that zone or in accordance with any relevant structure plan, activity centre plan or local development plan.</p> <p>Noise Attenuation The layout and design of child care premises must consider noise attenuation measures to reduce the noise impact on adjacent properties. Noise-generating activities such as outdoor play areas, vehicle accessways, car parking areas and any plant and equipment are to be located away from noise-sensitive land uses (such as residences).</p> <p>The design and construction of child care premises must also consider measures to reduce the impacts of noise from external sources, to achieve acceptable indoor noise limits. These measures should include consideration of the size and placement of windows and doors, the use of double-glazing, fencing, landscaping and the location of vehicle accessways, car parking areas and any plant and equipment.</p> <p>An acoustic report prepared by a suitably qualified person must be submitted with the application for development approval. A noise management plan is also required where identified by the acoustic report.</p>	R-Code	Minimum Primary Street Setback Distance	Minimum Secondary Street Setback Distance	R5	12 metres	6 metres	R20 and R25	6 metres	1.5 metres	R30 and above	4 metres	1.5 metres		<ul style="list-style-type: none"> The built form and design will be assessed against the applicable development provisions for the residential density coding in respect of open space, setbacks, visual privacy and overshadowing. This will ensure development is compatible with the residential character of the area; and Child Care Premises developments should be consistent with the bulk and scale of developments as allowed by the maximum provisions permitted in the applicable document. 	<p>A proposed Centre Based Child Care Service premises is to have a minimum unencumbered internal playing space of 3.25 square metres per child.</p> <p>In calculating the area of unencumbered internal playing space,</p> <ol style="list-style-type: none"> the following areas are to be excluded; <ol style="list-style-type: none"> any passageway or thoroughfare (including door swings); any toilet or hygiene facilities; any nappy changing area or area for preparing bottles; any area permanently set aside for storage; any area or room for staff administration; any other space that is not suitable for children; and the area of a kitchen is to be excluded, unless the kitchen is primarily to be used by children as part of an education program provided by the service. <p>External Playing Space A proposed Centre Based Child Care Service premises is to have a minimum unencumbered external playing space of 7 square metres per child.</p> <p>In calculating the area of unencumbered external playing space, the following areas are to be excluded,</p>	<ul style="list-style-type: none"> Building setbacks are set out in Clause 4.7 of DPS 2. Raised outdoor play areas and windows to activity rooms with a finished floor level greater than 0.5 metres above natural ground level are to be setback in accordance with Clause 5.4.1 Visual Privacy of State Planning Policy 3.1 Residential Design Codes, where the Child Care Centre is located abutting land which may accommodate residential development. Child Care Centres should meet the following requirements to minimise any potential noise impacts on adjoining uses: <ul style="list-style-type: none"> Outdoor play areas should ideally be located away from any adjoining residential development; Where 2.3.1 cannot be met, the outdoor play areas are to have a one metre buffer along all common boundaries; and Windows to activity rooms should be oriented away from any adjoining residential development. 	<p>The design of Child Care Premises should respect and be compatible with existing development within the immediate surrounding area.</p> <p>Where a Child Care Premises is proposed within a Residential zone, the design and resultant built form will be assessed against the relevant provisions of LPS6, the R- Codes (for open space, setbacks, visual privacy and overshadowing) and local planning policies. This will ensure such development is compatible with the residential character of the area.</p> <p>Fencing along the primary and secondary street (if applicable) should be of permeable design. Solid portions will be assessed on their individual merit taking into account the need for noise mitigation and security.</p> <p>Noise and Amenity Where a Child Care Premises is located adjacent to residential property(s), an acoustic impact assessment may be requested to demonstrate that the proposal will satisfy the relevant noise regulations.</p> <p>Outdoor playing spaces should be sited to minimise any adverse noise impact towards occupiers of adjoining residential properties. The use of solid masonry dividing fences can mitigate adverse noise impacts.</p>	<p>The built form should lend itself to domestic (residential) architecture compatible with the existing character of the area and is to be designed to meet the requirements of the R-Codes, specifically for the elements setbacks, building height, visual privacy and overshadowing.</p> <p>Maximum site coverage of 50% will apply.</p> <p>Fencing along the primary street should be of permeable design. Boundary fencing separating play areas from adjoining residential properties is to be constructed of materials that will reduce noise impacts where appropriate.</p> <p>Noise and Amenity A development application must be accompanied by an acoustic impact assessment demonstrating that the proposal will satisfy relevant noise regulations.</p> <p>Outdoor playing spaces should be sited to minimise noise impact on occupiers of adjoining properties.</p> <p>Windows to activity rooms should be located away from adjoining residential properties to minimise noise impacts to adjoining properties, or be fitted with double glazing.</p>	<p><u>Building Appearance</u></p> <ul style="list-style-type: none"> The visual appearance of the development should reflect the character of the area, enhance its amenity and be considered appropriate for regular use by children, with a welcoming and inviting appearance from the street. The development should be designed having regard to any adopted design guidelines, built form/streetscape policies or other development requirements applicable to the site under the relevant Precinct Plan. Development within or adjacent to residential areas should reflect a residential appearance, character and proportions that responds to the requirements of Council’s Local Planning Policy 3 – Non-Residential Uses In or Adjacent to Residential Areas. Particular regard should be given to appropriate building setbacks, roof form and style, external colours, finishes and materials and orientation of building openings, that is sympathetic to surrounding development. <p><u>Street Walls and Fencing</u></p> <ul style="list-style-type: none"> Fencing and walls visible from the street should be suitably designed to
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			<ul style="list-style-type: none"> iii. any pathway or thoroughfare, except where used by children as part of the education and care program; iv. any car parking area; v. any storage shed or other storage area; and vi. any other space that is not suitable for children. <p>The external playing space is required to provide a shaded area that is at least 30 percent of the size of the minimum required external playing space.</p>				<p>provide appropriate access, privacy, safety and security, whilst maintaining adequate levels of passive surveillance (i.e., ‘open style’ fencing) and have a visually interesting appearance.</p> <ul style="list-style-type: none"> • Areas of solid walls or screening visible from the street should be of high-quality materials and be articulated/visually interesting. Soft landscaping should also be used to reduce the visual dominance of solid portions of walls or fences and soften their appearance from the street. • Front fences to child care premises within or adjacent to residential areas should attempt to comply with residential street fencing requirements as far as possible and be constructed of appropriate materials that complement the development and respect the amenity of the streetscape and surrounding residential properties. <p><u><i>Fencing to Boundaries with Neighbouring Properties</i></u></p> <ul style="list-style-type: none"> • New or upgraded boundary fencing shall be required to be a minimum of 1.8 metres high and is encouraged to be of masonry construction in a colour/finish that complements the development as well

