



minutes

Ordinary Meeting of Council

MEETING HELD ON TUESDAY 25 JULY 2023

Acknowledgement of Traditional Custodians

The City of Joondalup acknowledges the traditional custodians of the land, the Whadjuk people of the Noongar nation, and recognises the culture of the Noongar people and the unique contribution they make to the Joondalup region and Australia. The City of Joondalup pays its respects to their Elders past and present and extends that respect to all Aboriginal and Torres Strait Islander peoples.

This document is available in alternate formats upon request

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CITY OF JOONDALUP

COUNCIL MEETING HELD IN THE COUNCIL CHAMBER, JOONDALUP CIVIC CENTRE, BOAS AVENUE, JOONDALUP ON 25 JULY 2023.

1 ACKNOWLEDGEMENT OF TRADITIONAL CUSTODIANS

The Deputy Mayor acknowledged the traditional custodians of the land.

2 DECLARATION OF OPENING AND ANNOUNCEMENT OF VISITORS

The Deputy Mayor declared the meeting open at 6.30pm.

Deputy Mayor:

CR JOHN LOGAN South-East Ward

Councillors:

CR TOM MCLEAN, JP	North Ward	
CR ADRIAN HILL	North Ward	
CR DANIEL KINGSTON	North Central Ward	<i>absent from 8.04pm to 8.06pm</i>
CR NIGE JONES	North Central Ward	
CR RUSSELL POLIWKA	Central Ward	<i>absent from 8.04pm to 8.07pm</i>
CR CHRISTOPHER MAY, JP	Central Ward	
CR SUZANNE THOMPSON	South Ward	
CR RUSS FISHWICK, JP	South Ward	
CR JOHN RAFTIS	South-West Ward	<i>from 6.32pm</i>
CR CHRISTINE HAMILTON-PRIME, JP	South-West Ward	<i>absent from 8.09pm to 8.11pm</i>
CR JOHN CHESTER	South-East Ward	<i>absent from 6.59pm to 7.01pm</i> <i>from 6.32pm</i>

Officers:

MR JAMES PEARSON	Chief Executive Officer	
MR MAT HUMFREY	Director Corporate Services	
MR CHRIS LEIGH	Director Planning and Community Development	
MR JAMIE PARRY	Director Governance and Strategy	
MR NICO CLAASSEN	Director Infrastructure Services	
MRS KYLIE BERGMANN	Manager Governance	
MRS CATHRINE TEMPLE	Manager Planning Services	
MRS REBECCA MACCARIO	Manager Strategic and Organisational Development	<i>to 7.12pm</i>
MRS VIVIENNE STAMPALIJA	Governance Coordinator	
MR STUART MCLEA	Media & Communications Officer	
MRS DEBORAH GOUGES	Senior Governance Officer	
MRS SUSAN HATELEY	Governance Officer	

There were 29 members of the public and no member of the press in attendance.

3 DECLARATIONS OF FINANCIAL INTEREST / PROXIMITY INTEREST / INTEREST THAT MAY AFFECT IMPARTIALITY

3.1 DISCLOSURES OF INTEREST AFFECTING IMPARTIALITY

Elected Members (in accordance with clause 22 of Schedule 1 of the *Local Government [Model Code of Conduct] Regulations 2021*) and employees (in accordance with the Code of Conduct) are required to declare any interest that may affect their impartiality in considering a matter. This declaration does not restrict any right to participate in or be present during the decision-making process. The Elected Member / employee is also encouraged to disclose the nature of their interest.

Name / Position	Cr Russ Fishwick.
Item No. / Subject	Item 12.6 - Corporate Sponsorship Application: Swimming WA Inc. Open Water Swim Series at Mullaloo and Sorrento.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	The events make a contribution to the Sorrento Surf Life Saving Club which Cr Fishwick is a Vice Patron. Cr Fishwick will be entering one of the swimming distance events.

Name / Position	Cr Christine Hamilton-Prime.
Item No. / Subject	Item 12.6 - Corporate Sponsorship Application: Swimming WA Inc. Open Water Swim Series at Mullaloo and Sorrento.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Councillor Hamilton-Prime is a Vice Patron at Sorrento Surf Life Saving Club and her husband is the club doctor.

Name / Position	Cr Russ Fishwick.
Item No. / Subject	Item 12.10 - Petition – Sorrento Bowling Club – Installation of Self-Service Club Tab.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Councillor Fishwick is a member of the Sorrento Bowling Club and a pennant player for the club.

Name / Position	Cr John Logan.
Item No. / Subject	Item 12.10 - Petition – Sorrento Bowling Club – Installation of Self-Service Club Tab.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Councillor Logan has a personal association with some members of the Sorrento Bowling Club.

Name / Position	Cr John Logan.
Item No. / Subject	Item 13.3 - Proposed Amendment to Local Planning Scheme No. 3 - Additional Use 'Grouped Dwelling' to Lot 847 (5) Tuart Road, Greenwood – Consideration Following Advertising.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Logan is a parishioner of All Saints Catholic Church in Greenwood and, as such, is known to a number of the proponents of the application.

Name / Position	Mr Chris Leigh, Director Planning and Community Development.
Item No. / Subject	Item 13.3 - Proposed Amendment to Local Planning Scheme No. 3 - Additional Use 'Grouped Dwelling' to Lot 847 (5) Tuart Road, Greenwood – Consideration Following Advertising.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	The applicant of the scheme amendment and Mr Chris Leigh have previously worked together.

Name / Position	Cr Daniel Kingston.
Item No. / Subject	Item 13.4 - Proposed Revocation of the Marmion Structure Plan and Amendment to Local Planning Scheme No. 3.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	A family member of Cr Kingston may live on Troy Avenue. (Not in structure plan).

Name / Position	Cr John Chester.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Chester is a Committee Member of The Friends of Yellagonga and the Department of Biodiversity, Conservation and Attractions (DBCA) Yellagonga Regional Park Community Advisory Committee.

Name / Position	Cr Daniel Kingston.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	A number of people who attend Woodvale Baptist are known to Cr. Kingston.

Name / Position	Cr Daniel Kingston.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Kingston is Secretary of The Friends of Yellagonga. The development is adjacent to Yellagonga Regional Park.

Name / Position	Cr John Logan.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Logan is a member of The Friends of Yellagonga Regional Park which is adjacent to the site of which the application relates.

4 DEPUTATIONS

This item was dealt with at the Briefing Session.

Cr Chester and Cr Raftis entered the Chamber at 6.32pm.

5 PUBLIC QUESTION TIME

The following summarised questions were taken on notice at the Briefing Session held on 11 July 2023:

Dr T Green, Greenwood:

Q1 *What is the dwelling target the City is working towards regarding its new housing strategy?*

A1 The Western Australian Planning Commission's North-West Sub-Regional Planning Framework establishes a dwelling target for the City of Joondalup of 22,630 additional dwellings (20,670 of these as infill dwellings), by 2050.

Q2 *What underlying data sets were used by the State Government when setting the dwelling targets?*

A2 The Department of Planning, Lands and Heritage has advised the dwelling targets contained within the North-West Sub-Regional Planning Framework were set after reviewing established development patterns and projections from sources such as the Metropolitan Land Use Forecasting System, dwelling targets contained within Directions 2031 and Beyond, Perth & Peel @ 3.5 million and WA Tomorrow (2012 and 2014 reports) and in consultation with local governments.

The following summarised questions were submitted prior to the Council meeting:

M O'Byrne, Kinross:

Re: Incidents on Hillarys Dog Beach.

Q1 *Can the City provide a list of all incidences of physical harm to dogs or humans reported to the City arising from dogs exercising off-the-leash in the Hillarys Dog Beach Area in the past five years?*

A1 The City receives reports of dog attacks where physical harm to dogs or humans arises from dogs exercising off-the-leash in the Hillarys Dog Beach Area however, not all incidents are reported to the City. The City has received 57 reports of dog attacks along Hillarys animal exercise beach between 2018 and 2023.

Re: Agriculture Minister Report – APVMA.

Q2 How does the City respond to the recent damning report commissioned by Agriculture Minister, Murray Watt which finds the Australian Pesticides and Veterinary Medicines Authority (APVMA) “captured” by industry interests and subject to regular complaints of misconduct?

A2 The Australian Pesticides and Veterinary Medicines Authority (APVMA) is the independent statutory authority responsible for the regulation of agricultural and veterinary (agvet) chemicals and medicines in Australia.

The Strategic Review Report was released by the Minister for Agriculture, Fisheries and Forestry on 14 July 2023. The report was a strategic review of the APVMA’s allocation of regulatory priorities, its capability to carry out the full scope of its regulatory functions and its operations. The report was commissioned by the Board of the APVMA (Board) at the request of the Minister.

The report highlighted issues with the administration and governance of the APVMA. It concluded that the material reviewed “does not indicate any instances where agvet chemical products have been registered inappropriately”.

The City will continue to be guided by Federal and State regulators regarding the safety and appropriateness of the use of pesticides including glyphosate.

Q3 When will the City review its legal exposure in its use of Glyphosate and other pesticides given that these serious allegations of ‘capture by industry interests’ appears to have played a key role in APVMA not performing to its full regulatory responsibilities?

A3 The City will continue to be guided by the Federal and State regulators regarding the safety and appropriateness of the use of pesticides including glyphosate.

Re: Licenced Gambling in City Facilities.

Q4 Why isn’t the City of Joondalup protecting vulnerable people who are problem gamblers by permanently making a commitment to removing any possibility of licensed gambling such as Club TAB from ever gaining a foothold in our City facilities?

A4 Licenced gambling activities are currently regulated by Racing and Wagering WA (RWWA). The City is consulted on applications and considers them on a case-by-case basis. Only one City-owned facility has been the subject of a request to install a Club TAB facility, being the Sorrento Bowling Club. The Club’s most recent request was not supported by the City and is currently the subject of a petition that is before Council for its consideration. The outcome of Council’s decision will assist the City with similar requests that may be received in the future.

Re: *Community Edible Gardens.*

Q5 *When will the City release the list of potential sites for edible gardens, stated for release in mid-2023 as per the City's response to my Q5 – February 2023?*

A5 A review of possible locations for community gardens has been completed and the City is finalising internal feedback on the proposed approach which it aims to complete in late 2023.

M van Dyk, Connolly:

Re: *Mayor Albert Jacob.*

Q1 *Which bank does the Honourable Mayor Albert Jacob work for?*

A1 The City cannot answer this question on behalf of the Mayor.

Re: *Property owned by the City of Joondalup.*

Q2 *City of Stirling refer to "owning" their beaches. Can the City outline what properties the City of Joondalup owns?*

A2 The City of Joondalup is responsible for the management of over 800 properties, approximately 150 of which are held in freehold.

Re: *Public Governance, Performance and Accountability Act 2013.*

Q3 *Pursuant to Section 11 of the Public Governance, Performance and Accountability Act 2013, is the City of Joondalup [ABN 64 245 472 416] considered to be operating in the Corporate Commonwealth or the non-corporate Commonwealth?*

A3 The *Public Governance, Performance and Accountability Act 2013 (Cth)* is Commonwealth legislation, the objects of which are (amongst other things) to establish a system of governance and accountability across Commonwealth entities, a performance framework for Commonwealth entities and to set governance, performance and accountability standards for Commonwealth entities.

The City of Joondalup does not fall within the definition of a Commonwealth entity as set out at section 10 and is therefore not a Commonwealth entity. Section 11 does not apply.

The City is not governed by the *Public Governance, Performance and Accountability Act 2013 (Cth)* and sits outside the remit of this Commonwealth legislation.

The City is established by an act of Western Australian State Parliament, the *Local Government Act 1995 (WA)*.

Re: *Environmental Policies.*

Q4 *Can the City advise under what authority at law does Mayor Jacob aid the United Nations (a private foreign organisation that we did not vote for) to implement policies that impact everyone, influenced by private organisations such as ICLEI (International Council for Local Environmental Initiatives) and the Global Covenant of Mayors for Climate Change and Energy?*

A4 The City and Mayor do not aid the United Nations to implement policies. The Australian Government is a founding member of the United Nations and is an active participant in UN activities.

The Global Covenant of Mayors for Climate and Energy is an international alliance of cities with a shared long-term vision of promoting voluntary action to combat climate change and transition to low-emission and resilient societies. The City's participation in the Global Covenant of Mayors for Climate and Energy facilitates knowledge sharing to inform the City's climate change planning and initiatives.

Re: *CCTV on King's Roads.*

Q5 *Under what authority does the City of Joondalup [ABN 64 245 472 416] install cameras on the King's roads and streets of the Commonwealth of Australia?*

A5 Local roads within the City of Joondalup are under the care and control of the City. Works and the installation of infrastructure within these reserves is undertaken pursuant to the *Local Government Act* and relevant local laws.

B Hewitt, Edgewater:

Re: *Coastal Hazard Risk Management and Adaptation Plan (CHRMAP).*

Q1 *Can the City confirm when the CHRMAP was adopted by the Council and when public consultation took place?*

A1 The draft City-wide CHRMAP was presented to Council on 23 May 2023 and endorsed to be released for community consultation. Community consultation on the draft City-wide CHRMAP commenced on 6 June 2023 and will close on 31 July 2023.

Q2 *Can the City please advise if the stated trigger point for the Pinnaroo Park CHRMAP has been reached?*

A2 The draft City-wide CHRMAP includes a trigger point to implement coastal adaptation options when the shoreline has receded to within 20m of a significant asset. The trigger point has not been reached at Hillarys-Kallaroo coastal management zone which includes Pinnaroo Point.

- Q3 *Can the City please advise what actions will be taking place if or when the trigger point is reached, and if it has already been reached what actions have already been undertaken by the City of Joondalup?*
- A3 The City will continue to undertake the annual Coastal Monitoring Program including monitoring of trigger points for adaptation pathways. If trigger points are reached, further detailed analysis will be undertaken. This will include further technical assessments, review of the latest coastal hazard information, modelling and community consultation as required.
- Q4 *Can the City advise what cost is estimated on these actions to the ratepayers of the City of Joondalup?*
- A4 The estimated cost of implementing the proposed adaptation pathway proposed in the draft City-wide CHRMAP for Hillarys-Kallaroo coastal management zone is \$50.5 million over the 90 year period from 2025 to 2115.

P Navas-Parejo, Greenwood:

Re: *Mayoral Oath.*

Q1 *Did the Mayor of the City of Joondalup swear an oath of office and what was sworn in such oath?*

A1 Yes. Mayor Jacob was sworn into office at a swearing-in ceremony held on Tuesday, 19 October 2021. For the purposes of s2.29 and 2.42 of the Local Government Act 1995 a declaration of office was made in accordance with Form 7 of the Local Government (Constitution) Regulations 1998.

Re: *CCTV and Resident Movements.*

Q2 *With the extensive network of surveillance cameras popping up in many places across the City of Joondalup, which are able to collect personal data. Which entities will the City of Joondalup be sharing all this data with?*

A2 The footage from CCTV cameras is provided to the WA Police when requested on occasions when an alleged crime has been committed and the footage is required for evidential/ investigatory purposes.

Q3 *Will the movements of the residents of the City of Joondalup be traced in the future, yes or no?*

Q4 *Will the City of Joondalup restrict or assist other institutions in restricting the movement of the residents of the City of Joondalup in the future, yes or no?*

A3&4 The City does not record or restrict the movement of people other than to meet legal and safety responsibilities.

Re: *Climate Change.*

Q5 *What other measures is the City of Joondalup considering to implement in the future to combat climate change and transition to low-emission and resilient societies? Please list.*

A5 The City is currently implementing the *Climate Change Strategy 2014 - 2019* and a new Climate Change Plan is being developed to provide guidance to the City's climate change mitigation and adaptation activities. Initiatives that the City is currently implementing or being considered in the future include, but are not limited to, the use of renewable energy, electric vehicles, energy efficient street lighting, waterwise initiatives, tree planting programs, natural area conservation programs, bushfire risk mitigation actions and climate change education programs.

R Grant, Greenwood:

Re: *Item 13.3 – Proposed Amendment to Local Planning Scheme No. 3 – Additional Use 'Grouped Dwelling' to Lot 847 (5) Tuart Road. Greenwood – Consideration following Advertising.*

Q1 *Have we been, or can we be, fully assured that in their desire to house a deserving, but specific sector of community on this land portion, Identitywa and their associates in this matter, have fully met their duty of care to Liwara Primary School and those associated with the school, by ensuring that they understand clearly, that approval of this proposal will permanently disallow the school an option to use or develop this area to continue or expand the school's activities and functions, now or into the future. Additionally, to refrain from commenting or objecting will infer either acceptance of or indifference to this proposal?*

A1 The scheme amendment proposal has been prepared on behalf of the owner of the site being the Roman Catholic Archbishop. Correspondence was sent to Liwara Catholic Primary School as part of the City's consultation on the proposal. The City understands that the proponent has been in contact with the school during the scheme amendment process.

M Harrison, Mullaloo:

Re: *Coastal Hazard Risk Management and Adaptation Plan (CHRMAP).*

Q1 *During the City defined period of public feedback (06 June to 31 July) for the Draft CHRMAP - is any Elected Member permitted to state to the public prior knowledge of the outcome of the endorsement process yet to be decided by Council in December 2023?*

A1 Clause 9.2.9 *Lobbying and meetings with external parties* of the City's *Governance Framework* provides guidance to Elected Members and employees with regard to the City's position related to stakeholder liaison on matters to be considered by the Council; and the City's *Code of Conduct for Council Members, Committee Members and Candidates* is also relevant.

-
- Q2 *What are the possible consequences for any Elected Member in the event they are shown to have stated to the public, during the City period of public feedback for the Draft CHRMAP (06 June to 31 July), that one groyne only is to be installed and that will be at Pinnaroo Point?*
- A2 The City's Code of Conduct for Council Members, Committee Members and Candidates provides guidance.
- Q3 *How would the City account for any possible reduction in the number of online public submissions against the Draft CHRMAP in the event of misleading information being proven to have been stated to the public by an Elected Member during the City period of public feedback (06 June to 31 July)?*
- A3 The City is unable to respond to a speculation. Reference can be made to the City's Code of Conduct for Council Members, Committee Members and Candidates if it is considered misleading information has been provided by an Elected Member.
- Q4 *How would the City account for any possible reduction in the number of petition signatories against the Draft CHRMAP in the event of misleading information being proven to have been stated to the public by an Elected Member at any date from the start of the period of public feedback on 06 June 2023 to the Council meeting seeking endorsement of the Draft CHRMAP in December 2023?*
- A4 Refer to response in Q3 above.
- Q5 *In the only cost-benefit reference for the Draft CHRMAP - what cumulative total dollar value was apportioned to the City's beaches unique, wild expansiveness and its web of life that animates the City's coastline?*
- A5 The value of beaches is \$17 million annually and is derived from the social, environmental and economic benefits as shown in the CHRMAP Cost Benefit Analysis Technical Summary.

M McCallum, Hillarys:

Re: *Smart Cities.*

Q1 *Can the City advise what are the makes and models of SMART streetlights installed in the City of Joondalup?*

A1 Telensa telecell.

Q2 *Can the City advise if the SMART streetlights come with built-in cameras?*

A2 The SMART streetlights do not come with built-in cameras.

Q3 *If yes to Q2, can the City advise how many have the capability to carry out facial recognition and number plate recognition?*

A3 See answer to Question 2.

Q4 *Can the City advise how many UN initiatives does the City of Joondalup participate in?*

A4 The City does not directly participate in any United Nations initiatives (UN). The Australian Government was a founding member of the United Nations and is an active participant in UN institutions and initiatives.

Q5 *Can the City advise does 'SMART' as in Smart City stand for Self-Monitoring Analysing Reporting Technology?*

A5 Smart City, as a term used by the City, describes an approach to how the City aims to deliver services to the community to meet its needs. It is not used as an acronym.

D Blackburn, Kingsley:

Re: *MP Rogers and Associates – Marine Engineering Consultant.*

Q1 *What is the history of MP Rogers and Associates as a provider to the City of marine engineering consultancy services. Such as tender approval dates and contract extensions?*

A1

Contract Number	049-05/06	022/11	036/16	VP287323
Contract Description	Provision of Technical Consultancy Services	Provision of Marine and Civil Consultancy Services	Provision of Marine Engineering Consultancy Services	Marine Engineering Consultancy Services
Type of Contract	Panel (7)	Panel (4)	Sole	Sole
Procurement Path	Tender	Tender	Tender	Quotation
Award By	Council	Council	Council	Director Governance and Strategy
Award Date	26/4/2006	22/11/2011	21/2/2017	15/2/2022
Contract Initial term	2 Years	3 Years	3 Years	1 Year
Extension	1+1+1 years	1+1 years	1+1 years	1+1 years
Contract Start Date	11/5/2006	24/11/2011	1/3/2017	1/3/2022
Contract End Date	10/05/2011	232/11/2016	28/02/2022	28/02/2024
Expenditure (MP Rogers Only)	\$339,940.78	\$1,293,417.75	\$496,005.33	\$72,708.13

Expenditure between 022/11 and 036/16

\$5,853.73

Expenditure between 049-05/06 and 022/11 \$49,246

Please note expenditure for Contract 049-05/06 is only what is recorded in T1. There does not appear to be any expenditure recorded prior to 2009.

Q2 *How much money has been expended on MP Rogers and Associates per year since they were first contracted?*

A2

	EXPENDITURE BY YEAR (\$)
2006	-
2007	-
2008	-
2009	14,300.00
2010	143,488.20
2011	231,398.58
2012	70,471.48
2013	105,513.65
2014	253,378.64
2015	487,008.43
2016	363,236.22
2017	148,545.51
2018	64,736.15
2019	89,233.39
2020	76,826.31
2021	111,520.02
2022	41,510.54
2023	56,004.60
TOTAL	2,257,171.72

Q3 *Which other companies have been providers for marine engineering consultancy services and for what periods?*

A3 DHI Water & Environment Pty Ltd was appointed to Contract 022/11 as well as MP Rogers - only to be used for the Ocean Reef Marina project in hydrodynamic, wave, ecological and littoral processes modelling only if required. These services were not utilised during the term of the contract.

S Apps, Woodvale:

Re: *Chichester Park, Woodvale – Skate Facility.*

Q1 *In relation to Council's decision (CJ199-12/22) made at the meeting held on 13 December 2022 in respect to Part 2 of the decision stating that the City investigate an incidental skate facility at Chichester Park, Woodvale. As stated by the City during the Briefing Session held on 7 July 2023, it was confirmed that the design now included a pump/BMX track component in the design.*

Why has the administration instructed Common Ground Trails to include a pump (BMX) Track in the designs now?

Q2 *Why is the administration going against the Council endorsement and on what authority is the administration changing the Council agreed position?*

A1 & 2 At its meeting held on 16 February 2021 (CJ017-02/21 refers), Council adopted the City of Joondalup Outdoor Youth Recreation Strategy. This Strategy is a strategic document to inform the future provision and location of youth outdoor recreation facilities within the City of Joondalup.

The strategy includes a facilities framework outlines a strategic approach to meeting community need through the provision of a network of complementary facilities across the City of Joondalup. The framework sets out a hierarchy of facility types, aligning the nature of facilities with the particular social, skills development, and competition functions of outdoor recreation.

Incidental facilities in the Strategy is defined as follows:

“Multi-purpose facilities that provide shared access to outdoor recreation and integrate with other community recreational activities within local and district parks. These local, multi-purpose facilities are suitable for skate, scooter, and BMX/bike users and can include elements supporting other physical social activity, such as informal outdoor basketball. Being multi-purpose, they function as an entry point to a variety of recreation types and support unstructured and social participation.”

At its meeting held on 13 December 2022 (CJ199-12/22), Council supported investigations to develop an incidental skate facility at Chichester Park, Woodvale. The budget, as adopted by Council at its meeting held on 27 June 2023 (CJ106-06/23 refers), aligns with the scope for an incidental facility as defined in the City of Joondalup Outdoor Youth Recreation Strategy.

The engagement of Common Ground to design the renewal and upgrade of the existing BMX track therefore aligns with Council's decision.

Q3 *Why has Part 3 of Council decision (CJ199-12/22) relating to “community consultation on an incidental skate facility be undertaken in early 2023” not been completed, considering it is now July?*

A3 Community consultation on this project has been delayed due to the unavailability of appropriately qualified and experienced consultants to undertake a concept design to inform consultation.

Q4 *What has been spent so far by the City of Joondalup on the proposed Skate Park facility since the election promise (2018) made by the local state MP, including the initial consideration of Chichester Park, the subsequent consideration of Timberlane Park and Gascoyne Park and the recently dismissed option of the Old Trotting track and now the revisiting of Chichester Park, first as an incidental skate facility and now with the inclusion of the Pump (BMX) track facility?*

A4 The election commitment for a Woodvale skate facility was made during the March 2021 State elections.

The assessment since 2021 for the various locations was undertaken using internal staff time only.

Since Council's decision in December 2022 to investigate an incidental facility at Chichester Park, the City has spent \$26,215.

Q5 *If the City was not being provided with a grant of \$800,000 from the State Government for the project, would the City of Joondalup still be pursuing a Skate Park /Pump – BMX Track facility at Chichester Park?*

Especially as Chichester Park was not listed in the City of Joondalup Outdoor Youth Recreation Strategy under the Key Implementation Actions.

A5 One of the key implementation actions of the *Outdoor Youth Recreation Strategy* is to prepare a business case to evaluate options for the provision of multi-purpose incidental facilities throughout the district. The Strategy listed locations to consider as part of the evaluation but did not limit to those identified locations.

A business case was prepared for the development of a facility as the Horse Track, Woodvale (which is listed in the Strategy as a location for investigation) which was considered by Council at its meeting held on 13 December 2022 (CJ199-12/22 refers). At this meeting Council supported progressing the investigation to develop an incidental skate facility at Chichester Park, Woodvale instead of pursuing the Horse Track, Woodvale.

The State Government's grant of \$800,000 is assisting the City in delivering the recommendations and implementation actions of the City's *Outdoor Youth Recreation Strategy*.

T Barlow, Woodvale:

Re: *Chichester Park, Woodvale – Skate Facility.*

Q1 *Why does the City of Joondalup not value the importance of a calming green space and the mental and physical health benefits it brings to those in our community, such as older residents, the disabled and those who are more isolated, as well as those people who prefer, or can only undertake, passive exercise, such as walking the family dog.*

What actual benefits/application does a skate park/pump track installation within Chichester Park offer to these groups?

- A1 At its meeting held on 13 December 2022 (CJ209-12/22 refers), Council adopted the *City of Joondalup Public Open Space Framework* which guides the allocation of infrastructure assets across the different types of public open space within the City. The aim of the Framework is to achieve transparent and accountable decision-making, underpinned by the principles of equity and consistency.

The objectives of the Framework are:

- To classify public open space according to primary function and manner of use.
- To identify appropriate infrastructure for each type of public open space.
- To inform levels of service and maintenance schedules for each type of public open space.

Chichester Park is classified as a District Sports Park under this Framework with its primary function to support structured, organised sports activities, such as team competitions, physical skill development and training (for example football, soccer, bowls etcetera). The secondary function of sporting parks is the support of unstructured sports activities which cater for all ages such as frisbee, golf, basketball and netball shooting pads, tennis hit-up walls, skate facilities, BMX facilities and the like.

The Chichester Park Skate & Play Facilities project will also include universal access footpaths, benches, barbecue, drink fountain (with dog bowl) and picnic settings which can be used by all ages and support passive recreation pursuits.

Chichester Park covers 13.2 hectares and is one of the City's larger parks and as such it contains ample space to accommodate formal sports, informal sports and passive recreation.

- Q2 *Our State MP has previously stated that other sites (Gascoyne Park and Timberlane Park located in Woodvale) have already been rejected due to a number of limitations including close proximity to residents, requirement to remove trees, and lack of passive surveillance into the park.*

All these factors are applicable to Chichester Park, can the City please explain the reasons why Chichester Park has been selected as a potential location for a skate park and pump track?

- A2 The provision of outdoor youth recreation facilities is guided by the City's *Outdoor Youth Recreation Strategy* which outlines a strategic approach to meeting demonstrated community need through establishing a facilities framework and identifying key implementation actions for the provision, scale and location of outdoor youth facilities across the City of Joondalup.

One of the infrastructure gaps identified by the strategy is the provision of locally accessible, multi-purpose incidental facilities across the entirety of the City, targeted to entry level and social participation in all recreation styles, that enable fun, fitness and social interaction.

The provision of an incidental-scale skate facility in the suburb of Woodvale would therefore align with the needs analysis of the City's *Outdoor Youth Recreation Strategy*.

As noted in A1 above, the City of Joondalup's *Public Open Space Framework* classifies public open space according to primary function and manner of use to identify appropriate infrastructure for each type of public open space.

Classified as a District Sports Park under the Framework, Chichester Park is the largest park in Woodvale and its function is to support both structured and unstructured activities within its 13.2 hectares. Chichester Park also already contains necessary supporting infrastructure such as parking and toilets.

Although Timberlane Park is also classified as a District Sports Park, it does not have sufficient space outside of the sports playing surfaces to include any additional facilities such as those being considered as part of the Chichester Park Skate & Play Facilities project.

Gascoyne Park is classified as a Neighbourhood Recreation Park. Although under this classification, incidental skate/BMX facilities can be considered as optional infrastructure, this needs to be considered taking into account other existing supporting infrastructure (such as toilets and formalised parking), which are not present at Gascoyne Park.

Q3 *A key issue is the proximity of a skate park/pump track to residential housing which can lead to potential negative impacts, such as noise disturbances, increased traffic, and anti-social behaviour.*

Is the City looking at other more suitable sites, located away from residential housing, and if not, why not?

A3 As detailed in A2 above, Chichester Park is the most suitable site within the suburb of Woodvale, as there is sufficient space and existing supporting infrastructure.

Q4 *Could the City please explain why the suburb of Woodvale has been chosen for a skate park/pump track over other suburbs, where there is a higher percentage of youth and a greater lack of facilities, compared to Woodvale?*

A4 The provision of outdoor youth recreation facilities is guided by the City's *Outdoor Youth Recreation Strategy* which outlines a strategic approach to meeting demonstrated community need through establishing a facilities framework and identifying key implementation actions for the provision, scale and location of outdoor youth facilities across the City of Joondalup.

One of the infrastructure gaps identified by the strategy is the provision of locally accessible, multi-purpose incidental facilities across the entirety of the City, targeted to entry level and social participation in all recreation styles, that enable fun, fitness and social interaction.

The provision of an incidental-scale skate facility in the suburb of Woodvale therefore aligns with the needs analysis of the City's *Outdoor Youth Recreation Strategy*.

An analysis of the age groups in Woodvale based on the most recent Census data shows that there is a similar proportion of people in the age groups 0-17 years compared to the City of Joondalup generally.

Q5 *Why has there been no formal communication from the City to residents on Chichester Drive and Landor Gardens, who will be most affected by a skate park/pump track installation within Chichester Park, and why has community consultation been delayed?*

A5 Community consultation on this project has been delayed due to the unavailability of appropriately qualified and experienced consultants to undertake a concept design to inform consultation.

L Hodgson, Woodvale:

Re: *Chichester Park, Woodvale – Skate Facility.*

Q1 *As an older resident who has walked her dogs in Chichester Park for 28 years, I am concerned that the park is no longer a recreational green space for all ages to use and enjoy but is becoming a sporting complex, and now there is talk of a “youth precinct”, which will further impact on the remaining space left for walkers.*

Has the Council considered that the addition of a skate park and pump track in Chichester Park may further deter older residents from utilising the park, leading to social exclusion, and if so, how will this be addressed?

A1 At its meeting held on 13 December 2022 (CJ209-12/22 refers), Council adopted the *City of Joondalup Public Open Space Framework* which guides the allocation of infrastructure assets across the different types of public open space within the City. The aim of the Framework is to achieve transparent and accountable decision-making, underpinned by the principles of equity and consistency.

Chichester Park is classified as a District Sports Park under this Framework with its primary function to support structured, organised sports activities, such as team competitions, physical skill development and training (for example football, soccer, bowls etc). The secondary function of sporting parks is the support of unstructured sports activities which cater for all ages such as frisbee golf, basketball and netball shooting pads, tennis hit-up walls, skate facilities, BMX facilities and the like.

The Chichester Park Skate & Play Facilities project will also include universal access footpaths, benches, barbecue, drink fountain (with dog bowl) and picnic settings which can be used by all ages and support passive recreation pursuits.

Chichester Park covers 13.2 hectares and is one of the City’s larger parks and as such it contains ample space to accommodate formal sports, informal sports and passive recreation.

Q2 *Could the City explain the rationale behind a skate park and pump track within a suburban setting, effectively right on the doorstep of residents and rate payers, and what consideration has been given to those neighbours who live directly opposite and who will be negatively impacted the most by noise that is repetitive in nature (such as skateboards hitting the ground), creating a similar situation as Braden Park in Marmion?*

A2 Refer A1 above.

Q3 *If a decision is made to install a skate park and pump track in Woodvale's Chichester Park, what safety measures will be implemented to ensure the well-being of all park users and local residents and minimise the risk of accidents and injuries, or damage to facilities, and the greenspace?*

A3 The design of the incidental skate facility and pump track will be undertaken in compliance with the appropriate Australian standards.

Q4 *Anti-social behaviour is on the rise in Woodvale (and within Chichester Park), such as bullying, drug-use, verbal abuse, something that I have experienced firsthand within the park in recent days. I believe that the existing pump track in Kingsley has many reports of anti-social behaviour, with the Police called out regularly to attend.*

If a skate park/pump track is installed in Woodvale at Chichester Park, what measures is the City putting in place to mitigate anti-social behaviour and to keep residents safe?

A4 In terms of general safety of park users, the greater the activation of a park (that is, the more users), the higher the level of passive surveillance which minimises the potential for anti-social behaviour.

The City does not have any jurisdiction to deal with concerns about illegal behaviour. Should residents observe any anti-social or criminal activity occurring these matters should be reported to the Police immediately.

B Saunders, Woodvale:

Re: *Item 13.5 - Proposed Amendment to Local Planning Scheme No.3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.*

Q1 *Turtles are found in the swamps and lake system within the Yellagonga Regional Park (YRP) wetland areas and considered significantly under threat. The environmental assessment undertaken on behalf of the developer does not specifically mention or take into account turtle breeding within the Urban portion of the site and rates this section of the site as "Highly Degraded Fauna Habitat".*

Will the City undertake an independent assessment of turtle breeding within the overall site before considering the application in full?

A1 Under the *Planning and Development Act 2005*, should Council initiate the proposed scheme amendment for the purposes of consultation, the proposal, including the proponent's environmental assessment report is required to be referred to the Environmental Protection Authority (EPA) for review.

In the event the EPA requires additional information, the proponent will be required to provide that information for further review by the EPA. Alternately, in the instance that the EPA is satisfied with the proposal and the information provided, no further assessments will be required to enable the scheme amendment to proceed to consultation.

Q2 *The Report states under section 4.10 that “there are no Aboriginal Heritage sites or sites of other heritage values on the site. Heritage, therefore is not an impediment to development”.*

Given the recent changes to the Heritage Act, will the City require the developer to undertake discussions with and obtain approval for the proposed development from local Noongar representatives before considering the application in full?

A2 Under the *Aboriginal Cultural Heritage Act 2021*, there is no requirement for engagement or approvals as part of the scheme amendment process. However, in the event the rezoning proposal is approved by the Minister for Planning, future subdivision of the site will require the proponent to prepare an Aboriginal Cultural Heritage Management Plan to be negotiated with the relevant Aboriginal parties as a tier 3 activity.

Q3 *In relation to section 3.9.3 of the Report, it is universally accepted that trees such as Marri and Tuart only become suitable as breeding habitat for Black Cockatoos when reaching 200 to 300 years of age. The trees on the Urban portion of the proposed development are considered to be 100+ years of age and therefore it is totally unreasonable for the City to infer they are not suitable for such activity in the future.*

Will the City undertake an independent assessment of the future nesting potential of the trees and the current foraging and roosting use of the trees, before considering the application in full?

A3 See response to Q1.

Q4 *There are confirmed, regular, sightings of red-tailed Cockatoos foraging in Duffy Terrace and less than 500 metres from the proposed development site and the confirmed nesting of Carnaby cockatoos in a section of Yellagonga Regional Park, less than 1 kilometre from the proposed development site. These sightings indicate a higher use of the area by cockatoos than the report indicates.*

Will the City take these factors into account when considering the proposed development?

A4 See response to Q1.

Q5 *In relation to section 3.6 – Fauna of the Report, given the park and surrounding areas are known for the prevalence of native varieties of orchids and given the assessment was undertaken on behalf of the developer towards the end of the Spring 2022 period, will the City require a full fauna assessment of the site to be undertaken during a full Spring period before considering the application in full?*

A5 See response to Q1.