City of Joondalup – <i>Child Care Premises Local Planning Policy</i>	Town of Cambridge – <i>LPP 3.6 Child Day Care Centres</i>	City of Stirling – <i>LPP 6.4 Child Care Premises</i>	City of Vincent – <i>Policy 7.5.3 Education and Care Services</i>	City of Wanneroo – <i>Local Planning Policy 2.3 Child Care Centres</i>	City of Melville – <i>Child Care Premise and Family Day</i>	City of Canning – <i>Child Care Premises in Residential Areas</i>	City of Victoria Park – <i>Family Day Care and Child Care Premises</i>
							<p>being of compatible colours and materials to any neighbouring residential properties.</p> <ul style="list-style-type: none"> • Efforts should be made to obtain agreement with neighbouring properties regarding the height, materials and finish of any new/upgraded boundary fencing. • The provision of new/upgraded boundary fencing may be applied as a condition of development approval where it is deemed necessary by the Council to reduce the impacts of the development, in particular where the site adjoins residential properties. <p><u>Location of openings, play areas and other noise sources</u> Openings to rooms which may create a source for unreasonable noise levels, such as play areas, should be oriented away from adjacent residential properties, and be provided with suitable setbacks.</p> <p>Noise <u>General Design and Layout Considerations</u></p> <ul style="list-style-type: none"> • Child care premises should be appropriately designed and operated to minimise the noise impact it may have on adjacent properties, and also limit the impact noise from external sources may have on the child care

City of Joondalup – <i>Child Care Premises Local Planning Policy</i>	Town of Cambridge – <i>LPP 3.6 Child Day Care Centres</i>	City of Stirling – <i>LPP 6.4 Child Care Premises</i>	City of Vincent – <i>Policy 7.5.3 Education and Care Services</i>	City of Wanneroo – <i>Local Planning Policy 2.3 Child Care Centres</i>	City of Melville – <i>Child Care Premise and Family Day</i>	City of Canning – <i>Child Care Premises in Residential Areas</i>	City of Victoria Park – <i>Family Day Care and Child Care Premises</i>
							<p>premises. This may be achieved either by physical separation, design and layout of the premises or by implementing noise-mitigation measures, such as acoustic treatments to buildings or other noise attenuation measures. The following basic principles will apply when considering a proposal:</p> <ul style="list-style-type: none"> • Where a child care premises is located adjacent to a noise-sensitive use, such as residential dwellings, retirement villages and nursing homes, the noise-generating activities of the child care premises, such as the outdoor play areas, parking areas and any plant and equipment, are to be located away from the noise-sensitive use; • Where, due to design limitations or safety considerations, noise-generating activities such as outdoor play areas are located close to noise-sensitive uses, appropriate noise mitigation is to be undertaken; and • The design and construction of buildings may include noise-mitigation measures to reduce impact from external sources and to achieve accepted indoor noise limits. <p><u>Noise Impact Assessment</u></p>