D Kelly, Warwick:

Re: Commonwealth of Australia Constitution 1900 (UK).

Q1 Can the City advise what is the mode of altering the Commonwealth of Australia Constitution 1900 (UK) that would lawfully validate the City of Joondalup [ABN 64245472416] within the Commonwealth of Australia?

A1 To change the Constitution requires a majority vote of the electors of the Commonwealth, and of the electors in a majority of the States, at a referendum. A proposal to alter the Constitution may originate in either House of the Parliament by means of a bill. In most cases, the bill must be passed by an absolute majority of each House but, in certain circumstances, it need only be passed by an absolute majority of one House.

Further information about the process for altering the Constitution can be found on the Parliament of Australia website.

[Constitution alteration – Parliament of Australia \(aph.gov.au\)](https://aph.gov.au)

The City is established by an act of Western Australian State Parliament, under the *Local Government Act 1995 (WA)*.

Q2 If the City of Joondalup [ABN 64245472416] is not recognised at law pursuant to section 128 of the Commonwealth of Australia Constitution Act 1900 UK (Imp). Then isn't every occupant of every office within the City of Joondalup Council, impersonating a Public Officer and is therefore privately liable for criminal prosecution pursuant section 87 of the Crimes Act 1914, impersonating a Public Officer?

*A2 The City is established by an act of Western Australian State Parliament, under the *Local Government Act 1995 (WA)*. City Officers are employed by the Chief Executive Officer who is responsible for the management, supervision, direction and dismissal of employees of the City in accordance with s5.41 of the *Local Government Act 1995*. Councillors are elected to the City of Joondalup Council in accordance with Part 2, Division 3 of the *Local Government act 1995*. It is not considered that any City Officer or Councillor is impersonating a Public Officer.*

Re: Referendum to recognise Local Government as third tier of Government.

Q3 Can the City please provide the referendum result in which 'We the people' of the Commonwealth voted to recognise a third tier of Government, being local Council therefore lawfully validating the creation of the City of Joondalup?

A3 There have been two referendums referencing local government.

On 18 May 1974 a referendum was held to give the Commonwealth powers to borrow money for, and to make financial assistance grants directly to, any local government body. Two new sections were sought to be added to the Constitution to allow the Commonwealth to make direct financial grants to local governments, and to create a new legislative head of power to borrow money for local governments. 46.85% of voters supported the proposal. The proposal was not carried.

On 2 September 1988 there was a referendum to recognise local government in the Constitution. 33.61% of voters supported the proposal. The proposal was not carried.

Re: *Public Governance, Performance and Accountability Act 2013.*

Q4 *Pursuant to Section 11 of the Public Governance, Performance and Accountability Act 2013, is the City of Joondalup [ABN 64 245 472 416] considered to be operating in the Corporate Commonwealth or the non-corporate Commonwealth jurisdiction?*

A4 The *Public Governance, Performance and Accountability Act 2013 (Cth)* is Commonwealth legislation, the objects of which are (amongst other things) to establish a system of governance and accountability across Commonwealth entities, a performance framework for Commonwealth entities and to set governance, performance and accountability standards for Commonwealth entities.

The City of Joondalup does not fall within the definition of a Commonwealth entity as set out at section 10 and is therefore not a Commonwealth entity.

The City is not governed by the *Public Governance, Performance and Accountability Act 2013 (Cth)* and sits outside the remit of this Commonwealth legislation.

The City is established by an act of Western Australian State Parliament, under the *Local Government Act 1995 (WA)*.

M Dickie, Hillarys:

Re: *Item 13.1 - Local Planning Strategy – Housing Issues and Proposed Phase 2 Actions.*

Q1 *I refer to Item 13.1 in relation to the Local Planning Strategy and my previous question in April 2022 (CJ047-04/22): Now that Phase 1 is completed, can the City compare the budget for this “full review” with the half million dollars spent on consultancy for the discarded Housing Opportunity Areas process?*

A1 The review of the City's Local Planning Strategy is being undertaken in a staged approach, over five phases. The scope for each phase and its associated, estimated costs are being informed by the outcomes of the previous phase. The estimated costs will take into account the technical investigations that can be undertaken inhouse by the City, and those which will need to be outsourced to a consultant.

The costs for Phase 1 were \$153,280. An amount of \$150,000 has been included in the 2023/24 budget for anticipated costs associated with Phases 2 and 3. As recommended to Council, the majority of Phase 2 is proposed to be undertaken inhouse with the only component on Phase 2 requiring outsourcing to an external consultant being the review of the City's Local Commercial Strategy against the requirements of the newly gazetted *State Planning Policy 4.2 Activity Centres*. Subject to Council's endorsement of the Phase 2 scope, a request for quotation will be released, following which, more certainty will be known regarding costs associated with Phase 2.

The City anticipates costs associated with Phase 4 to be minimal given that this phase relates to development of the strategy - which is currently anticipated to be undertaken inhouse. Phase 5 relates to the statutory approval process which will involve public consultation. It is estimated these costs could be in the vicinity of \$5,000 to \$10,000 depending on the nature of consultation that occurs. Further clarification on these costs will be provided when the outcomes of Phase 4 and scope of Phase 5 are presented to Council for endorsement.

Q2 *Can the City now estimate the total budget for both consultant fees and inhouse staff input to arrive at a complete cost for the Local Planning Strategy study?*

A2 See response for question 1.

Q3 *Since Phase One was intended to be completed early this year, can the City confirm its estimate timelines, that Phases Two to Four will take 18 months and Phase Five a further 18 months?*

A3 The City anticipates that Phases 2 to 4 will take approximately 18 months. The City estimates Phase 5 may also take up to 18 months, noting some of the timeframes within this phase fall outside the City's control and therefore the actual timeframe may vary.

Q4 *Since a responsible business plan outlines its expenditures, can the City please break down these costs by year over the next 3-4 financial years?*

A4 The City has budgeted \$150,000 for technical studies and consultancy work associated with the review of the *Local Planning Strategy* in the 2023/24 financial year (relating to Phases 2 and 3). It is possible that not all of these monies will be spent during this time and may therefore be carried over to the 2024/25 financial year where it is estimated a further \$50,000 will be required (relating to Phases 3 and 4).

As outlined above, the City also anticipates the costs for Phase 5 to be in the vicinity of \$5,000 - \$10,000, noting that this phase relates to statutory approvals and costs will be limited to those associated with consultation activities required.

G Hodgkinson, Woodvale:

Re: *Chichester Park, Woodvale – Skate Facility.*

Q1 *Why has the administration instructed Common Ground Trails to include a pump (BMX) Track in the designs now?*

Q2 *Why is the administration going against the Council endorsement and on what authority is the administration changing the Council agreed position?*

A1 &2 At its meeting held on 16 February 2021 (CJ017-02/21 refers), Council adopted the City of Joondalup Outdoor Youth Recreation Strategy. This Strategy is a strategic document to inform the future provision and location of youth outdoor recreation facilities within the City of Joondalup.

The strategy includes a facilities framework and outlines a strategic approach to meeting community need through the provision of a network of complementary facilities across the City of Joondalup. The framework sets out a hierarchy of facility types, aligning the nature of facilities with the particular social, skills development, and competition functions of outdoor recreation.

Incidental facilities in the Strategy are defined as follows:

“Multi-purpose facilities that provide shared access to outdoor recreation and integrate with other community recreational activities within local and district parks. These local, multi-purpose facilities are suitable for skate, scooter, and BMX/bike users and can include elements supporting other physical social activity, such as informal outdoor basketball. Being multi-purpose, they function as an entry point to a variety of recreation types and support unstructured and social participation.”

At its meeting held on 13 December 2022 (CJ199-12/22), Council supported investigations to develop an incidental skate facility at Chichester Park, Woodvale. The budget, as adopted by Council at its meeting held on 27 June 2023 (CJ106-06/23 refers), aligns with the scope for an incidental facility as defined in the *City of Joondalup Outdoor Youth Recreation Strategy*.

The engagement of Common Ground to design the renewal and upgrade of the existing BMX track therefore aligns with Council’s decision.

Q3 *Why has the Council not undertaken any community consultation/social impact studies to date, to gauge if a skate park and pump track is wanted by local residents within Woodvale, before committing to spending our money, in design costs, and surveying?*

A3 Council, at its meeting held on 13 December 2022 (CJ199-12/22 refers), supported investigations to develop an incidental skate facility at Chichester Park, Woodvale. It is necessary for a concept design to be prepared to determine whether a skate facility could be constructed at Chichester Park prior to engaging with the community.

It is noted that community consultation on this project has been delayed due to the unavailability of appropriately qualified and experienced consultants to undertake concept design to inform consultation.

Q4 *If a decision is made to locate a skate park and pump track in Woodvale’s Chichester Park within close proximity to residential housing, what measures are the City of Joondalup putting in place to address noise abatement (including people playing loud music whilst skating), additional traffic congestion and parking issues, litter and vandalism, anti-social behaviour and public nuisance, and privacy concerns for residents?*

A4 The BMX/pump track at Chichester Park is an existing asset that will be renewed and upgraded as part of the Chichester Park Skate and Play Facilities project. The skate facility is new, however, both facilities are low-key in scale and have been designed specifically for primary-school aged children and beginners to the sport. The skate facility is located close to the existing playspace which will be replaced with a new one.

In addition, picnic facilities, barbecue, drink fountain (with dog bowl), benches and universal access paths are being proposed as part of the project. This will encourage a family-orientated use of the area and by activating the space, surveillance will be increased which decreases the potential for anti-social behaviour.

Q5 *Has the City of Joondalup conducted an environmental impact assessment for the skate park and pump track in Chichester Park, and what steps will be taken to mitigate potential environmental impacts on the greenspace and its ecosystem, as well as nearby residents, during construction and when operational?*

A5 An Environmental Impact Assessment is not required, nor is it common practice in any Local Government Area in a Public Open Space reserved for sports and recreation.

The City has had an arborist assessment of the trees undertaken and this has been used to inform the design. Environmental Impact Assessments are undertaken in natural bushland areas. It can be confirmed that Chichester Park has some small fenced natural areas and none of the facilities are being proposed within these areas. All facilities are being proposed in the area of the park designated for sport and recreation.

Dr T Green, Greenwood:

Re: *Item 13.3 – Proposed Amendment to Local Planning Scheme No. 3 – Additional Use ‘Grouped Dwelling’ to Lot 847 (5) Tuart Road, Greenwood – Consideration following Advertising.*

Q1 *How much land in the City's Strategic Local Planning Scheme No 3 is currently covered by the zone 'Private Community Purposes'?*

A1 Approximately 193 hectares.

Q2 *Can you estimate how much of this land is currently open space, free from buildings?*

A2 It would take a considerable amount of City officers' time to research and collate the requested information. The City does not have this information in an easily accessible format, and it would divert the local government's resources away from its other functions which the Council has endorsed as priority activities in the *Corporate Business Plan*.

Section 5.95 of the *Local Government Act 1995* provides that a person's right to inspect information referred to in section 5.94 does not extend to the inspection of information:

- (a) which is not current at the time of inspection; and
- (b) which, in the CEO's opinion, would divert a substantial and unreasonable portion of the local government's resources away from its other functions.

The CEO has determined that in accordance with s5.95 of the *Local Government Act 1995* the information will not be researched and collated.

Q3 *If the proposal to rezone the Tuart Place development in Greenwood is approved, under what Planning mechanism(s) would the Council be able to restrict what residential development took place on that site?*

A3 The proposal is not to re-zone the site, rather it is to allow the additional land use 'Grouped Dwelling' subject to conditions that limit the grouped dwelling use to dependent persons' dwellings, at a density of R20 and that the predominant land use of the site remains for private community purposes.

'Grouped Dwellings' require an application for development approval to be made to the City. The proposed development would be assessed against the abovementioned conditions to ensure the grouped dwelling development conditions are complied with. In addition, the proposal would be assessed against the provisions of both *State Planning Policy 7.3 - Residential Design Codes* and the City's *Residential Development Local Planning Policy*.

- Q4 *Given the community consultation overwhelmingly rejected this proposal, why is this proposed rezoning not an 'ad hoc' change to LPS 3?*
- A4 As outlined within the Council report, 27 submissions were received - of which 10 objected to the proposal. The report also outlines that there are a number of other 'Private Community Purpose' zoned sites where the land use 'Grouped Dwelling' is considered compatible with the existing land uses on the site and is therefore a discretionary land use. This proposal, along with the recommended conditions, is also considered compatible with both the site and the immediate locality.
- Q5 *How can Council support this amendment from a single private landowner, when it does not support Amendment 88 and 90 to LPS 2 - which both had far greater levels of community support?*
- A5 Each local planning scheme amendment is considered on its own merit. In this instance, the proposed additional land use is considered compatible with the surrounding area and the conditions attached to any grouped dwelling development provide a suitable mechanism to ensure development is appropriate in the context of the immediate locality.

M Kwok, Ocean Reef:

Re: Pesticide Use Notification Register.

- Q1 *How many people have registered for pesticide exclusion verge and to receive pesticide use notifications on 30 June 2023?*

A1 To date, the City has received the following registrations for the 2023-24 financial year:

Pesticide Use Exclusion Registrations: 78

Pesticide Use Notification Registrations: 125 (of which 55 are schools).

- Q2 *Is it a new policy to refer residents on pesticide use notifications to the pesticide use locations map and schedule instead?*

A2 No. Residents are advised the following:

"City residents wishing to be advised in advance of scheduled spraying activities occurring within 100 metres of their residence and/or up to five park or reserve locations can apply to be added to the City's Notification Register. Residents listed on the Pesticide Notification Register will receive notification at least 24 hours prior to spraying commencing. Further information on the Pesticide Use Notification Plan can also be found on the City's website <https://www.joondalup.wa.gov.au/wp-content/uploads/2017/12/COJ-Pesticide-Use-Notification-Plan.pdf>

A map and schedule of the following weeks scheduled spraying activities is provided on the City's website each Friday afternoon. Furthermore, residents and/or property owners wishing to exclude the verge immediately abutting their property/residence from chemical weed control can apply to be added to the City's Pesticide Exclusion Register. As long as the road reserve adjacent to your property is maintained weed free, the City will have no requirement to undertake weed control. Further information can be found on the City's website."

Q3 *A large percentage of registrants have dropped off the list that have not moved away. Why does the City refuse to leave residents on these registers by the end of June rather than giving them options to opt out?*

A3 The decision to be included on the City's Pesticide Use Notification Register is entirely at the individual's discretion.

The City's ability to notify residents on the Pesticide Use Notification Register depends heavily on the correct contact details to enable accurate and timely notifications. The annual re-registration process is the best way to ensure that the City obtains the most up to date contact details from registrants. It also provides the opportunity for registrants to consider if they want to continue to receive the notification or if they just want to go straight to the City's website to view the Pesticide Use Notification – Locations Map and Schedule.

Registrants are reminded to re-register via a 'City News' item on the City's website and social media posts. These notices also advertise the opportunity for residents to register that may not have been registered previously.

The City's position was confirmed by Council in consideration of a Motion raised at the Annual General Meeting of Council held on 7 March 2023 (CJ067-05/23 refers), where Council resolved as follows:

"12 in relation to Motion No. 12 carried at the Annual General Meeting of Electors:

12.1 NOTES that the success of the Pesticide Use Notification Register and Pesticide Exclusion Use Register is highly dependent on accurate contact details of registrants;

12.2 DOES NOT SUPPORT the motion to keep residents on the Pesticide Exclusion Register and Pesticide Use Notification Register without the need for annual re-registration;"

Re: *Pedestrian/Public Accessway (PAW) - Planting and Maintenance Register.*

Q4 *How many Pedestrian/Public Accessways (PAW)s are registered in the PAW Maintenance and Planting Register?*

A4 Two.

Q5 *Do residents / ratepayers need to re-apply annually to stay on the PAW Register?*

A5 Reapplication is required every two years.

J Grorud, Joondalup:

Re: Street Lighting and CCTV in Joondalup

Q1 In and around Candlewood Boulevard, Joondalup there are two sets of streetlights. This seems like a waste of rate payers' money. Why are these perfectly good streetlights being replaced?

A1 The original streetlights along this section of Blue Mountain Drive were owned and operated by Western Power and were no longer compliant with the current street lighting specifications. The City designed and installed the new street lighting in compliance with the required specifications. The City has asked Western Power to disconnect and remove the redundant streetlights.

Q2 What are the capabilities or functions of these new lights, whether the City plans to enable these functions of these streetlights or not?

A2 The LED lighting has smart lighting controllers, which can only monitor and control the lighting output.

Q3 Why are there so many security cameras around Joondalup invading our privacy and where are they manufactured?

A3 The City of Joondalup installs CCTV systems in high priority public areas in order to deter antisocial and criminal behaviour.

The primary function of the City's CCTV systems is to aid WA Police with its investigations, should it require footage for evidential purposes.

The cameras are manufactured in several countries including Sweden, Germany, Taiwan, Korea and Vietnam.

Q4 Is the removal of trees around streetlights to have a clear view for cameras? If not, why have they been removed?

A4 There have been no verge street trees removed around streetlights.

The following summarised questions were submitted verbally to the Council meeting:

R Repke, Kallaroo:

Re: Draft Coastal Hazard Risk Management and Adaptation Plan (CHRMAP).

Q1 In relation to the three groyne in Sorrento, I have looked at these groyne many times in detail due to the work with my friend's group and through my observations I have seen no affect that either the onshore wind nor the sea sediment had any effect on beach erosion, can the City remove these three groyne?

A1 The Manager Strategic and Organisational Development advised that the proposed adaptation options in the CHRMAP are based on hazard assessment, risk assessment and modelling, which has shown that these proposed actions will help reduce coastal hazards including erosion into the future, adding that ongoing coastal monitoring by consultants does show that the groynes are effective in reducing erosion in that area.

Q2 *Does the City agree that as the Ocean Reef Marina and the Hillarys Boat Harbour are at the present sea level, they both should be included in the City's plans as they have a strong influence on what the City should and should not do?*

A2 The Manager Strategic and Organisational Development responded that the Draft CHRMAP is based on the assets that the City manages and as Hillarys Boat Harbour is managed by the Department of Transport, it is not specifically included in terms of actions. However, Hillarys Boat Harbour and the Ocean Reef Marina have been taken into consideration in terms of adaptation pathways and recommendations.

R Millett, Beldon:

Re: Draft Coastal Hazard Risk Management and Adaptation Plan (CHRMAP).

Q1 *In relation to the CHRMAP community consultation process, the City has advised that when more than one response is received, duplicates are removed and counted as one response, do the stilted responses or submissions also record the number of people with the same response?*

A1 The Manager Strategic and Organisational Development advised that duplicate or additional responses are merged and counted as one response, adding that residents may put in a submission and then attend community information sessions, leading to further additional responses. Responses from the one resident are then combined and counted as one response. The Manager Strategic and Organisational Development stated the actual number of submissions does not affect outcomes, as all consultation outcomes are delivered as verbatim comments to Council and used to determine decision making on the project.

Q2 *What internationally recognised standards has the City used with regard to the current consultation concerning the CHRMAP?*

A2 The Manager Strategic and Organisational Development responded that the City complies with Council's *Community Consultation Policy*, as well as following various models to inform best practice.

J Richards, Kingsley:

Re: 13.5 - Proposed Amendment to Local Planning Scheme No. 3 – Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.

Q1 *In relation to the Woodvale development rezoning, has the developer made any commitment to retain as many mature trees on site as possible, and to revegetate and restore the land with native species, not lawn and exotic species?*

- A1 The Director Planning and Community Development advised that the developer has not outlined their intent for development of the site, as the current intent is to rezone the site to allow certain land uses, adding that the process will involve referral to the Federal government for assessment for the vegetation of the site to identify whether specific trees need to be retained. The Director Planning and Community Development advised through the subdivision process there will most likely be the condition for a Wetland Management Plan to be prepared and for the developer to outline their intent.
- Q2 *Will the developer be required to retain any water runoff and building waste from the development site, preventing any inflow of polluted water and nutrients to the adjacent wetland?*
- A2 The Director Planning and Community Development responded that management of runoff would be covered in a Wetland Management Plan, adding that outlining for runoff would either be treated or diverted from entering the wetland or wetland buffer. The Director Planning and Community Development advised that with respect to the development of private properties, there is a requirement that they contain their own runoff and storm water on their site.

A Arrah, Craigie:

Re: *LinkedIn.*

- Q1 *Can the City advise why there has been a technical director of the City of Joondalup viewing my LinkedIn since 12 May 2023?*
- A1 The Chief Executive Officer responded that he is not aware of the position title of "Technical Director" at the City of Joondalup, and that he is not in a position to respond to the question without more information being provided.

P Perez Navas-Parejo, Greenwood:

Re: *CCTV and Resident Movements.*

- Q1 *In relation to the questions I submitted prior to the Council Meeting, the City's response is based on the present tense, can the City inform me if the movements of residents of the City of Joondalup will be traced in the future?*
- A1 The Chief Executive Officer advised that the response provided indicates the present and expected continuing position of the City.
- Q2 *Does the City's response above also relate to my second written question regarding restricting or assisting other institutions' interests in the movements of residents?*
- A2 The Chief Executive Officer advised that the City's responses to both questions includes the expected continuing position of the City.

B Gould, Iluka:

Re: Draft Coastal Hazard Risk Management and Adaptation Plan (CHRMAP) Information Sessions.

Q1 Can the City advise why the information sessions for the draft CHRMAP were not recorded and made available for the benefit of the community, and can the City record future sessions?

A1 The Director Governance and Strategy responded that the sessions were not recorded as permission would be needed from all those in attendance, for privacy reasons.

Q2 Can the City of Joondalup please provide the ratepayers with more clarity when reporting on complaints relating to the Code of Conduct regulations, similar to the City of Wanneroo, such as giving detail as to what each division is and how many complaints are received and the cost to the City?

A2 The Director Governance and Strategy advised that the requirements of the City to report on complaints refers to complaints that are upheld, adding that there is no requirement to report a complaint that is unsubstantiated.

**5.1 EXTENSION OF PUBLIC QUESTION TIME
(Resolution No: CJ108-07/23)**

MOVED Cr Logan, SECONDED Cr Hamilton-Prime that Public Question Time be extended for a period of 10 minutes.

The Motion was Put and

CARRIED (12/0)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

M Kwok, Ocean Reef:

Re: Safety of Cyclists in Roundabouts.

Q1 How does the roundabout in Northshore Drive benefit cyclists?

A1 The Director Infrastructure Services responded that a roundabout reduces speed at that specific location and provides safe access to vehicles turning in and out of the road, therefore improving overall road safety which includes the area shared by cyclists.

Q2 Is the City aware that serious and fatal cyclist casualties are more likely to occur in roundabouts?

A2 The Director Infrastructure Services responded the information concerning cyclists' safety in roundabouts will need to be investigated and that the question would be taken on notice.

J Grorud, Joondalup:

Re: Removal of Trees along Shenton Avenue.

Q1 Can the City advise if the removal of the trees around street lights along Shenton Avenue is to have a clear view for cameras, if not why have they been removed?

A1 The Director Infrastructure Services responded that the trees were assessed in terms of health and long-term viability in that location and were replaced with trees that will thrive in the future.

H Chester, Kingsley:

Re: 13.5 - Proposed Amendment to Local Planning Scheme No. 3 – Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.

Q1 In relation to the Woodvale development, can the City consider the Friends of Yellagonga to be stakeholders in any Wetland Management Plan?

A1 The Director Planning and Community Development advised that any Wetland Management Plan would be required as a condition of the subdivision approval – the report would not necessarily be released for public consultation. The Director added that if Council do initiate the scheme amendment, there would be a public consultation process undertaken and the Friends of Yellagonga can make submissions and provide feedback during that process.

6 PUBLIC STATEMENT TIME

The following summarised statements were submitted verbally at the Council meeting:

M Rose, Sorrento:

Re: 12.10 - Petition – Sorrento Bowling Club – Installation of Self-service Club TAB.

Mr Michael Rose spoke in favour of the Officer's Recommendation to decline the petitioners request to install self-service club TAB machines. Mr Rose outlined the dangers of TAB machines, explaining that self-service club TAB machines would increase gambling addiction and cause extensive damage to families and communities.

R Pizzey, Woodvale:

Re: Reflections on the City of Joondalup's 25 Years as a City.

Ms Rebecca Pizzey addressed Council with some reflections in light of the City of Joondalup celebrating 25 years as a City. Ms Pizzey stated that the City of Joondalup is a fantastic place to live, adding that she loves the natural areas that the City has to offer as well as the communities and groups within the City of Joondalup that support one another.

Ms Pizzey thanked Councillors for voting for a \$10 rate reduction, but questioned the extent to which this will provide relief at a time when families and businesses are struggling.

Ms Pizzey questioned how far the \$10 will go with the increasing inflationary rental property market, increases in children's sporting fees and increased kindy room hire fees.

Cr Hamilton-Prime left the Chamber at 6.59pm.

M Dickie, Hillarys:

Re: 13.1 - Local Planning Strategy – Housing Issues and Proposed Phase 2 Actions.

Mr Martin Dickie spoke with regards to the Local Planning Strategy and questioned the lack of emphasis on orientation and the importance of exposure to sunlight as part of housing design.

Mr Dickie outlined the benefits of good climate design such as sunlight penetration in winter and a home that can open to cooling from summer breezes. Mr Dickie referred to *A Pattern Language*, by Christopher Alexander, in order to explain the way a building's orientation can maximise sunlight, thereby improving quality of life.

Cr Hamilton-Prime entered the Chamber at 7.01pm.

M O'Byrne, Kinross:

Re: 13.5 - Proposed Amendment to Local Planning Scheme No. 3 – lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.

Ms Mary O'Byrne raised concerns over two Council Agenda items, being the environmental impact of the development in Woodvale and the request by the Sorrento Bowling Club for a self-service club TAB.

Ms O'Byrne outlined that as the trees at the Woodvale site mature, they are likely to develop nesting holes for the endangered cockatoo species, adding that the developer could improve their environmental credentials by retaining the trees and sufficient space around them to protect them and serve the needs of the cockatoos. Ms O'Byrne stated that if the trees are removed, the developer should replace them with an environmental offset within the buffer zone.

Re: 12.10 - Petition – Sorrento Bowling Club – Installation Of Self-Service Club Tab.

Ms O'Byrne suggested that the Sorrento Bowling Club may seek a self-service club TAB again in future to both boost their membership and make up financial losses, emphasising that this would come at a cost to gamblers and their families. Ms O'Byrne urged Councillors to enact a local law that bans TAB outlets within the City and thanked officers for their diligence in the matter.

B Saunders, Woodvale:

Re: 13.5 - Proposed Amendment to Local Planning Scheme No. 3 – lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.

Mr Bryan Saunders addressed Council and questioned certain inaccuracies in the environmental assessment provided by the developer, especially around the value of the trees on the site at Timberlane Drive. Mr Saunders noted that the developer would likely demolish the trees and urged Council to request the developer to resubmit the environmental report to be more specific as to the future of the trees before Council makes a decision on rezoning.

J Richards, Kingsley:

Re: 13.5 - Proposed Amendment to Local Planning Scheme No. 3 – lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.

Ms Jan Richards, Volunteer Coordinator for the Friends of Yellagonga Regional Park, expressed concerns over the environmental assessment of the development site in Woodvale.

Ms Richards noted that the Eastern portion of the site is Bush Forever site 299, being Yellagonga Regional Park, and contains a portion of conservation category wetland.

Ms Richards explained that upon advice from Dr Mike Bamford, of Bamford Consulting Ecologists, it was noticed that the PGV Environmental Report is insufficient in that it fails to consider the reliance of black cockatoos on the mature trees. Ms Richards emphasised that assessing the area from a botanic viewpoint neglects considerations of habitat for fauna such as birds, invertebrates and reptiles.

Ms Richards expressed hope that Council will recognise the potential contamination of the wetland and loss of habitat for the iconic black cockatoo populations and utilise a Wetland Management Plan as recommended by PGV when considering any application for potential amendments.

B Hewitt, Edgewater:

Re: 12.10 - Petition – Sorrento Bowling Club – Installation of Self-service Club Tab.

Ms Beth Hewitt spoke in opposition to the Sorrento Bowling Club's request for a self-service club TAB, reflecting on the damaging effects of gambling addiction. Ms Hewitt summarised her personal exposure to gambling when growing up in New South Wales, where gambling was abundantly available and perceived as harmless fun.

Ms Hewitt questioned the cost of a self-service club TAB to individuals amongst the Sorrento Bowling Club's membership who may be fighting a gambling addiction. Ms Hewitt encouraged the City to not be involved in the potentially harmful installation of a TAB terminal, and to ban the TAB terminals in every City premises.

The Manager Strategic and Organisational Development left the Chamber at 7.12pm.

7 APOLOGIES AND LEAVE OF ABSENCE

7.1 LEAVE OF ABSENCE PREVIOUSLY APPROVED

Mayor Albert Jacob, JP 3 July to 29 July 2023 inclusive.
Cr John Raftis 29 August to 2 September 2023 inclusive.

7.2 REQUEST FOR LEAVE OF ABSENCE – CR NIGE JONES (Resolution No: CJ109-07/23)

MOVED Cr Logan, **SECONDED** Cr Kingston that Council **APPROVES** the request for Leave of Absence from Council duties for Cr Nige Jones covering the period 19 to 24 August 2023 inclusive.

The Motion was Put and **CARRIED (12/0)**

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

8 CONFIRMATION OF MINUTES

8.1 MINUTES OF THE ORDINARY COUNCIL MEETING HELD ON 27 JUNE 2023 (Resolution No: CJ110-07/23)

MOVED Cr Logan, **SECONDED** Cr Jones that the Minutes of the Ordinary meeting of Council held on 27 June 2023 be **CONFIRMED** as a true and correct record:

The Motion was Put and **CARRIED (12/0)**

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

9 ANNOUNCEMENTS BY THE PRESIDING MEMBER WITHOUT DISCUSSION

Walk of Fame

Deputy Mayor Logan announced that one of the country's most celebrated weightlifters and two prominent First Nations leaders and are the newest members of the City of Joondalup's Walk of Fame.

Deputy Mayor Logan said Salvatore 'Sam' Castiglione, Dr Rishelle Hume and Sharon Wood-Kenney have had their names immortalised on bronzed-plated pavers that can now be found along Joondalup's Central Walk.

Deputy Mayor Logan said the latest induction intake coincided with Joondalup's 25th anniversary on 1 July – a fitting time to honour and thank community champions who have contributed towards Joondalup's success over the past 25 years.

Deputy Mayor Logan said there is more information about the Walk of Fame on the City's website.

2023 FIFA Women's World Cup

Deputy Mayor Logan said the City wishes the Haiti team all the best for its remaining World Cup games, against China and Denmark.

Deputy Mayor Logan said Haiti, competing in its first World Cup, has been using Duncraig's Percy Doyle Reserve as a training venue in the lead-up to its group matches.

Deputy Mayor Logan said of the biggest sporting events in 2023, this global football tournament kicked off last week with all matches to be played in Australia and New Zealand.

Deputy Mayor Logan said most of us are daring to dream Australia will be crowned World Cup Champions at the conclusion of this month-long event and many of us will adopt Haiti as our second team.

NAIDOC Celebrations

Deputy Mayor Logan said the City's month-long NAIDOC celebrations, which have been popular, conclude on Saturday with a sold-out Dreamtime and Discovery session at Craigie Leisure Centre.

Deputy Mayor Logan said Saturday is the last day you can view the 2023 NAIDOC Exhibition at Joondalup Library.

Deputy Mayor Logan said "For Our Elders," the theme of NAIDOC 2023, features a selection of artworks by First Nations artists from across Western Australia and is made up of treasured artworks from the City of Joondalup art collection.

10 IDENTIFICATION OF MATTERS FOR WHICH THE MEETING MAY BE CLOSED TO THE PUBLIC

Nil.

11 PETITIONS

Nil.

12 REPORTS

12.1 DEVELOPMENT AND SUBDIVISION APPLICATION MONTHLY REPORT

WARD	All
RESPONSIBLE DIRECTOR	Mr Chris Leigh Director Planning and Community Development
FILE NUMBER	07032, 101515
AUTHORITY / DISCRETION	Information – includes items provided to Council for information purposes only that do not require a decision of Council (that is for 'noting').

PURPOSE

For Council to note the number and nature of applications considered under delegated authority during May 2023.

EXECUTIVE SUMMARY

Schedule 2 (deemed provisions for local planning schemes) of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) provide for Council to delegate powers under a local planning scheme to the Chief Executive Officer (CEO), who in turn has delegated them to employees of the City.

The purpose of delegating certain powers to the CEO and officers is to facilitate the timely processing of development and subdivision applications. The framework for the delegations of those powers is set out in resolutions by Council and is reviewed annually, or as required.

This report identifies the development applications determined by the administration under delegated authority powers during May 2023 (Attachment 1 refers), as well as the subdivision application referrals processed by the City during May 2023 (Attachment 2 refers).

BACKGROUND

Clause 82 of schedule 2 (deemed provisions for local planning schemes) of the Regulations enables Council to delegate powers under a local planning scheme to the CEO, and for the CEO to then delegate powers to individual employees.

At its meeting held on 27 June 2023 (CJ096-06/23 refers) Council considered and adopted the most recent Town Planning Delegations.

DETAILS

Subdivision referrals

The number of subdivision and strata subdivision referrals processed under delegated authority during May 2023 is shown in the table below:

Type of subdivision referral	Number of referrals	Potential additional new lots
Subdivision applications	5	29
Strata subdivision applications	11	18
TOTAL	16	47

Of the subdivision referrals, 10 were to subdivide in housing opportunity areas, with the potential for 10 additional lots.

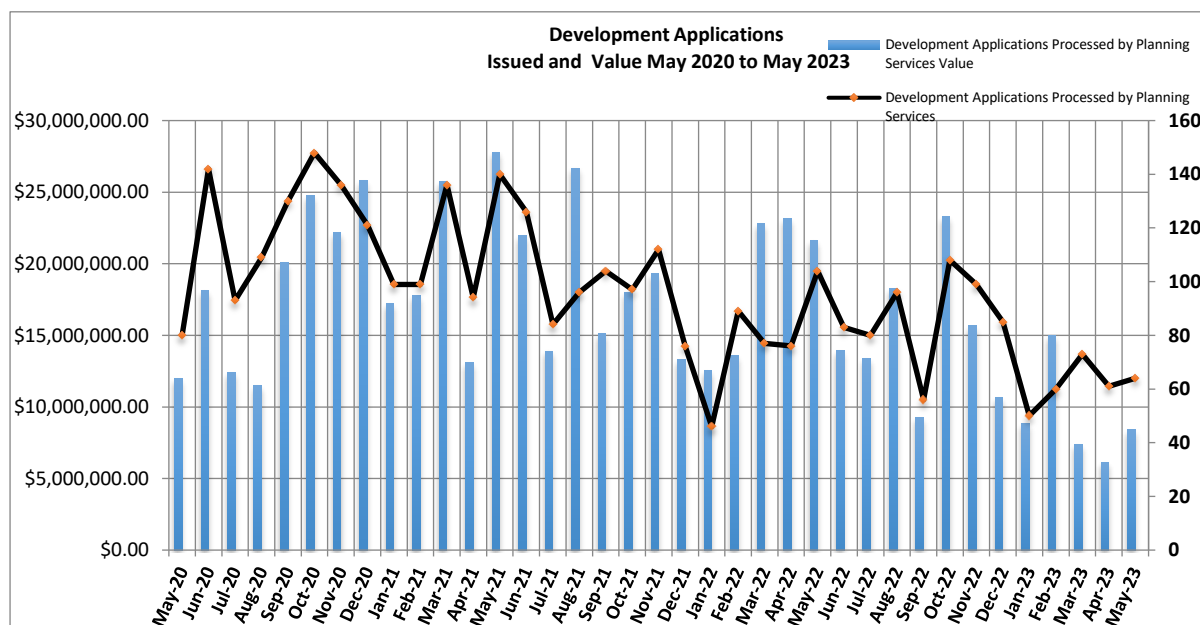
Development applications

The number of development applications determined under delegated authority during May 2023 is shown in the table below:

	Number	Value (\$)
Development applications processed by Planning Services	64	\$8,439,385.00

Of the 64 development applications, five were for new dwelling developments in housing opportunity areas, proposing a total of six additional dwellings.

The total number and value of development applications determined between May 2020 and May 2023 is illustrated in the graph below:



The number of development applications received during May 2023 was 115.

The number of development applications current at the end of May was 196. Of these, 10 were pending further information from applicants and five were being advertised for public comment.