City of Joondalup – Child Care Premises Local Planning Policy	Town of Cambridge – LPP 3.6 Child Day Care Centres	City of Stirling – LPP 6.4 Child Care Premises	City of Vincent – Policy 7.5.3 Education and Care Services	City of Wanneroo – Local Planning Policy 2.3 Child Care Centres	City of Melville – Child Care Premise and Family Day	City of Canning – Child Care Premises in Residential Areas	City of Victoria Park – Family Day Care and Child Care Premises										
							<p>In general, a noise impact assessment/acoustic report will be required by Council where a child care premises is proposed adjacent to a noise sensitive use such as a residential dwelling(s), retirement village or a nursing home</p> <p><u>Noise Regulations</u> Sound levels associated with a child care premises are required to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 at all times.</p>										
<p>Landscaping Landscaping is to be in accordance with the following requirements:</p> <table border="1" data-bbox="106 953 730 1934"> <thead> <tr> <th data-bbox="106 953 418 984">Design Element</th> <th data-bbox="418 953 730 984">Develop Requirement</th> </tr> </thead> <tbody> <tr> <td data-bbox="106 984 418 1241">(a) % landscaping</td> <td data-bbox="418 984 730 1241"> i. A minimum of 8% of the area of a lot shall be landscaped. ii. The landscaped area shall include a minimum strip of 1.5 metres wide adjacent to all street boundaries. </td> </tr> <tr> <td data-bbox="106 1241 418 1444">(b) Size</td> <td data-bbox="418 1241 730 1444"> i. The landscaped area shall have a minimum width of 1.0 metre and distributed in areas of not less than 4.0 square metres. </td> </tr> <tr> <td data-bbox="106 1444 418 1648">(c) Shade trees</td> <td data-bbox="418 1444 730 1648"> i. Shade trees shall be provided and maintained in uncovered car parks at the rate of one tree for every four car parking bays. </td> </tr> <tr> <td data-bbox="106 1648 418 1934">(d) Verge area</td> <td data-bbox="418 1648 730 1934"> i. The verge areas of all child care premises are required to be suitably landscaped, reticulated and maintained to discourage patrons from parking on the verge. The verge is </td> </tr> </tbody> </table>	Design Element	Develop Requirement	(a) % landscaping	i. A minimum of 8% of the area of a lot shall be landscaped. ii. The landscaped area shall include a minimum strip of 1.5 metres wide adjacent to all street boundaries.	(b) Size	i. The landscaped area shall have a minimum width of 1.0 metre and distributed in areas of not less than 4.0 square metres.	(c) Shade trees	i. Shade trees shall be provided and maintained in uncovered car parks at the rate of one tree for every four car parking bays.	(d) Verge area	i. The verge areas of all child care premises are required to be suitably landscaped, reticulated and maintained to discourage patrons from parking on the verge. The verge is		<p>Landscaping Landscaping shall be provided in accordance with:</p> <ul style="list-style-type: none"> Local Planning Policy 6.6 Landscaping; Local Planning Policy 6.11 Trees and Development. <p>Waste Facilities Waste storage facilities and bins shall be provided in accordance with Local Planning Policy 6.3 Bin Storage Areas.</p>		<p>Landscaping</p> <ul style="list-style-type: none"> Landscaping requirements are set out in Clauses 4.7 and 4.17 of DPS 2. All adjacent verges are to be landscaped, reticulated and maintained for the duration of the development to discourage parking. Paving or sealing the verge is not permitted. <p>Street Walls and Fencing</p> <ul style="list-style-type: none"> Fences within the front setback area on land where the R-Codes apply should be in accordance with Clause 5.2.4 Street Walls and Fences of the Residential Design Codes. 	<p>Landscaping The City may require the submission of a landscaping plan detailing all hard and soft landscaping, including shade structures.</p> <p>A minimum width of 2m from the property's front boundary must be landscaped. Secondary street frontages must be landscaped for a width of at least 1m.</p> <p>Advanced trees to be provided in accordance with the local government's policy relating to tree retention and/or planting.</p> <p>To discourage parking the verge areas must be suitably landscaped, reticulated and maintained. The paving or sealing of verge areas will not be permitted.</p>	<p>Landscaping A development application must be accompanied by a landscaping plan detailing all hard and soft landscaping inclusive of any shade sail structures.</p> <p>A minimum width of 2m from the property's front boundary must be landscaped. Secondary street frontages must be landscaped for a width of at least 1m.</p> <p>Advanced trees to be provided in accordance with the local government's policy relating to tree retention and/or planting.</p> <p>To discourage parking the verge areas must be suitably landscaped, reticulated and maintained. The paving or sealing of verge areas will not be permitted.</p>	<p>Landscaping</p> <ul style="list-style-type: none"> Where car parking is provided between the building and street alignment(s) a minimum 1.5 metre wide landscaping strip to be established and thereafter maintained along the street alignment(s). The development to be designed to retain and conserve existing mature trees on the site as well as existing Council verge trees, wherever possible. Car parking areas to be landscaped and provided with shade trees at a minimum rate of 1 tree per 4 car parking bays provided.
Design Element	Develop Requirement																
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<p>Hours of Operation The days and hours of operation for child care premises within the 'Residential' zone or abutting or opposite the 'Residential' zone are to be in accordance with the following:</p> <table border="1"> <thead> <tr> <th data-bbox="92 583 418 615">Days</th> <th data-bbox="418 583 759 615">Operating hours</th> </tr> </thead> <tbody> <tr> <td data-bbox="92 615 418 646">(a) Monday to Friday</td> <td data-bbox="418 615 759 646">(i) 7.00 am to 6.00 pm</td> </tr> <tr> <td data-bbox="92 646 418 678">(b) Saturday</td> <td data-bbox="418 646 759 678">(i) 8.00 am to 1.00 pm</td> </tr> <tr> <td data-bbox="92 678 418 709">(c) Sunday</td> <td data-bbox="418 678 759 709">(i) Not permitted</td> </tr> </tbody> </table>	Days	Operating hours	(a) Monday to Friday	(i) 7.00 am to 6.00 pm	(b) Saturday	(i) 8.00 am to 1.00 pm	(c) Sunday	(i) Not permitted	<p>Operating Times The hours of operation are to be limited to between the hours of 7.00 am and 7:00 pm weekdays and 8:00 am and 1:00 pm Saturdays.</p>	<p>Hours of Operation Unless otherwise approved by the local government, with due regard to impact on residential amenity, the hours of operation of Child Care Premises is restricted to between 7.00am to 6.30pm on weekdays and 8.00am to 6.00pm on weekends.</p>	<p>Hours of Operation The hours of operation for an Education and Care Service Premises shall be limited to 7:00am to 7:00pm, Monday to Friday and 7:00am to 6:00pm on Saturday.</p> <p>The City may consider an increase to the above hours of operation for, provided that the amenity of the surrounding area is not unduly affected.</p>	<p><i>*Does not make mention of any hours of operation.</i></p>	<p>Hours of Operation Where a Child Care Premises is located adjacent to a property used for residential purposes, the hours of operation of the premises are limited to 7am to 7pm Monday to Friday and 8am to 7pm during weekends.</p>	<p>Hours of Operation The hours of operation of the premises are limited to 7am to 7pm Monday to Friday and 8am to 1pm Saturday.</p>	<p>Hours of Operation As a general rule, the hours of operation of a child care premises should be limited to between the hours of 7am and 7pm Monday to Saturday, and 9am to 5pm on Sunday, unless otherwise agreed to by Council.</p>
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(a) Monday to Friday	(i) 7.00 am to 6.00 pm														
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<p>Applications for Development Approval In addition to the general requirements for an application for development approval the following are required:</p> <ul style="list-style-type: none"> Traffic and Road Safety Impact Report Acoustic Report 		<p>Application Requirements In addition to the submission requirements set out in the Development Applications – Submission Checklist and Matrix, the following information is specifically required to be submitted:</p> <ul style="list-style-type: none"> Details describing the business, including: <ul style="list-style-type: none"> the number and age ranges of children to be cared for; the number of staff; the hours of operation; and any other relevant information. Proposals for new Child Care Premises developments are to provide either a Transport Impact Statement or Transport Impact Assessment, dependent on the number of children 	<p>Planning Approval When applying for Planning Approval to operate an Education and Care Service premises the following information is required to be submitted to the City in the form of a written submission:</p> <ul style="list-style-type: none"> Information on the type of Education and Care Service including what services will be provided; The maximum number of children that will be cared for at any one time; The age group/range of the children that will be cared for; The maximum number of staff/educators/carers that will be working at the premises at any one time; The proposed hours and days of operation; and Information on the equipment that will be used. 	<p>Information to be submitted with applications</p> <ul style="list-style-type: none"> An acoustic report is to be provided where the Child Care Centre is proposed within a residential zone, or where the City considers it has the potential to generate noise impacts which will affect the surrounding properties, or where the noise generated from surrounding land uses may affect the Child Care Centre. A noise management plan will also be required where identified by the acoustic report. A traffic impact statement is to be provided for all Child Care Centre applications unless a traffic impact assessment is required in accordance with the WAPC's Traffic 			<p>Requirement for Development Approval</p> <p>Child Care Premises Development approval is required to be obtained from the Council to establish a child care premises in all instances.</p> <p>An education and care service that does not satisfy the requirements of the Act or Regulations with respect to a family day care service is deemed to be, and will be assessed as, a child care premises in accordance with the provisions of Council's Scheme and this Local Planning Policy.</p> <p>CONSIDERATION OF APPLICATION FOR DEVELOPMENT APPROVAL</p> <p><u>Submission Requirements</u> In addition to the mandatory application form and fees and standard application</p>								