In addition to the above, 226 building permits were issued during the month of May with an estimated construction value of \$33,625,151.08.

Issues and options considered

Not applicable.

Legislation / Strategic Community Plan / Policy implications

Legislation *City of Joondalup Local Planning Scheme No. 3.
Planning and Development (Local Planning Schemes) Regulations 2015.*

10-Year Strategic Community Plan

Key theme Place.

Outcome Well-planned and adaptable - you enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.

Policy Not applicable. All decisions made under delegated authority have due regard to any of the City's policies that may apply to the particular development

Clause 82 of schedule 2 of the Regulations permits the local government to delegate to a committee or to the local government CEO the exercise of any of the local government's powers or the discharge of any of the local government's duties. Development applications were determined in accordance with the delegations made under Clause 82 of schedule 2 of the Regulations.

All subdivision applications were assessed in accordance with relevant legislation and policies, and a recommendation made on the applications to the Western Australian Planning Commission.

Risk management considerations

The delegation process includes detailed practices on reporting, checking and cross checking, supported by peer review in an effort to ensure decisions taken are lawful, proper and consistent.

Financial / budget implications

A total of 64 development applications were determined for the month of May with a total amount of \$30,963.08 received as application fees.

All figures quoted in this report are exclusive of GST.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Consultation may be required by the provisions of the R-Codes, any relevant policy and/or LPS3 and the Regulations.

COMMENT

Large local governments utilise levels of delegated authority as a basic business requirement in relation to town planning functions. The process allows for timeliness and consistency in decision-making for rudimentary development control matters. The process also allows the elected members to focus on strategic business direction for the Council, rather than day-to-day operational and statutory responsibilities.

All proposals determined under delegated authority are assessed, checked, reported on and cross checked in accordance with relevant standards and codes.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION
(Resolution No: CJ111-07/23)

MOVED Cr Logan, **SECONDED** Cr Thompson that Council **NOTES** the determinations and recommendations made under delegated authority in relation to the:

- 1 **Development applications described in Attachment 1 to Report 12.1 during May 2023;**
- 2 **Subdivision applications described in Attachment 2 to Report 12.1 during May 2023.**

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Monthly Development Applications Determined – May 2023 [12.1.1 - 3 pages]
2. Monthly Subdivision Applications Processed – May 2023 [12.1.2 - 1 page]

12.2 EXECUTION OF DOCUMENTS

WARD	All
RESPONSIBLE DIRECTOR	Mr James Pearson Chief Executive Officer
FILE NUMBER	15876, 101515
AUTHORITY / DISCRETION	Information – includes items provided to Council for information purposes only that do not require a decision of Council (that is for 'noting').

PURPOSE

For Council to note the documents executed by means of affixing the Common Seal for 23 May 2023 to 20 June 2023.

EXECUTIVE SUMMARY

The City enters into various agreements by affixing the Common Seal. The *Local Government Act 1995* states that the City is a body corporate with perpetual succession and a Common Seal.

It is therefore recommended that Council NOTES the Signing and Common Seal Register for 23 May 2023 to 20 June 2023 as detailed in Attachment 1 to Report 12.2.

BACKGROUND

Documents that are to be executed by affixing the Common Seal or signed by the Mayor and the Chief Executive Officer are reported to Council for information on a regular basis. The last report to Council was made at its meeting held on 27 June 2023 (CJ090-06/23 refers).

DETAILS

From 23 May 2023 to 20 June 2023, three documents were Executed by affixing the Common Seal. A summary is provided below:

Type	Number
Establishment Agreement, Amendment Agreement	1
Section 70A Notification	1
Scheme Amendment No. 013 to Local Planning Scheme 3	1

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Government Act 1995.*

10-Year Strategic Community Plan

Key theme Leadership.

Outcome Capable and effective - you have an informed and capable Council backed by a highly-skilled workforce.

Policy Not applicable.

Risk management considerations

Not applicable.

Financial / budget implications

Not applicable.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Not applicable.

COMMENT

Not applicable.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ112-07/23)

MOVED Cr Logan, **SECONDED** Cr Thompson that Council **NOTES** the Signing and Common Seal Register for 23 May 2023 to 20 June 2023 as detailed in Attachment 1 to Report 12.2.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Signing and Common Seal Register - 23 May 2023 to 20 June 2023 [12.2.1 - 1 page]

12.3 MINUTES OF REGIONAL COUNCIL MEETINGS

WARD	All
RESPONSIBLE DIRECTOR	Mr Jamie Parry Director Governance and Strategy
FILE NUMBER	03149, 101515
AUTHORITY / DISCRETION	Information – includes items provided to Council for information purposes only that do not require a decision of Council (that is for 'noting').

PURPOSE

For Council to note the minutes of various bodies on which the City has current representation.

EXECUTIVE SUMMARY

The following minutes are provided:

- Minutes of the Mindarie Regional Council Ordinary Meeting of Council held on 1 June 2023.
- Minutes of the Mindarie Regional Council Special Meeting of Council held on 22 June 2023.

DETAILS

Mindarie Regional Council Meeting – 1 June 2023

An ordinary meeting of the Mindarie Regional Council was held on 1 June 2023.

At the time of this meeting Mayor Albert Jacob and Cr Christopher May were Council's representatives at the Mindarie Regional Council meeting.

The attached minutes detail those matters that were discussed at this external meeting that may be of interest to the City of Joondalup (Attachment 1 refers).

Special Mindarie Regional Council Meeting – 22 June 2023

A special meeting of the Mindarie Regional Council was held on 22 June 2023.

At the time of this meeting Mayor Albert Jacob and Cr Christopher May were Council's representatives at the Mindarie Regional Council meeting.

The attached minutes detail those matters that were discussed at this external meeting that may be of interest to the City of Joondalup (Attachment 2 refers).

Legislation / Strategic Community Plan / Policy implications

Legislation Not applicable.

10-Year Strategic Community Plan

Key theme Leadership.

Outcome Capable and effective - you have an informed and capable Council backed by a highly-skilled workforce.

Policy Not applicable.

Risk management considerations

Not applicable.

Financial / budget implications

Not applicable.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Not applicable.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ113-07/23)

MOVED Cr Logan, **SECONDED** Cr Thompson that Council **NOTES** the minutes of:

- 1** the meeting of the ordinary meeting of the Mindarie Regional Council held on 1 June 2023 forming Attachment 1 to Report 12.3;
- 2** the meeting of the special meeting of the Mindarie Regional Council held on 22 June 2023 forming Attachment 2 to Report 12.3.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Mindarie Regional Council - Ordinary Council Meeting - 1 June 2023 [12.3.1 - 19 pages]
2. Mindarie Regional Council - Special Council Meeting - 22 June 2023 [12.3.2 - 17 pages]

12.4 WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION 2023 ANNUAL GENERAL MEETING DELEGATES

WARD	All
RESPONSIBLE DIRECTOR	Mr Jamie Parry Director Governance and Strategy
FILE NUMBER	00033, 101515
AUTHORITY / DISCRETION	Executive - The substantial direction setting and oversight role of Council, such as adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.

PURPOSE

For Council to give consideration to nominating delegates for the 2023 Annual General Meeting of the Western Australian Local Government Association (WALGA) to be held on Monday 18 September 2023.

EXECUTIVE SUMMARY

The Annual General Meeting of WALGA will be held on Monday 18 September 2023 during the 2023 WA Local Government Convention.

All member local governments are entitled to be represented by two voting delegates at the Annual General Meeting, and delegates must register their attendance in advance. The deadline for the registration of voting delegates is Friday 8 September 2023.

It is therefore recommended that Council NOMINATES:

- 1 *Two voting delegates for the 2023 Annual General Meeting of the Western Australian Local Government Association to be held on Monday 18 September 2023;*
- 2 *Two proxy voting delegates for the 2023 Annual General Meeting of the Western Australian Local Government Association to be held on Monday 18 September 2023, in the event that Council's appointed representatives are unable to attend.*

BACKGROUND

The Western Australian Local Government Association (WALGA) is an independent, member based, not-for-profit organisation representing and supporting the WA Local Government sector.

WALGA was formed on 6 December 2001 to provide a representative and united voice for Local Government in Western Australia. Prior to this, a number of membership-based representative structures existed to represent Local Government.

WALGA holds an Annual General Meeting for its members every year for the purpose of promoting local government issues of importance across the sector.

DETAILS

The 2023 WALGA Annual General Meeting will be held from 2.00pm on Monday 18 September 2023 at Crown Perth. Attendance at the Annual General Meeting is free of charge to all Elected Members and staff from Member Local Governments, of which City of Joondalup is a member.

The full Notice of Meeting (including procedure information and criteria for submission of motions) is detailed in Attachment 1 to this Report.

In order to participate in voting on matters received at the Annual General Meeting, each member Council must register its voting delegates by Friday 8 September 2023. Pursuant to the WALGA constitution, all member Councils are entitled to be represented by two voting delegates. Voting delegates may be either elected members or serving officers. Proxy voting is available where the Council's appointed representatives are unable to attend.

The current City of Joondalup members of the WALGA North Metropolitan Zone are as follows:

Members	Deputy Members
Mayor Jacob	Cr Christopher May (First Deputy)
Cr Adrian Hill	Cr Christine Hamilton-Prime (Second Deputy)
Cr Russ Fishwick	
Cr Nige Jones	

Cr Russ Fishwick and Mayor Jacob are the City's delegate and deputy delegate respectively, to the WALGA State Council.

Issues and options considered

Not applicable.

Legislation / Strategic Community Plan / Policy implications

Legislation Not applicable.

10-Year Strategic Community Plan

Key theme Leadership.

Outcome Proactive and represented- you are confident that the City is advocating on your behalf for initiatives that benefit the community.

Policy Not applicable.

Risk management considerations

If the City of Joondalup does not submit its voting members, it will not be able to vote on the matters to be debated as part of the Annual General Meeting of WALGA.

Financial / budget implications

Not applicable.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Not applicable.

COMMENT

The North Metropolitan Zone Committee of WALGA, consisting of the Cities of Joondalup, Stirling and Wanneroo, is the main link the City has in considering matters relating to WALGA activities.

It is considered prudent to designate two voting delegates for the 2023 Annual General Meeting of WALGA to ensure the City is represented and is able to vote on matters affecting the City and the broader local government sector.

VOTING REQUIREMENTS

Simple Majority.

OFFICER'S RECOMMENDATION

That Council NOMINATES:

- 1 Two voting delegates for the 2023 Annual General Meeting of the Western Australian Local Government Association to be held on Monday 18 September 2023;
- 2 Two proxy voting delegates for the 2023 Annual General Meeting of the Western Australian Local Government Association to be held on Monday 18 September 2023, in the event that Council's appointed representatives are unable to attend.

COUNCIL RESOLUTION

(Resolution No: CJ114-07/23)

MOVED Cr Logan, SECONDED Cr Hamilton-Prime that Council NOMINATES Mayor Jacob and Cr Fishwick as the two voting delegates for the 2023 Annual General Meeting of the Western Australian Local Government Association to be held on Monday 18 September 2023.

The Motion was Put and

CARRIED (11/0)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Raftis and Thompson.

Vote not recorded: Cr Poliwka.

ATTACHMENTS

1. 2023 WALGA Notice of Annual General Meeting and Procedure Information [12.4.1 - 3 pages]

12.5 ELECTED MEMBER TRAINING AND DEVELOPMENT SCHEDULE 2022-23

WARD	All
RESPONSIBLE DIRECTOR	Mr Jamie Parry Director Governance and Strategy
FILE NUMBER	00427, 109290, 101515
AUTHORITY / DISCRETION	Information – includes items provided to Council for information purposes only that do not require a decision of Council (that is for 'noting').

PURPOSE

For Council to receive a report on the training and development undertaken by elected members during the 2022-23 financial year.

EXECUTIVE SUMMARY

Sections 5.126 and 5.127 of the *Local Government Act 1995* (the Act) requires that local governments must prepare a report for each financial year on the training completed by elected members in that financial year. The report must be placed on the City's website within one month after the end of the financial year in which the report relates.

This report highlights the training and development undertaken by elected members during the 2022-23 financial year, and details not only the mandatory training required under the Act, but also any conference and training events attended by elected members under the City's *Elected Members' Entitlements Policy*.

It is therefore recommended that Council:

- 1 *NOTES the training and development undertaken by elected members during the 2022-23 financial year, as detailed in Attachment 1 to Report 12.5;*
- 2 *NOTES the 2022-23 Elected Member Training and Development Schedule, as detailed in Attachment 1 to Report 12.5, will be placed on the City's website.*

BACKGROUND

On 16 September 2019, new provisions were introduced within the Act, requiring local governments to prepare a report for each financial year on the training completed by elected members in that financial year.

Sections 5.126 and 5.127 of the Act relate to elected member training and reporting, as follows:

“5.126 Training for council members

- (1) *Each council member must complete training in accordance with regulations.*
- (2) *Regulations may –*
 - a) *prescribe a course of training; and*
 - b) *prescribe the period within which training must be completed; and*
 - c) *prescribe circumstances in which a council member is exempt from the requirement in subsection (1); and*
 - d) *provide that contravention of subsection (1) is an offence and prescribe a fine not exceeding \$5000 for the offence.*

5.127 Report on training

- (1) *A local government must prepare a report for each financial year on the training completed by council members in the financial year.*
- (2) *The CEO must publish the report on the local government’s official website within 1 month after the end of the financial year to which the report relates.”.*

The *Local Government (Administration) Regulations 1996* prescribes the *Council Member Essentials* training as being the mandatory training (as per section 5.126(1) of the Act) that elected members must complete within their first 12 months of office. The *Council Member Essentials* training consists of the following modules:

- Understanding Local Government.
- Serving on Council.
- Meeting Procedures.
- Conflicts of Interest.
- Understanding Financial Reports and Budgets.

To enable elected members to develop and maintain skills and knowledge relevant to their role, the City also has an *Elected Members’ Entitlements Policy* that includes provisions around elected member attendance at conference and training events within Australia and overseas.

DETAILS

For the 2022-23 financial year, the mandatory training undertaken by respective elected members, and the training and development undertaken by elected members under the provisions of the City’s *Elected Members’ Entitlements Policy* is detailed in Attachment 1 to this Report.

Issues and options considered

Not applicable.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Government (Administration) Regulations 1996.
Local Government Act 1995.*

10-Year Strategic Community Plan

Key theme Leadership.

Outcome Capable and effective - you have an informed and capable Council backed by a highly-skilled workforce.

Policy *Elected Members' Entitlements Council Policy.*

Risk management considerations

Should Council not adopt the report on elected member training, the City will not comply with the requirements of section 5.127 the Act.

Financial / budget implications

The attendance of conferences and other training events for elected members is accommodated in the City's operational budget (an allocation of \$136,100 in the 2022-23 budget). The cost of elected member attendance to various conference and training events for the 2022-23 financial year (Attachment 1 refers) is summarised as follows:

Description	Amount \$ (incl. GST)
Mandatory Training	\$4,581.50
Interstate/Overseas Conferences	\$52,016.70
WA Training and Development Events	\$9,796.73
TOTAL	\$66,394.93

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Not applicable.

COMMENT

Local Government is a complex entity and makes significant decisions that affect the local government's continued sustainability and community outcomes. Like any board or management structure, it is imperative that elected members have the appropriate skills to be able to undertake their roles to the best of their ability. Such skills are enhanced through the training and development offered to elected members throughout their term of office.

The Minister for Local Government and the WA State Parliament recognise the need for elected members to undertake continual professional development in fulfilling their role of public office. The introduction of mandatory training requirements into the Act and the need for local governments to adopt a policy in relation to elected member continual professional development, support these views.

It should also be noted that the City's *Elected Members' Entitlements Council Policy* provides that elected members can undertake their own personal and professional development outside of the training and development offered by the City.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ115-07/23)

MOVED Cr Logan, **SECONDED** Cr Thompson that Council:

- 1** **NOTES** the training and development undertaken by elected members during the 2022-23 financial year, as detailed in Report 12.5;
- 2** **NOTES** the 2022-23 Elected Member Training and Development Schedule, as detailed in Attachment 1 to Report 12.5, will be placed on the City's website.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. 2022-23 Elected Member Training and Development Schedule [12.5.1 - 2 pages]

Disclosures of Interest affecting Impartiality

Name / Position	Cr Russ Fishwick.
Item No. / Subject	Item 12.6 - Corporate Sponsorship Application: Swimming WA Inc. Open Water Swim Series at Mullaloo and Sorrento.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	The events make a contribution to the Sorrento Surf Life Saving Club which Cr Fishwick is a Vice Patron. Cr Fishwick will be entering one of the swimming distance events.

Name / Position	Cr Christine Hamilton-Prime.
Item No. / Subject	Item 12.6 - Corporate Sponsorship Application: Swimming WA Inc. Open Water Swim Series at Mullaloo and Sorrento.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Councillor Hamilton-Prime is a Vice Patron at Sorrento Surf Life Saving Club and her husband is the club doctor.

12.6 CORPORATE SPONSORSHIP APPLICATION: SWIMMING WA INC. OPEN WATER SWIM SERIES AT MULLALOO AND SORRENTO

WARD	All
RESPONSIBLE DIRECTOR	Mr Jamie Parry Director Governance and Strategy
FILE NUMBER	110313, 101515
AUTHORITY / DISCRETION	Executive - The substantial direction setting and oversight role of Council, such as adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.

PURPOSE

For Council to consider the event sponsorship application received from Swimming WA Inc. for the Open Water Swimming Series Rounds 5 and 6 proposed to be hosted at Mullaloo on the 31 December 2023 and Sorrento on the 13 January 2024.

EXECUTIVE SUMMARY

The City's Corporate Sponsorship Program aims to attract, host or support a wide range of events, programs and activities that enhance the service delivery to the community and attract visitors to the region, while also providing positive exposure for the City's brand local and regionally.

The 2022-23 financial year saw the program open all year round (budget allowing) and supporting a wide range of events held in the region from sporting events, triathlons to dance competitions and more. The program is currently under review and will potentially move to two rounds per year for requests between \$10,000 + \$50,000 in the 2023-24 financial year.

The City has received a sponsorship application from Swimming WA Inc. for the Open Water Swimming Series Rounds 5 and 6 proposed to be hosted at Mullaloo on the 31 December 2023 and Sorrento on the 13 January 2024.

The Open Water Swim series is the premier open water swimming series in WA. The aim is to run the event at a range of WA's most attractive beach locations. It consists of nine rounds commencing from October 2023 through to March 2024.