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		<p>proposed (refer to the Transport Impact Assessment Guidelines published by the Western Australian Planning Commission).</p> <ul style="list-style-type: none"> • Proposals to increase the number of children within existing Child Care Premises by more than 10 additional children are to provide a Transport Impact Statement. • A parking management plan is to be provided with all Child Care Premises applications (refer to Figure 1 in Appendix 1). • An acoustic report prepared by a suitably qualified person must be submitted with the application for development approval. • A noise management plan is also required where identified by the acoustic report. 		<p>Impact Assessment Guidelines.</p> <ul style="list-style-type: none"> • A landscaping plan is to be provided detailing the plant species, planting densities, location (including verges) and the area of landscaping provided on site. • Written statement outlining the number of children proposed, age group breakdown, days and hours of operation, number of staff and suitability of the proposed site for a Child Care Centre. 			<p>requirements for non-residential development, applications for family day care or a child care premises should also be accompanied by:</p> <ol style="list-style-type: none"> a) a written statement and/or Management Plan outlining the number of children proposed, age group breakdown, days and hours of operation, staff requirement, and explanation of why the use is appropriate for its location; b) a detailed site plan to a scale sufficient to identify clearly the boundaries and all proposed structures, external play areas; landscaping, refuse storage area, car parking, pedestrian and vehicle access ways, crossover(s) and kerb locations, verge width and associated road infrastructure (e.g. light poles, traffic islands) for the full road reserve width for all roads abutting the application site; c) a traffic impact statement/assessment, where the proposed development is of a scale that warrants its submission, in accordance with the WAPC's Transport Impact Assessment Guidelines; d) a noise impact assessment (in the case of a child care premises), where the proposal is located adjacent to one or more noise-sensitive uses; e) signage details or a signage strategy;