The series comprises of swim distance from the 500 metres come and try, through to 5 kilometers events so there is something for everyone to try from novices and young swimmers right through to accomplished open water swimmers. Swimmers range in age from nine years old to 70 years across the events.

Both rounds proposed for the region will feature an elite competition component which attracts WA's best swimmers. Each round aims to attract between 550 – 650 swimmers, and between 2,600 – 3,200 spectators.

The sponsorship value requested is \$14,000 (excluding GST).

The application has been assessed and valued at \$10,000 (excluding GST).

The full amount requested has not been recommended as that level of sponsorship funding requires the City to receive more benefits in the area of attendance at the events as outlined in the attached master sponsorship assessment matrix. The recommended sponsorship is commensurate with the benefits available to the City.

It is to also be noted that the event is not a free event. Competitors are required to pay an event fee of between \$29 - \$89 dependent on membership status and the event distance.

It is therefore recommended that the Council AGREES to:

- 1 *APPROVE a sponsorship amount of \$10,000 (excluding GST) for the City to sponsor the Swimming WA Inc. for the Open Water Swimming Series Rounds hosted at Mullaloo and Sorrento subject to the organisation entering into a formal sponsorship agreement with the City of Joondalup.*

BACKGROUND

The City's corporate sponsorship program aims to achieve the following objectives:

- Attracting, hosting, or supporting a wide range of events, programs and activities that enhance the level of service delivery to the community and visitors to the region.
- Providing positive exposure for the City's brand locally and regionally.
- Providing support to local organisations/community groups.
- Stimulating economic development and providing benefits to local businesses.
- Increasing visitors to the region.
- Creating long-term value to the City and its residents by building sustainable partnerships or relationships.
- Ensuring that all agreements entered into provide an adequate return on investment by overseeing and managing the sponsorship, contributions and donations program, process, and outcomes.

All corporate sponsorship applications need to meet the following criteria:

- The applicant, event, program and/or activity must be aligned with the City's vision and corporate values.
- The event, program or activity must be consistent with the City's Sponsorship Program objectives.
- The audience for the event, program or activity should reach the City's target audiences of Community, Businesses and/or the community within the wider metropolitan area.
- Requests for sponsorship should be for an event, program or activity located within the City of Joondalup, which provides a significant return to the general and/or business community.
- Tangible benefits for the City, its residents and/or local businesses need to be associated and demonstrated with the event, program, or activity.
- The event, program or activity must provide positive exposure for the City and its brand.
- The event, program or activity should provide an opportunity to create long-term value to the City, residents and/or businesses.

The City has previously sponsored a single round at Mullaloo at various times over the past seven financial years, all for varying amounts from \$3,000 - \$7,000.

The 2019-20, 2021-22 and 2022-23 financial years saw two rounds being hosted in the region increasing the commitment from the City to \$10,000 for two rounds.

DETAILS

The Open Water Swim series is the premier open water swimming series in WA. The aim is to run the event at a range of WA's most attractive beach locations. It consists of nine rounds commencing from October 2023 through to March 2024.

The series comprises of swim distance from the 500 metres come and try, through to 5 kilometers events so there is something for everyone to try from novices and young swimmers right through to accomplished open water swimmers. Swimmers range in age from nine years old to 70 years across the events.

Both rounds proposed for the region will feature an elite competition component which attracts WA's best swimmers. Registrations commence at 6.00am with races starting at 7.30am and prize ceremonies concluding around midday.

Each round aims to attract between 550 – 650 swimmer entries, and between 2,600 – 3,200 spectators.

Competitors are required to pay an event fee of between \$29 - \$89 dependent on membership status and the event distance.

Sponsorship Benefits for the City

As a sponsor the City will receive the below outlined benefits:

Benefits to be provided to the City		City's Assessment Matrix Benefits Required	\$10,001 - \$15,000
Logo on promotional material – Naming rights partner	✓	Logo on promotional material	•
Merchandise distribution e.g. City merchandise in participant packs	-	Merchandise distribution e.g. City merchandise in participant packs	•
Opportunity to set up a promotional display	✓	Opportunity to set up a promotional display	•
Verbal acknowledgement throughout the event, program or activity	✓	Verbal acknowledgement throughout the event, program or activity	•
Signage displayed at the event, program or activity	(8)	Signage displayed at the event, program or activity	8
Logo and hyperlink on website	✓	Logo and hyperlink on website	•
Logo on local advertising	✓	Logo on local advertising	•
Opportunity for the City representative to present/speak	✓	Opportunity for the City representative to present/speak	•
Logo on event, program or activity signage	✓	Logo on event, program or activity signage	•
Recognition on media releases	✓	Recognition on media releases	•
Recognition and link on social media forums	✓	Recognition and link on social media forums	•
Logo on regional advertising	✓	Logo on regional advertising	•
Attendance	\$10,001 - \$15,000	Attendance	\$10,001 - \$15,000
Under 500		Under 500	
500 – 2,000		500 – 2,000	
2,001 – 5,000	✓	2,001 – 5,000	•
5,001 – 10,000		5,001 – 10,000	•
Over 10,000		Over 10,000	

Tourism Attraction, Economic Impact and Business Engagement

The event expects to attract entrants and attendees from outside the region with an anticipated breakdown of:

- 30% City Residents (1,140 – 1,320 people*)
- 49% Perth Metropolitan Area (1,862 – 2,156 people*)
- 20% Intrastate (760 – 880 people*)
- 1% Interstate (38 – 44 people*).

*Based on entrants and spectator estimates of 3,800 – 4,400 for both events.

Local contractors will be engaged for other infrastructure and services where possible. There is limited other business engagement related to this event.

The event will also engage with both the Mullaloo and Sorrento Surf Life Saving Clubs and swimming clubs to source volunteers for the event.

Other Funding Support

The Open Water Swim Series does not have an overarching funding partner at present. Sponsors are sought for each individual round.

The City will be the naming rights partner for the Mullaloo and Sorrento Rounds, with no other sponsorship in place for these events at present.

Sponsorship Agreement and Key Performance Indicators

Should the Council agree to progress with supporting sponsorship of the Open Water Swim Series rounds at Mullaloo and Sorrento, a sponsorship agreement will be developed between the City and Swimming WA Inc. outlining the roles, responsibilities, benefits, and key performance indicators, as per the City's standard sponsorship process.

Key Performance indicators will address all details outlined in the sponsorship benefits table detail previously with a focus on attendance numbers and branding benefits received by the City. Economic impact outcomes will be requested as part of the post event reporting, however it isn't a key measurement for this level of sponsorship as outlined in the attached master sponsorship assessment matrix.

The City's approach to sponsorship is to ensure a coordinated approach towards the development of agreements that aim to maximise benefits and create effective partnerships.

Sponsorship is a mutually beneficial commercial partnership involving financial or in-kind investments made in return for marketing and promotional benefits.

The proposal from Swimming WA Inc. meets these requirements as the City will receive a range of benefits in return for its financial contribution to the organisation.

Issues and options considered

The Council may choose to:

- Endorse the sponsorship of the Swimming WA Inc. Open Water Swim Series event for the full amount requested of \$14,000 (excluding GST). The benefits outlined in the application do not align with this value as detailed in the City's master sponsorship assessment matrix.
- Endorse the sponsorship of the Swimming WA Inc. Open Water Swim Series event for the reduced amount of \$10,000 (excluding GST). This option ensures that the proposed benefits are in line with City's master sponsorship assessment matrix and is the recommended option.
or
- Not endorse the event sponsorship application, which could potentially impact the viability and long-term sustainability of the two rounds of the series being hosted in the region.

Legislation / Strategic Community Plan / Policy implications

Legislation Not applicable.

10-Year Strategic Community Plan

Key theme Community.

Outcome Active and social - you enjoy quality local activities and programs for sport, learning and recreation.

Artistic and creative - you celebrate, support and participate in art and events in your local area.

Key theme Economy.

Outcome Appealing and welcoming - you welcome residents, and local and international visitors to the City.

Policy Not applicable.

Risk management considerations

Not applicable.

Financial / budget implications

All amounts quoted in this report are exclusive of GST.

Current financial year impact

Account no.	1.524.A5204.3293.0000.
Budget Item	Sponsorship
Budget amount	\$ 130,000
Amount spent to date	\$ 112,075
Proposed cost	\$ 10,000
Balance	\$ 17,925*

All amounts quoted in this report are exclusive of GST.

**This is based on this sponsorship application being endorsed for the recommended amount.*

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Not applicable.

COMMENT

The sponsorship proposal submitted is an opportunity for the City to provide financial support to Swimming WA Inc. to deliver the two rounds of the Open Water Swim Series in the region, in return for a range of marketing and promotional benefits.

If the sponsorship proposal was endorsed, the City would receive a range of benefits that showcase the City to visitors, provide a positive image of the City all while supporting a health and wellbeing initiative.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ116-07/23)

MOVED Cr Logan, SECONDED Cr Thompson that Council AGREES to APPROVE a sponsorship amount of \$10,000 (excluding GST) for the City to sponsor the Swimming WA Inc. for the Open Water Swimming Series Rounds hosted at Mullaloo and Sorrento subject to the organisation entering into a formal sponsorship agreement with the City of Joondalup.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Application - Swimming WA Open Water Swim Series 2023-2024 [**12.6.1** - 13 pages]
2. Master Sponsorship Assessment Matrix [**12.6.2** - 2 pages]

12.7 LIST OF PAYMENTS MADE DURING THE MONTH OF MAY 2023

WARD	All
RESPONSIBLE DIRECTOR	Mr Mat Humfrey Director Corporate Services
FILE NUMBER	09882, 101515
AUTHORITY / DISCRETION	Information – includes items provided to Council for information purposes only that do not require a decision of Council (that is for 'noting').

PURPOSE

For Council to note the list of accounts paid under the Chief Executive Officer's delegated authority during the month of May 2023.

EXECUTIVE SUMMARY

This report presents the list of payments made under delegated authority during the month of May 2023, totalling \$17,706,337.35.

It is therefore recommended that Council NOTES the Chief Executive Officer's list of accounts for May 2023 paid under delegated authority in accordance with Regulation 13(1) of the Local Government (Financial Management) Regulations 1996 forming Attachments 1, 2 and 3 to Report 12.7, totalling \$17,706,337.35.

BACKGROUND

Council has delegated, to the Chief Executive Officer, the exercise of its power to make payments from the City's Municipal and Trust funds. In accordance with Regulation 13 of the *Local Government (Financial Management) Regulations 1996* a list of accounts paid by the Chief Executive Officer is to be provided to Council, where such delegation is made.

DETAILS

The table below summarises the payments drawn on the funds during the month of May 2023. Lists detailing the payments made are appended as Attachments 1 and 2 to this Report.

The vouchers for the month are appended as Attachment 3 to this Report.

FUNDS	DETAILS	AMOUNT
Municipal Account	Municipal Cheques & EFT Payments 112806 – 112837 & EF111092 – EF111559 & EF111565 – EF111973	\$10,027,696.09
	Net of cancelled payments Vouchers 3526A – 3548A	\$7,661,965.36
	Bond Refund Cheques & EFT Payments EF111082 – EF111091 & EF111560 – EF111564 Net of cancelled payments.	\$16,675.90
Total		\$17,706,337.35

Issues and options considered

There are two options in relation to the list of payments.

Option 1

That Council declines to note the list of payments paid under delegated authority. The list is required to be reported to Council in accordance with Regulation 13(1) of the *Local Government (Financial Management) Regulations 1996*, and the payments listed have already been paid under the delegated authority. This option is not recommended.

Option 2

That Council notes the list of payments paid under delegated authority. This option is recommended.

Legislation / Strategic Community Plan / Policy implications

Legislation

Local Government (Financial Management) Regulations 1996.

The Council has delegated to the Chief Executive Officer the exercise of its authority to make payments from the Municipal and Trust Funds, therefore in accordance with Regulation 13(1) of the *Local Government (Financial Management) Regulations 1996*, a list of accounts paid by the Chief Executive Officer is prepared each month showing each account paid since the last list was prepared.

10-Year Strategic Community Plan

Key theme

Leadership.

Outcome

Responsible and financially sustainable - you are provided with a range of City services which are delivered in a financially responsible manner.

Policy

Not applicable.

Risk management considerations

Not applicable.

Financial / budget implications

All expenditure from the Municipal Fund was included in the Annual Budget as adopted or revised by Council.

Regional significance

Not applicable.

Sustainability implications

Expenditure has been incurred in accordance with budget parameters, which have been structured on financial viability and sustainability principles.

Consultation

Changes in the treatment of bonds received and repaid, from being held in the Trust Fund to now being reflected in the Municipal Fund, have arisen from a directive by the Office of the Auditor General.

COMMENT

All Municipal Fund expenditure included in the list of payments is incurred in accordance with the City of Joondalup *2022-23 Revised Budget* as adopted by Council at its meeting held on 28 February 2023 (CJ024-02/23 refers) or has been authorised in advance by the Mayor or by resolution of Council as applicable.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ117-07/23)

MOVED Cr Raftis, **SECONDED** Cr Poliwka that Council **NOTES** the Chief Executive Officer's list of accounts for May 2023 paid under Delegated Authority in accordance with Regulation 13(1) of the *Local Government (Financial Management) Regulations 1996* forming Attachments 1, 2 and 3 to Report 12.7, totaling \$17,706,337.35.

The Motion was Put and

CARRIED (11/1)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka and Thompson.

Against the Motion: Cr Raftis.

ATTACHMENTS

1. Chief Executive Officer's Delegate Municipal Payment List for the month of May 2023 [12.7.1 - 98 pages]
2. Chief Executive Officer's Delegated Municipal Payment List (Bond Refunds for the month of May 2023) [12.7.2 - 2 pages]
3. Municipal and Trust Fund Vouchers for the month of May 2023 [12.7.3 - 1 page]

12.8 FINANCIAL ACTIVITY STATEMENT FOR MAY 2023

WARD	All
RESPONSIBLE DIRECTOR	Mr Mat Humfrey Director Corporate Services
FILE NUMBER	07882, 101515
AUTHORITY / DISCRETION	Information – includes items provided to Council for information purposes only that do not require a decision of Council (that is for 'noting').

PURPOSE

For Council to note the Financial Activity Statement for the period ended 31 May 2023.

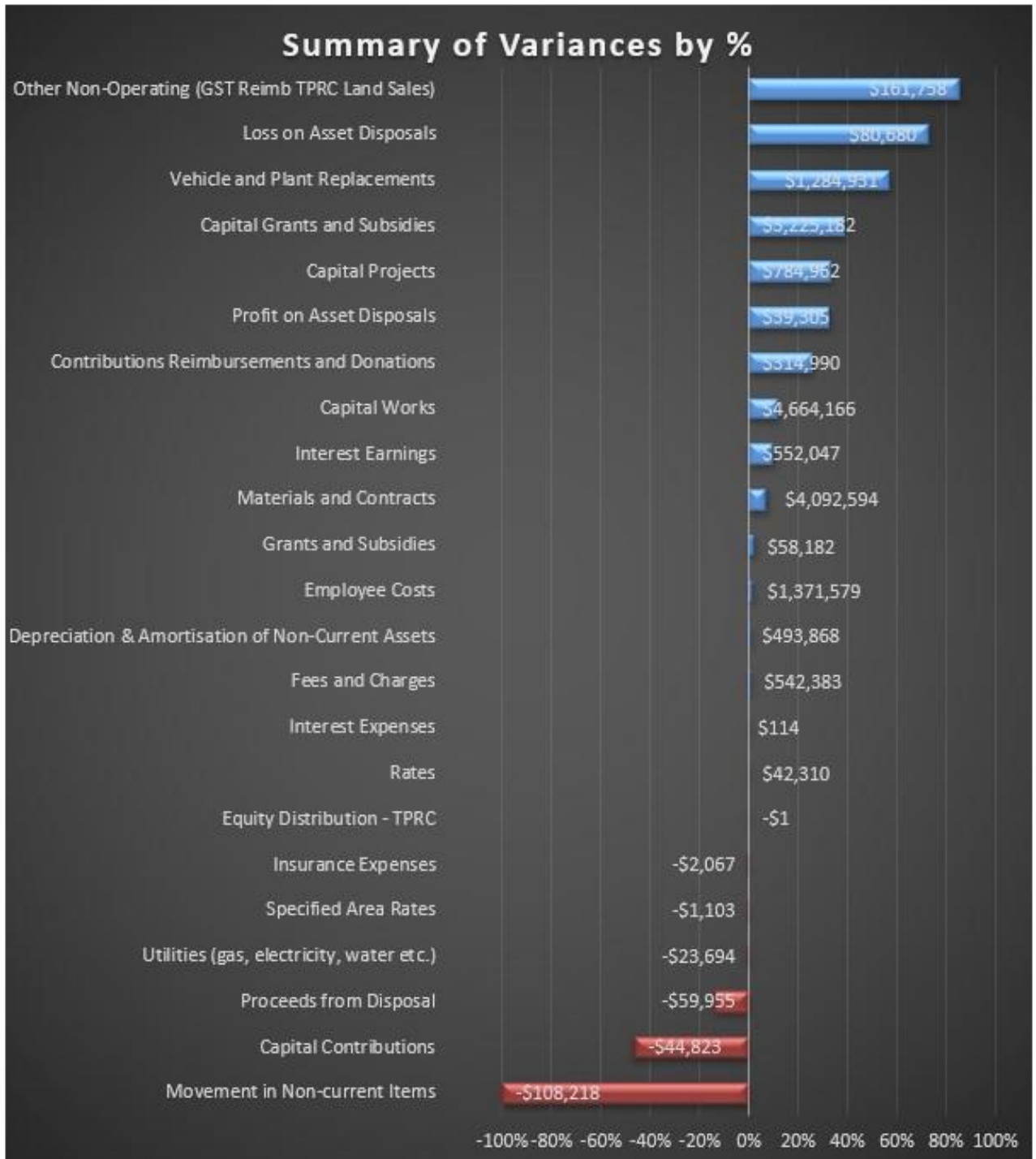
EXECUTIVE SUMMARY

At its meeting held on 28 June 2022 (CJ104-06/22 refers), Council adopted the 2022-23 Annual Budget. Budget. Council subsequently amended the budget at its meeting held on 16 August 2022 (CJ132-08/22 refers), 20 September 2022 (CJ158-009/22 and CJ161-09/22 refers), 18 October 2022 (CJ178-10/22 and CJ179-10/22 refers) and 13 December 2022 (CJ211-12/22 refers). Council subsequently revised the budget at its meeting held on 28 February 2023 (CJ024-02/23). The figures in this report are compared to the revised budget.

The May 2023 Financial Activity Statement Report shows an overall favourable variance of \$18,234,745 from operations and capital, after adjusting for non-cash items.

There are several factors influencing the favourable variance, but it is predominantly due to timing of revenue and expenditure compared to the budget estimate in May. The notes in Attachment 3 identify and provide commentary on the individual key material revenue and expenditure variances to date.

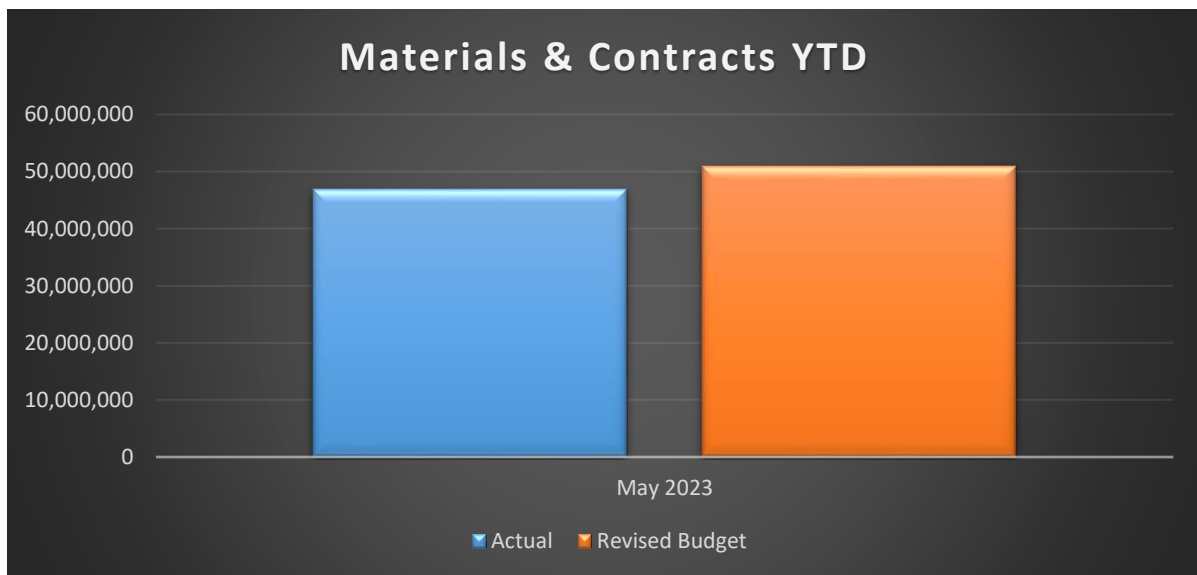
The key elements of the variance are summarised below:



The significant variances for May were:

Materials and Contracts

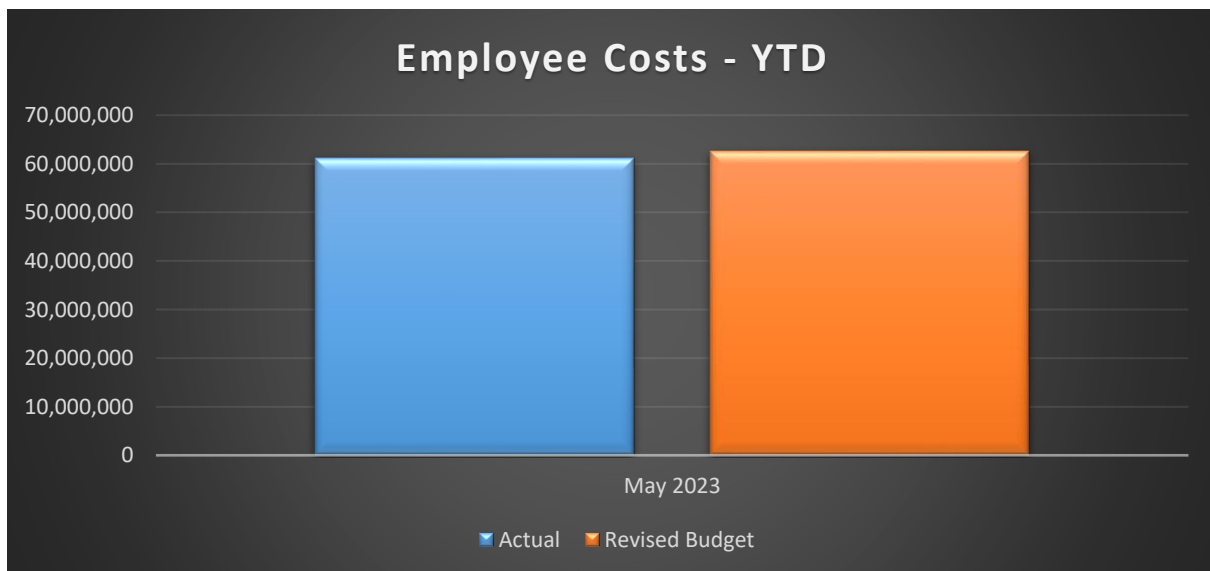
\$4,092,594



Materials and Contracts expenditure is \$4,092,594 below budget. This is spread across a number of different areas including External Service Expenses \$1,723,890, Professional Fees and Costs \$956,369, Contributions and Donations \$363,409, Public Relations, Advertising and Promotions \$290,432, Waste Management Services \$270,798 and Administration \$170,838.

Employee Costs

\$1,371,579



Employee Costs expenditure is \$1,371,579 below budget. Favourable variances predominantly arose from vacancies in various areas \$1,033,501 and other employment costs \$338,078.

BACKGROUND

The *Local Government (Financial Management) Regulations 1996* requires a monthly Financial Activity Statement. At its meeting held on 11 October 2005 (CJ211-10/05 refers), Council approved to accept the monthly Financial Activity Statement according to nature and type classification.

DETAILS

Issues and options considered

The Financial Activity Statement for the period ended 31 May 2023 is appended as Attachment 1.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Government (Financial Management) Regulations 1996.*
Local Government Act 1995.

10-Year Strategic Community Plan

Key theme Leadership.

Outcome Responsible and financially sustainable - you are provided with a range of City services which are delivered in a financially responsible manner.

Policy Not applicable.

Risk management considerations

In accordance with section 6.8 of the Local Government Act 1995, a local government is not to incur expenditure from its municipal funds for an additional purpose except where the expenditure is authorised in advance by an absolute majority of Council or by the mayor in an emergency.

Financial / budget implications

All amounts quoted in this report are exclusive of GST.

Regional significance

Not applicable.

Sustainability implications

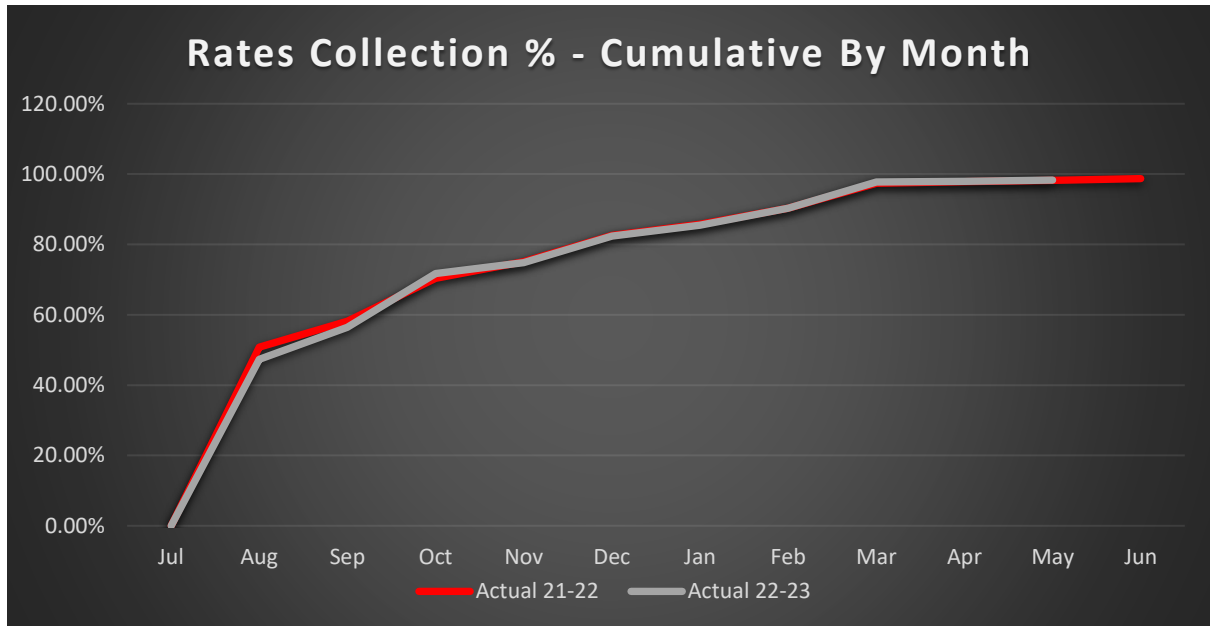
Expenditure has been incurred in accordance with revised budget parameters, which have been structured on financial viability and sustainability principles.

Consultation

In accordance with section 6.2 of the *Local Government Act 1995*, the Annual Budget was prepared having regard to the Strategic Financial Plan, prepared under Section 5.56 of the *Local Government Act 1995*. The Revised Budget was prepared, following the Mid Year Budget review, in accordance with Regulation 33A of the *Local Government (Financial Management) Regulations 1996*.

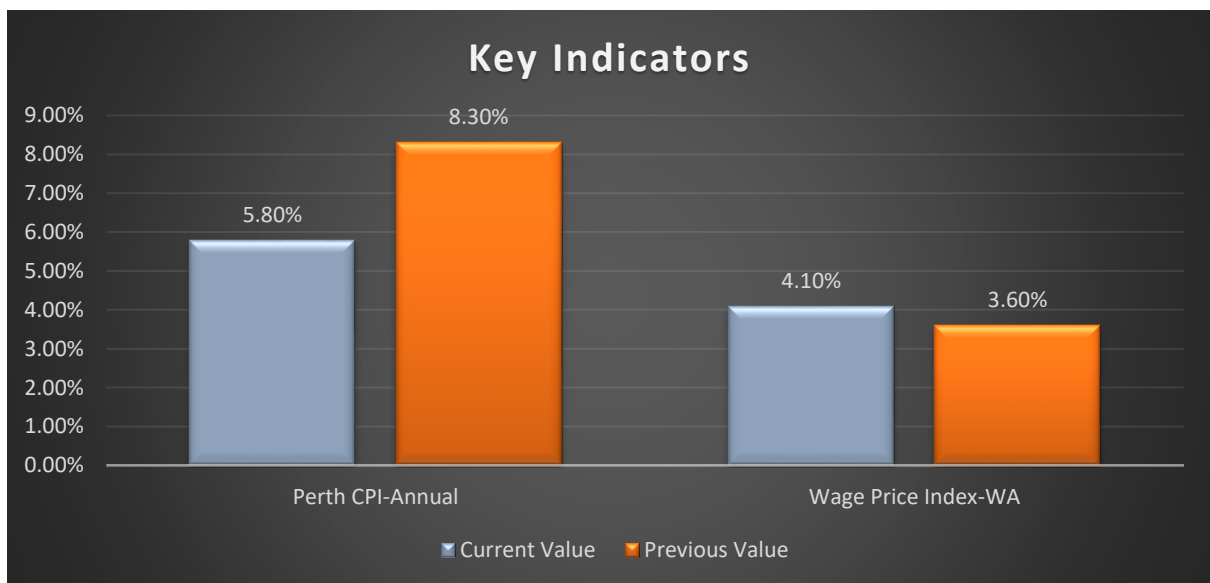
KEY INDICATORS

Rates Collection



Rates collections as a percentage of rates issued (debtors) is on par with the prior year at the end of May.

Economic Indicators



During May, the Wage Price Index for Quarter 1 of 2023 was released. Rises were recorded for Western Australia of 1.1% from the last quarter and 4.1% over the last 12 months. The acceleration was led by both private and public sector wages.

COMMENT

All expenditure included in the Financial Activity Statement is incurred in accordance with the provisions of the 2022-23 revised budget or has been authorised in advance by Council where applicable.

VOTING REQUIREMENTS

Simple Majority.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ118-07/23)

MOVED Cr Logan, SECONDED Cr Thompson that Council NOTES the Financial Activity Statement for the period ended 31 May 2023 forming Attachment 1 to Report 12.8.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Financial Activity Statement - May 23 [**12.8.1** - 1 page]
2. Investment Report - May 23 [**12.8.2** - 1 page]
3. Supporting Commentary - May 2023 [**12.8.3** - 9 pages]

12.9 TENDER 011/23 PROVISION OF LIGHT VEHICLE LOGBOOK SERVICING AND REPAIRS

WARD	All
RESPONSIBLE DIRECTOR	Mr Mat Humfrey Director Corporate Services
FILE NUMBER	110768, 101515
AUTHORITY / DISCRETION	Executive - The substantial direction setting and oversight role of Council, such as adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.

PURPOSE

For Council to accept the tender submitted by Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan for the provision of light vehicle logbook servicing and repairs.

EXECUTIVE SUMMARY

Tenders were advertised on 6 May 2023 through statewide public notice and published by Tenderlink for the provision of light vehicle logbook servicing and repairs. Tenders closed on 23 May 2023. A submission was received from Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan.

The submission from Northside Nissan represents value to the City. The company demonstrated experience providing fleet servicing to various organisations including the City of Joondalup. It has been undertaking light vehicle logbook servicing and repairs to the City's fleet for the past three years. It demonstrated a good understanding of the City's requirements. Northside Nissan is well established with industry experience and proven capacity to provide the services to the City.

It is therefore recommended that Council ACCEPTS the tender submitted by Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan for the provision of light vehicle logbook servicing and repairs as specified in Tender 011/23 for a period of three years with the option of two further terms of one year each, at the submitted schedule of rates, with any price variations subject to the percentage change in the Perth CPI (All Groups).

BACKGROUND

The City has a requirement to engage an appropriately qualified and experienced contractor to undertake genuine manufacturer's vehicle logbook servicing and repairs identified during the service, to the City's fleet of light vehicles.

The City's fleet of passenger and light commercial vehicles consists of approximately 121 vehicles that are owned outright by the City. Vehicles are kept in service for an optimum period as determined from time to time.

The City has a contract in place with The Trustee for Northside Nissan Unit Trust trading as Northside Nissan for light vehicle logbook servicing and repairs which expires on 2 August 2023.

Tender assessment is based on the best value for money concept. Best value is determined after considering whole of life costs, fitness for purpose, tenderers' experience and performance history, productive use of City resources and other environmental or local economic factors.

DETAILS

The tender for the provision of light vehicle logbook servicing and repairs was advertised through statewide public notice and published by Tenderlink on 6 May 2023. The tender period was for two weeks and tenders closed on 23 May 2023.

Tender Submission

A submission was received from Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan.

The schedule of items listed in the tender is provided in Attachment 1 to this Report.

A summary of the tender submission including the location of the tenderer is provided in Attachment 2 to this Report.

A confidential tender summary is provided in Attachment 3 to this Report.

Evaluation Panel

The evaluation panel comprised three members, being:

- one with tender and contract preparation skills
- two with the appropriate operational expertise and involvement in supervising contracts.

The panel carried out the assessment of the submissions in accordance with the City's evaluation process in a fair and equitable manner.

Evaluation Method and Weighting

The qualitative weighting method of tender evaluation was selected to evaluate the offer for this requirement. Prior to assessment of the submission, a determination was made, based on the selection criteria, of what would be an acceptable qualitative score that would indicate the ability of the tenderer to satisfactorily deliver the services.

The standard minimum acceptable qualitative score for tenders at the City is 50%, but the specific circumstances of tender requirements may, from time to time, require the minimum score to be set higher than 50%, where the specification has complex design or technical requirements. Due to the simple nature of the proposed services, the predetermined minimum acceptable qualitative score for this requirement was therefore set at 50%.

The qualitative criteria and weighting used in evaluating the submissions received were as follows:

Qualitative Criteria		Weighting
1	Capacity	35%
2	Demonstrated experience in providing similar services	35%
3	Demonstrated understanding of the required tasks	25%
4	Social and economic effects on the local community	5%

Compliance Assessment

The offer from Northside Nissan was assessed as fully compliant and remained for further consideration.

Qualitative Assessment

Northside Nissan scored 63.3% in the qualitative assessment. The company demonstrated experience providing fleet servicing to various organisations including the City of Joondalup. It has been undertaking light vehicle logbook servicing and repairs to the City's fleet for the past three years. It demonstrated a good understanding of the City's requirements. Northside Nissan is well established with industry experience and proven capacity to provide the services to the City.

Given the minimum acceptable qualitative score of 50%, Northside Nissan qualified for stage two of the assessment.

Price Assessment

The panel carried out a comparison of the rates offered by the tenderer and the existing rates in order to assess value for money to the City.

The estimated expenditure over a three-year period will vary based on demand and is subject to change in accordance with operational requirements. For the purposes of comparison of the financial value of the tenders, the tendered rate offered by the tenderer has been applied to scheduled servicing over the three-year period for each of the light vehicles in the fleet and actual historical usage data for labour and parts/materials. This provides a value of the tender for comparative evaluation purposes based on the assumption that the historical pattern of usage is maintained. There is no guarantee that this will occur and actual costs will be paid on the actual usage in future.

The rates are fixed for the first year of the contract but are subject to a price variation in years two and three and four to five (if the optional extension of one plus one-year terms were exercised) of the contract to a maximum of the CPI for the preceding year. For estimation purposes, a 4.5% CPI increase was applied to the additional repairs costs in years two to five and the tendered rates for scheduled servicing in years four and five.

All Scheduled Items (including additional or new vehicles)

Tenderer	Servicing (3 Years)	Additional Repairs			Total
		Year 1	Year 2	Year 3	
Northside Nissan	\$173,275	\$74,388	\$77,735	\$81,233	\$406,631

During 2021-22, the City incurred \$130,704 for light vehicle logbook servicing and repairs. The City is expected to incur in the order of \$406,631 over the three-year contract period and \$698,345 over five years should the City exercise both extension options.

The rates proposed by Northside Nissan result in a 4.9% increase in cost when compared to the existing contract. The company has not applied for a price increase since commencement of contract in August 2020.