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							<p>f) if the site or adjoining site(s) may have been used for a potentially contaminating activity, a Form 2 - Request for a Summary of Records in Respect of Land is to be applied for and obtained from the Department of Water and Environment Regulation (available from https://www.der.wa.gov.au/your-environment/contaminated-sites/57-forms) for all relevant sites, and supplied to Council with the development application; and</p> <p>g) any additional information or written justification relevant to the assessment of the application.</p>
<p>Public Consultation – Refer to Planning Consultation LPP</p>		<p>Advertising Signs (<i>not public consultation signage though</i>) Advertising signs shall be provided in accordance with Local Planning Policy 6.1 Advertising Signs.</p>	<p>Signage (<i>not public consultation signage though</i>) All signage requirements is to be in accordance with the City's Policy relating to Signs and Advertising.</p>		<p>Signage (<i>not public consultation signage though</i>) The City's requirements for advertising and signage are outlined in Local Planning Policy LPP2.2 Outdoor Advertising and Signage</p>	<p>Signage (<i>not public consultation signage though</i>) Any proposed advertising sign must be in accordance with the provisions of the local government's policy for advertising signs. A Sign Licence application is also required which is to be submitted to the Building Department, pursuant to the Council's relevant Local Laws.</p>	<p>Signage (<i>not public consultation signage though</i>)</p> <ul style="list-style-type: none"> All signage associated with the development should be detailed as part of the development application. Where final specifications are unknown, a signage strategy identifying the location, size and type of external advertising signage to be installed on the building/site is to be submitted to Council as part of the development application. Signage should be designed integrally with the building/site and be of modest

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							<p>scale and proportions so as not to visually dominate the site/building or detract from the visual amenity of the streetscape or surrounding properties.</p> <ul style="list-style-type: none"> • The use of tethered banners, inflatable signage or free-standing transportable signs is inappropriate and will not be supported by Council. • The design, type, location and number of signs on the site/building is subject to the requirements of Council's Local Planning Policy and/or Local Law related to Signs and/or a signage strategy approved by Council as part of a development application for the site. <p>Community Consultation Development applications for a family day care service or child care premises will be publicly advertised by the Council, including seeking the comments of the owners and occupiers of adjoining or surrounding properties, in accordance with Local Planning Policy 37 – Community Consultation on Planning Proposals (LPP37). The applicant may also be required to advertise the proposal in a local newspaper and install sign(s) on site during the community consultation period, where required by LPP37.</p>

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Other requirements			Administrative Space A Centre Based Child Care Service premises is required to have an adequate area or areas at the premises for the purposes of: <ul style="list-style-type: none"> vii. conducting the administrative functions of the service; viii. consulting with parents of children; ix. conducting private conversations; and providing facilities for relief for the nominated supervisor, staff members and volunteers.			Waste Management Development applications must include details for bin storage and cleaning areas. A Waste Management Plan may also be required based on the scale and design of the development.	

Child Care Premises Local Planning Policy

Responsible Directorate: Planning and Community Development

Objectives:

- To provide development standards for the location, siting and design of child care premises.
- To ensure that child care premises do not have an adverse impact on the amenity of surrounding areas, particularly residential areas.

1. Authority:

This policy has been prepared in accordance with Schedule 2, Part 2 of the deemed provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* which allows the local government to prepare local planning policies relating to planning and development within the Scheme area.

2. Application:

This policy applies to the whole of the City of Joondalup.

3. Definitions:

“**child care premises**” as defined in *Local Planning Scheme No. 3* means premises where:

- (a) an education and care service as defined in the *Education and Care Services National Law (Western Australia)* section 5(1), other than a family day care service as defined in that section, is provided; or
- (b) a child care service as defined in the *Child Services Act 2007* section 4 is provided.

“**district distributor [A and B road](#)**” means a road as defined in the *Western Australian Road Hierarchy* produced by Main Roads Western Australia.

“**local distributor road**” means a road as defined in the *Western Australian Road Hierarchy* produced by Main Roads Western Australia.

4. Statement:

In considering applications for child care premises, the location, siting and design of the child care premises will be taken into consideration with the aim of ensuring that the development is compatible with, and avoids adverse impacts on, the amenity of adjoining and surrounding areas.

5. Details:

In assessing an application for development approval for child care premises, the following will apply:

5.1. Location:

The appropriate location of child care premises is crucial in avoiding adverse impacts on surrounding properties, particularly in terms of additional traffic, car parking and noise.

1.0.0. Neighbouring Uses:

a. Child care premises are most appropriately located within the 'Mixed Use', 'Commercial', 'Service Commercial' or 'Private Community Purposes' zone.

b. In order to minimise potential adverse impacts such a child care premises may have on the amenity of residential properties, particularly as a result of noise, and/or increased traffic and building scale, it is preferable to locate a child care premises will only be considered in the 'Residential' zone where it:

i. is not surrounded on all sides by residential properties and directly adjoins adjacent to non-residential uses such as shopping centres, medical centres or consulting rooms, schools, parks and/or community purpose buildings on at least one boundary.

ii. accommodates a maximum of 50 children.

b.c. Where a proposed child care premises is proposed to be located next to adjoins a residential property, the applicant must be required to demonstrate that how the proposal will not have an undue impact on residential amenity in terms of noise, location of car parking, increased traffic and building scale.

5.2. Road Hierarchy:

a. As a child care premises can be reasonably high traffic-generators. Therefore, in order to minimise their impact on the street network, child care premises are required to:

i. they should be located on Local Distributor Roads

ii. be located in such a manner that they would:

- not conflict with traffic control devices and would
- not encourage unsafe vehicle movements
- not encourage the use of nearby Access Roads for turning movements.

iii. not be located in, or on the corner of, a cul-de-sac road.

5.3. Parking and Access:

5.3.1. Car Parking Standard

a. Car parking bays are to be provided in accordance with the following table:

Use Class	Number of on-site parking bays
Child Care Premises	1 per employee plus
	5 per ≤ 25 children
	6 per 26–30 children
	7 per 31–56 children
	8 per 57–64 children
	9 per 65–72 children
	10 per 73–80 children
	11 per 81–88 children
	12 per 89–96 children
	13 per 97–104 children
	14 per 105 + children

5.3.2. Car Park Location and Design

a. Car park access and design is to be in accordance with the following requirements:

Design Element	Development Requirement
(a) Car park location	(i) All car parking is to be provided on-site; verge parking is not permitted. (ii) Car parks must be clearly visible from the street to encourage parking on-site instead of on the road verge.
(b) Car park design	(i) Car parks shall be designed in accordance with Australian Standards AS 2890.1 and/or AS 2890.2 as amended from time to time.
(c) Vehicle Access	(i) Vehicle access shall be taken from Local Distributor not be taken from District Distributor A Roads. (ii) Vehicle access with separate entry and exit points is preferred (Type 1 on Figure 1). Alternatively, 'Two-way' vehicle access (Type 2 on Figure 1) is required in accordance with Figure 1. (ii) Where practicable, existing vehicle access points should be utilised instead of proposing new access points. (iii) Vehicles are required to enter and exit the site in forward gear.
(d) Pedestrian Access	(i) A footpath must be provided from the car park and the street to the building entrance.

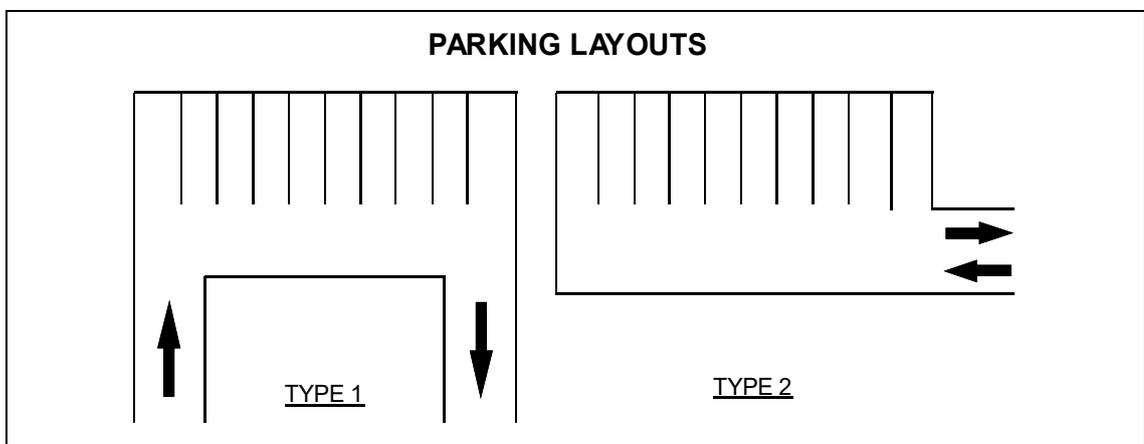


Figure 1. Vehicle Access

5.3.3. Bicycle Parking Standards

- a. Bicycle parking is to be provided in accordance with the following table and relevant Australian standards.

Use Class	Employee / Visitor Bicycle Parking
Child Care Premises	1 per 8 employees

5.4. Building Height:

- a. The maximum building height as measured from the natural ground level is to be in accordance with the following table:

Maximum Building Height		
Top of external wall	Top of external wall (concealed roof)	Top of pitched roof
6 metres	7 metres	9 metres

5.5. Building Design:

5.5.1. Building Setbacks

- a. Building setbacks in the 'Residential' zone are to be in accordance with Part 5 of the R-Codes, with the exception of the following:

R-Code	Minimum Primary Street Setback Distance	Minimum Secondary Street Setback Distance
R5	12 metres	6 metres
R20 and R25	6 metres	1.5 metres
R30 and above	4 metres	1.5 metres

- b. Building setbacks in all other zones are to be in accordance with the setback requirements for that zone or in accordance with any relevant structure plan, activity centre plan or local development plan.

5.5.2. Noise Attenuation:

- a. The layout and design of child care premises must consider noise attenuation measures to reduce the noise impact on adjacent properties. Noise-generating activities such as outdoor play areas, vehicle accessways, car parking areas and any plant and equipment ~~are to~~shall be located away from noise-sensitive land uses (such as residences).
- b. The design and construction of child care premises must also consider measures to reduce the impacts of noise from external sources, to achieve acceptable indoor noise ~~limits~~within the child care premises. These measures ~~should~~shall include consideration of the size and placement of windows and doors, the use of double-glazing, fencing, landscaping and the location of vehicle accessways, car parking areas and any plant and equipment.
- c. An acoustic report prepared by a suitably qualified person ~~must~~shall be submitted with the application for development approval. A noise management plan is also required where identified by the acoustic report.

5.6. Landscaping:

- a. Landscaping is to be in accordance with the following requirements:

Design Element	Development Requirement
(a) % landscaping	(i) A minimum of 8% of the area of a lot shall be landscaped. (ii) The landscaped area shall include a minimum strip of 1.5 metres wide adjacent to all street boundaries.
(b) Size	(i) The landscaped area shall have a minimum width of 1.0 metre and distributed in areas of not less than 4.0 square metres.
(c) Shade trees	(i) Shade trees shall be provided and maintained in uncovered car parks at the rate of one tree for every four car parking bays.
(d) Verge area	(i) The verge areas of all child care premises are required to be suitably landscaped, reticulated and maintained to discourage patrons from parking on the verge. The verge is not permitted to be paved or sealed as this would encourage its use for parking.

5.7. Hours of Operation:

- a. The days and hours of operation for child care premises within the 'Residential' zone or abutting or opposite the 'Residential' zone are to be in accordance with the following:

Days	Operating hours
(a) Monday to Friday	(i) 7.00 am to 6.00 pm*
(b) Saturday	(i) 8.00 am to 1.00 pm*
(c) Sunday	(i) Not permitted

[*Staff are permitted on site 30 minutes prior to and after the stipulated hours of operation.](#)

5.8. Applications for development approval:

- a. In addition to the general requirements for an application for development approval, the following are required [at the time of lodgement](#):
- *Traffic and Road Safety Impact Report*
 - *Acoustic Report*

5.9. Public consultation:

- a. Refer to the City's *Planning Consultation Local Planning Policy*.

Creation Date: June 1999

Amendments: CJ206-10/05, CJ207-10/07, CJ126-07/08, CJ052-04/08, CJ110-06/13, CJ174-10/17, CJ033-03/20

Related Documentation:

- *Education and Care Services National Law (WA) Act 2012*
- *Child Care Services Act 2007*

- *City of Joondalup Local Planning Scheme No. 3*
- *Main Roads Western Australia Road Hierarchy*
- *Planning Consultation Local Planning Policy*

Child Care Premises Local Planning Policy

Responsible Directorate: Planning and Community Development

Objectives:

- To provide development standards for the location, siting and design of child care premises.
- To ensure that child care premises do not have an adverse impact on the amenity of surrounding areas, particularly residential areas.

1. Authority:

This policy has been prepared in accordance with Schedule 2, Part 2 of the deemed provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* which allows the local government to prepare local planning policies relating to planning and development within the Scheme area.

2. Application:

This policy applies to the whole of the City of Joondalup.

3. Definitions:

“**child care premises**” as defined in *Local Planning Scheme No. 3* means premises where:

- (a) an education and care service as defined in the *Education and Care Services National Law (Western Australia)* section 5(1), other than a family day care service as defined in that section, is provided; or
- (b) a child care service as defined in the *Child Services Act 2007* section 4 is provided.

“**district distributor A and B road**” means a road as defined in the *Western Australian Road Hierarchy* produced by Main Roads Western Australia.

“**local distributor road**” means a road as defined in the *Western Australian Road Hierarchy* produced by Main Roads Western Australia.

4. Statement:

In considering applications for child care premises, the location, siting and design of the child care premises will be taken into consideration with the aim of ensuring that the development is compatible with, and avoids adverse impacts on, the amenity of adjoining and surrounding areas.

5. Details:

In assessing an application for development approval for child care premises, the following will apply:

5.1. Location:

The appropriate location of child care premises is crucial in avoiding adverse impacts on surrounding properties, particularly in terms of additional traffic, car parking and noise.

- a. Child care premises are most appropriately located within the 'Mixed Use', 'Commercial', 'Service Commercial' or 'Private Community Purposes' zone.
- b. In order to minimise potential adverse impacts a child care premises may have on the amenity of residential properties, particularly as a result of noise, increased traffic, and building scale, a child care premises will only be considered in the 'Residential' zone where it:
 - i. is not surrounded on all sides by residential properties and directly adjoins non-residential uses such as shopping centres, medical centres or consulting rooms, schools, parks or community purpose buildings on at least one boundary.
 - ii. accommodates a maximum of 50 children.
- c. Where a proposed child care premises adjoins a residential property, the applicant is required to demonstrate how the proposal will not have an undue impact on residential amenity in terms of noise, location of car parking, increased traffic and building scale.

5.2. Road Hierarchy:

- a. Child care premises can be reasonably high traffic-generators. Therefore, in order to minimise their impact on the street network, child care premises are required to:
 - i. be located on Local Distributor Roads
 - ii. be located in such a manner that they would:
 - not conflict with traffic control devices
 - not encourage unsafe vehicle movements
 - not encourage the use of nearby Access Roads for turning movements.
 - iii. not be located in, or on the corner of, a cul-de-sac road.

5.3. Parking and Access:

5.3.1. Car Parking Standard

- a. Car parking bays are to be provided in accordance with the following table:

Use Class	Number of on-site parking bays
Child Care Premises	1 per employee plus 5 per ≤ 25 children 6 per 26–30 children 7 per 31–56 children 8 per 57–64 children 9 per 65–72 children 10 per 73–80 children 11 per 81–88 children 12 per 89–96 children 13 per 97–104 children 14 per 105 + children

5.3.2. Car Park Location and Design

a. Car park access and design is to be in accordance with the following requirements:

Design Element	Development Requirement
(a) Car park location	(i) All car parking is to be provided on-site; verge parking is not permitted. (ii) Car parks must be clearly visible from the street to encourage parking on-site instead of on the road verge.
(b) Car park design	(i) Car parks shall be designed in accordance with Australian Standards AS 2890.1 and/or AS 2890.2 as amended from time to time.
(c) Vehicle Access	(i) Vehicle access shall be taken from Local Distributor Roads. (ii) 'Two-way' vehicle access is required in accordance with Figure 1. (iii) Vehicles are required to enter and exit the site in forward gear.
(d) Pedestrian Access	(i) A footpath must be provided from the car park and the street to the building entrance.

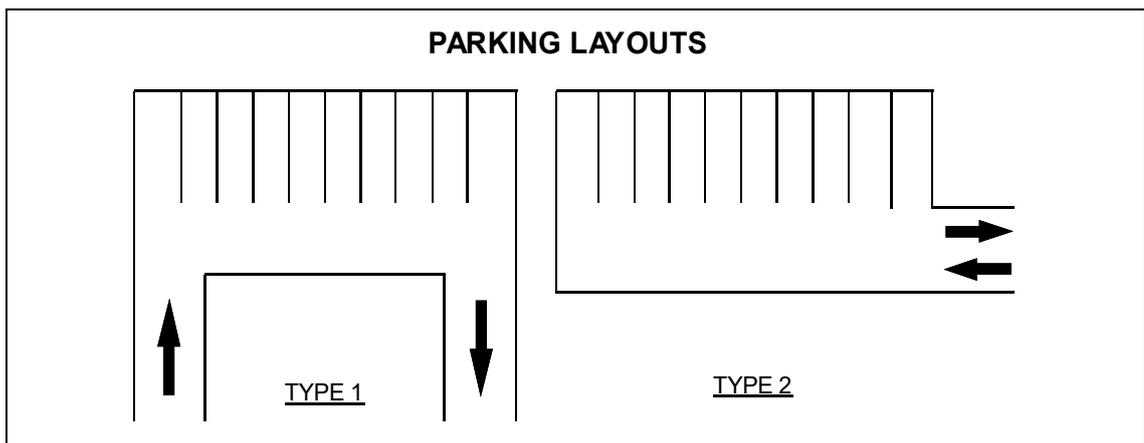


Figure 1. Vehicle Access

5.3.3. Bicycle Parking Standards

a. Bicycle parking is to be provided in accordance with the following table and relevant Australian standards.

Use Class	Employee / Visitor Bicycle Parking
Child Care Premises	1 per 8 employees

5.4. Building Height:

- a. The maximum building height as measured from the natural ground level is to be in accordance with the following table:

Maximum Building Height		
Top of external wall	Top of external wall (concealed roof)	Top of pitched roof
6 metres	7 metres	9 metres

5.5. Building Design:

5.5.1. Building Setbacks

- a. Building setbacks in the 'Residential' zone are to be in accordance with Part 5 of the R-Codes, with the exception of the following:

R-Code	Minimum Primary Street Setback Distance	Minimum Secondary Street Setback Distance
R5	12 metres	6 metres
R20 and R25	6 metres	1.5 metres
R30 and above	4 metres	1.5 metres

- b. Building setbacks in all other zones are to be in accordance with the setback requirements for that zone or in accordance with any relevant structure plan, activity centre plan or local development plan.

5.5.2. Noise Attenuation:

- a. The layout and design of child care premises must consider noise attenuation measures to reduce the noise impact on adjacent properties. Noise-generating activities such as outdoor play areas, vehicle accessways, car parking areas and any plant and equipment shall be located away from noise-sensitive land uses (such as residences).
- b. The design and construction of child care premises must also consider measures to reduce the impacts of noise from external sources, to achieve acceptable indoor noise within the child care premises. These measures shall include consideration of the size and placement of windows and doors, the use of double-glazing, fencing, landscaping and the location of vehicle accessways, car parking areas and any plant and equipment.
- c. An acoustic report prepared by a suitably qualified person shall be submitted with the application for development approval. A noise management plan is also required where identified by the acoustic report.

5.6. Landscaping:

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