Evaluation Summary

Tenderer	Weighted Percentage Score	Estimated Total Comparative Price
Northside Nissan	63.3%	\$406,631

Based on the evaluation result the panel concluded that the tender from Northside Nissan provides value to the City and is therefore recommended.

Issues and options considered

The City has a requirement for the provision of light vehicle logbook servicing and repairs, identified during the service, to the City's fleet of light vehicles. The City does not have the internal resources to provide the required services and requires the appropriate external contractor to undertake the work.

Legislation / Strategic Community Plan / Policy implications**Legislation**

Local Government (Functions and General) Regulations 1996.
A state-wide public tender was advertised, opened and evaluated in accordance with regulations 11(1) and 18(4) of Part 4 of the *Local Government (Functions and General) Regulations 1996*, where tenders are required to be publicly invited if the consideration under a contract is, or is estimated to be more, or worth more, than \$250,000.

10-Year Strategic Community Plan**Key theme**

Community.

Outcome

Healthy and safe - you feel healthy and safe in your local community.

Policy

Not applicable.

Risk management considerations

Should the contract not proceed, the risk to the City will be high as logbook servicing as per manufacturer's specification is required to ensure warranty compliance and safety for the City's fleet.

It is considered that the contract will represent a low risk to the City as the recommended tenderer is well established with industry experience and proven capacity to provide the goods and services to the City.

Financial / budget implications

Account no.	643- F9999-3348-0000.
Budget Item	Fleet logbook servicing and repairs.
Budget amount	\$ 150,000
Proposed cost	\$ 132,146
Balance	\$ 17,854

The balance does not represent a saving at this time. The actual expenditure will depend on actual usage under the contract.

All amounts quoted in this report are exclusive of GST.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Not applicable.

COMMENT

The evaluation panel carried out the evaluation of the submissions in accordance with the City's evaluation process and concluded that the offer submitted by Northside Nissan represents value to the City.

VOTING REQUIREMENTS

Simple Majority.

OFFICER'S RECOMMENDATION

That Council ACCEPTS the tender submitted by Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan for the provision of light vehicle logbook servicing and repairs as specified in Tender 011/23 for a period of three years with the option of two further terms of one year each, at the submitted schedule of rates, with any price variations subject to the percentage change in the Perth CPI (All Groups).

COUNCIL RESOLUTION
(Resolution No: CJ119-07/23)

MOVED Cr Raftis, SECONDED Cr May that Council ACCEPTS the tender submitted by Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan for the provision of light vehicle logbook servicing and repairs as specified in Tender 011/23 for a period of three years at the submitted schedule of rates, with any price variations subject to the percentage change in the Perth CPI (All Groups).

The Motion was Put and

CARRIED (9/3)

In favour of the Motion:, Crs Chester, Fishwick, Hamilton-Prime, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Deputy Mayor Logan, Crs Hill and Jones.

ATTACHMENTS

1. Schedule of Items [**12.9.1** - 4 pages]
2. Summary of Tender Submission [**12.9.2** - 1 page]
3. CONFIDENTIAL REDACTED - Tender Summary [**12.9.3** - 1 page]

Disclosures of Interest affecting Impartiality

Name / Position	Cr Russ Fishwick.
Item No. / Subject	Item 12.10 - Petition – Sorrento Bowling Club – Installation of Self-Service Club Tab.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Councillor Fishwick is a member of the Sorrento Bowling Club and a pennant player for the club.

Name / Position	Cr John Logan.
Item No. / Subject	Item 12.10 - Petition – Sorrento Bowling Club – Installation of Self-Service Club Tab.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Councillor Logan has a personal association with some members of the Sorrento Bowling Club.

12.10 PETITION – SORRENTO BOWLING CLUB – INSTALLATION OF SELF-SERVICE CLUB TAB

WARD	South
RESPONSIBLE DIRECTOR	Mr Nico Claassen Director Infrastructure Services
FILE NUMBER	03078, 101515
AUTHORITY / DISCRETION	Executive - The substantial direction setting and oversight role of Council, such as adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.

PURPOSE

For Council to consider a petition received in relation to the installation of a self-service Club TAB within the Sorrento Bowling Club facility in Percy Doyle Reserve, Duncraig.

EXECUTIVE SUMMARY

At its meeting held on 18 October 2022 (C123-10/22 refers), Council received a 95-signature petition from electors of the City of Joondalup requesting Council to give approval to the Sorrento Bowling Club (SBC) to install a self-service Pub TAB inside its clubroom facility located in Percy Doyle Reserve, Duncraig.

The Club has made several approaches to the City since January 2010, seeking support to apply for a TAB licence with Racing and Wagering WA (RWWA). Between 2010 and 2013, the City provided conditional approval on three occasions for an application to be made to RRWA for a short-term licence of no longer than 12 months. The last time consent for an application was provided by the City was in February 2013, which lapsed in February 2014.

Throughout this period, the Club was unsuccessful in securing a licence from RWWA.

In February 2022, the Club submitted a new request to the City seeking approval. As part of its assessment process the City liaised with multiple stakeholders, including Elected Members via a Strategy Session, and concluded that the request was not in the public interest and was subsequently not supported.

Further engagement occurred with the Club following the City's feedback, in which the decision not to support the proposal was reaffirmed. A petition seeking approval to support the request from February 2022, was then received by Council in October 2022 of which this report seeks to address.

The City has undertaken considerable due diligence in fairly assessing the latest request from the SBC within its capacity as a land manager and landlord. Through this process the City has concluded that wagering activities, such as Club TAB facilities, undertaken on City-managed land is considered outside the public's interest.

A report was presented to the Council meeting held on 27 June 2023, and the following procedural motion was carried:

“MOVED Cr Fishwick, SECONDED Mayor Jacob that CJ101-06/23 - Petition – Sorrento Bowling Club – Installation of Self-Service Club Tab, BE DEFERRED to the Ordinary Meeting of Council to be held on 25 July 2023, to allow Elected Members to engage with the views of the Sorrento Bowling Club more broadly, before Council makes a decision.”

It is therefore recommended that Council:

- 1 *NOTES the assessment process undertaken by the City in considering the Sorrento Bowling Club's latest request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility, and the City's reasons for not supporting the request as detailed in Report CJ101-06/23;*
- 2 *DECLINES the petitioners' request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility in Percy Doyle Reserve, Duncraig;*
- 3 *ADVISES the lead petitioner of its decision.*

BACKGROUND

TAB Licences

Since 2004, all racing and wagering activities within Western Australia have been governed by the state government owned agency, Racing and Wagering WA (RWWA), including the retail brand of "TAB" for its off-course wagering functions.

The *Racing and Wagering Act 2003* provides RWWA with the authority to establish TAB agencies and requires advice to be provided to the Gaming and Wagering Commission for any proposals to establish a new agency.

As part of RWWA's assessment process, written or verbal comments are sought from the relevant local government, WA Police and organisations that address health or financial issues in the area surrounding the proposed TAB agency site. Potential sites may include private land, or Crown Land under the control and management of a local or state government entity.

There are currently thirteen TAB agency licences issued within the City of Joondalup, across three retail levels, including:

Table:1

Retail Level	Locations	MRS Zoning	LG Zoning
TAB Agency (Dedicated retail outlets for the sole purpose of betting)	Warwick Grove Shopping Centre, Warwick	Urban	Centre
	Adjacent Kingsley Tavern, Kingsley	Urban	Commercial
	Whitfords Shopping Centre, Hillarys	Urban	Centre
	Lakeside Shopping Centre, Joondalup	Central City Area	Centre
	Currambine Central Shopping Centre, Currambine	Urban	Commercial
Pub TAB (Existing licenced premises where customers may place bets via bar staff)	Greenwood Hotel, Greenwood	Urban	Commercial
	Carine Tavern, Duncraig	Urban	Commercial
	Craigie Tavern, Craigie	Urban	Commercial
	Woodvale Tavern, Woodvale	Urban	Commercial
	Beldon Tavern, Beldon	Urban	Commercial
Pub TAB (or "Club TAB") – Self Service (Self-service betting terminals located within a licenced area of a pub or club, where customers place their own bets)	Marmion Angling and Aquatic Club (MAAC), Marmion*	Parks and Recreation	MRS – Parks and Recreation
	Northshore Tavern, Hillarys	Urban	Centre
	Currambine Bar and Bistro, Currambine	Urban	Commercial

*Private ownership – MAAC.

There are currently no TAB agencies within the City's boundaries that are located on City of Joondalup owned or managed land. Twelve of the thirteen licenced premises are located on land zoned for commercial or centre purposes under the City's *Local Planning Scheme No. 3 (LPS3)*.

The only exception is the MAAC, which is reserved under the *Metropolitan Region Scheme (MRS)* as 'Parks and Recreation' and is therefore not subject to the provisions of the City's LPS3, with the Western Australian Planning Commission (WAPC) as the determining authority. The lot in which the MAAC is situated is also excised from the Marmion Foreshore Reserve and is privately owned by the Club.

In accordance with RWWA's processes, the City is consulted on any proposed licence applications with consideration of the following:

- If the proposed location of the TAB agency complies with local planning requirements.
- If surrounding landowners/lessees have been notified. (Noting it is not the City's responsibility to undertake community consultation on behalf of applicants).
- If there are any community or social services that may be impacted by the proposal.
- If there are any issues/benefits associated with the proposal.

Noting that the City is not the approver of TAB agency applications, but rather a stakeholder for the purposes of consultation, previous applications as listed above have been successfully awarded by the RWWA.

The only circumstance where an applicant has requested a TAB agency licence on City managed land, has been the SBC at its clubroom facilities located within Percy Doyle Reserve, Duncraig. The distinction between this request and the others identified above, is that the clubrooms are leased, and as such, the application is considered within the context of the City as a Lessor providing consent under the provisions of the lease, rather than as a stakeholder in a RWWA consultation process.

The history of these application requests are detailed below.

Historical applications – Sorrento Bowling Club

The City was first approached by the SBC in 2010, seeking approval to apply to RWWA for a "Club TAB" licence within its leased clubroom facilities. The proposal was for a self-service TAB that included the following:

- A self-service wagering terminal to be located within a licenced area of the club.
- Customer information terminals to provide historical and current racing and sports information.
- TVs to display electronic information via teletext and the Sky Channel for racing vision.
- A payout terminal to process winning tickets and conduct agency balances over the bar.

If supported, the SBC would effectively become a contracted TAB agent and enter into an agency agreement with RWWA to ensure compliance with any legislative or contractual obligations pertaining to wagering activities.

TAB agency agreements are one-year fixed term arrangements, after which, one-months' written notice of termination may be issued by either party if the viability of the operations at the premises is limited.

TAB agents operate on a commission basis that is paid weekly via an agency settlement process. The total weekly commission is made up of a base payment, commission rate / percentage of the weekly agency turnover, minus a TAB package fee as the ongoing rental payment for services supplied by RWWA. In addition to the package fees, agents must also pay for a Sky Channel subscription based on the agency's weekly turnover range, as well as initial set up costs for staff training, cash bonds and insurances.

The income received by Clubs as a TAB agent is usually quite modest. Notwithstanding, the reasons cited by the SBC for requesting a licence in 2010 included the following:

- Pressure from existing members to make an application.
- The view that a TAB facility would encourage younger members to the Club.
- Other bowling clubs / social clubs having received approval.
- Potential increased memberships and bar sales.
- Concerns that nearby clubs may obtain a licence before the SBC.

Temporary approval to apply for a licence with RWWA was provided by the City in February 2010 under the following conditions:

- The agreement is for a period of no longer than 12 months and will be reviewed by the City.
- The SBC is to provide a review of the operations of the TAB and any issues that have occurred at the end of the 12 months period prior to further extensions being granted.
- The TAB is only available for members of the SBC.
- All costs incurred through the operations of the TAB will be the full responsibility of the SBC.

Further requests were sought from the SBC in 2011 and 2013, in which the City provided 12-month extensions for approval with a further condition, including:

- The City will not approve signage on Warwick Road that references the TAB at the Club.

Between February 2010 and February 2014 (when the last approval request lapsed), the SBC was unsuccessful in securing a Club TAB licence with RWWA.

In February 2022 the SBC submitted a new request for approval to apply for a Club TAB licence with RWWA, nine years after the City had last considered the proposal. Following an assessment process, as detailed further in this report, the City responded to the SBC indicating that it did not support the request.

DETAILS

At its meeting held on 18 October 2022 (C123-10/22 refers), Council received a 95-signature petition from electors of the City of Joondalup requesting that Council:

“Gives approval to the Sorrento Bowling Club to install a self-service Club TAB inside its clubroom facility at Percy Doyle that meets the needs of the community and Club Members to enjoy as there is no other such facility within the local area. Also to raise revenue for the club to improve and maintain its infrastructure and facilities and in particular assist with financing a synthetic green to enable members to bowl throughout the year given the impacts of rising inflation and interest rates.

It should be noted that the City of Joondalup granted approval for the club to have a Club TAB in 2013 and we the undersigned request that Council honours it's previous 2013 agreement and re-approve the location of a Club TAB at the Sorrento Bowling Club's Percy Doyle Reserve facility.”

2022 Application – Sorrento Bowling Club

The request received in 2022 indicated that the SBC had lodged an application to RWWA for approval to install a Club TAB facility at their clubrooms and sought retrospective comment from the City as to whether the service would be permissible.

The correspondence did not provide any information with regard to the reasons for lodging an application, did not refer to any previous approvals received from the City and did not refer to any consultation undertaken with surrounding properties or users of Percy Doyle Reserve.

Upon receiving the most recent request from the SBC, the City undertook the following actions as part of its assessment process:

- Contact was made with the RWWA to obtain further information on the proposed business model for Club TAB facilities. RWWA verbally indicated that clubs tend to only draw a modest income through commissions, as the operating costs associated with running the facility largely offset any income received. It was noted that the business model was premised on encouraging increased memberships and bar sales rather than sizeable commissions.
- The City requested data on income modelling from existing Club TAB facilities operated by other bowling clubs, but only received limited information from RWWA pertaining to an individual club for one week's earnings. It was difficult to ascertain if the data reflected a typical week or was comparable to other clubs, and as such, did not satisfy the City that the viability of the business model at the SBC was adequately demonstrated. The SBC's application also provided no data to support their request on how they believed the business model would operate within their facility and their anticipated increase in membership numbers, bar sales or turnover.
- Engagement with other local governments was undertaken to seek feedback on how Club TAB facilities operated within their district, however, there was limited information available given the facilities operated within leased premises and were historically approved a decade earlier.
- The Department Planning, Lands and Heritage (DPLH) was also contacted to determine if DPLH approval was required and if the Reserve, being Crown Land, supported the activity. DPLH provided informal comment, noting that this type of activity may be considered ancillary to the Reserve's primary purpose, being for Recreation, and that the City would be best placed to assess the overall public benefit based on its knowledge of the local community.
- Information on the proposal was also provided to Elected Members at a Strategy Session in March 2022 to assist with the City's assessment of the overall public benefit in this location. Strong opposition towards the proposal was expressed due to the perception of gambling activities being misaligned to the purpose of the Reserve, being Recreational and issues of this type of activity being conducted within City owned facilities.

As a result of the information and feedback gathered, the City wrote to the SBC in March 2022 indicating that the proposal was not supported, due to:

- gambling-related activities being considered outside the public's interest
- that the activity may be viewed as inconsistent with the permitted use of the Reserve or Property
- acknowledging that whilst the scale of the activity was relatively ancillary in nature, further investigations into the business model and operations confirmed the City's view that it is not in the public's interest to progress the proposal.

In April 2022, the City received further correspondence from the SBC expressing their disappointment at the City's decision and requested the City's further consideration of the proposal. Additional information was also supplied indicating that historical approval had been provided by the City in 2010.

Upon receiving this request, City representatives met with the Acting President of the SBC in April 2022 to discuss the outcome of the Club's most recent application. The meeting did not reveal any additional information that would support the City's favourable consideration of the request, noting the following:

- Projected membership and bar sales were not provided by the Club.
- Concerns regarding potential membership losses to neighbouring Clubs with TAB facilities were not quantified.
- Conditions from the City to restrict advertising of a TAB facility within the clubrooms would likely inhibit membership attraction opportunities.
- That other bowling clubs with Club TAB facilities were historical and the potential reasons for seeking approval had changed over time.
- The proliferation of online betting apps over the last nine years since previous approval was provided by the City, did not provide a compelling reason for installing a Club TAB facility to attract new, younger members to the Club.
- The siting of the clubrooms within the centre of Percy Doyle Reserve, surrounded by multiple junior sporting clubs, was not considered to be an appropriate location for this type of activity.

Following this meeting, the City wrote to the SBC again, confirming its decision not to support the proposal.

In October 2022, a petition was submitted and subsequently received by Council, seeking support to approve the request (C123-10/22 refers).

Actions following receipt of the petition

Following Council's decision to receive the petition and request a report back to Council for its consideration, the City undertook the following actions:

- Contacted RWWA to obtain information on all current Club TAB licences that have been established in the Perth Metropolitan Area and their respective commencement dates. This was to ascertain how historical the arrangements were, and if new licences had been issued in recent years and the circumstances surrounding their approval. This information is shown in Table 2 below.
- There are currently fifteen Club TAB licences issued across bowling and sporting clubs throughout the Perth Metropolitan Region, of which thirteen are historical licences approved over a decade ago. In the ten years that has lapsed since approval was last provided from the City to the SBC, two new licences have been issued to the Lesmurdie Club in the City of Kalamunda and Safety Bay Bowls Club in the City of Rockingham. The Lesmurdie Club is privately owned and the Safety Bay Bowls Club is located on City owned land that is held in freehold.
- The City contacted the City of Rockingham to understand the process undertaken as part of their recent approval to the Safety Bay Bowls Club in 2021 (noting the land is held in freehold and is not City-managed Crown Land). It was confirmed that a lengthy process was undertaken to ensure the Club undertook appropriate levels of community engagement with surrounding residents before consideration for approval would be provided. Approval was also conditioned on the basis that an extension to the building was pursued to house the TAB facility in a separate and isolated area of the Clubrooms.

Table 2:

Club	Suburb	Local Government	Start Date	Land Tenure
Cockburn Bowling & Rec. Club	Yangebup	City of Cockburn	1997	Freehold – City owned
Melville Bowling & Rec Club	Alfred Cove	City of Melville	2005	Freehold – City owned
Mosman Park Bowling Club	Mosman Park	Town of Mosman Park	2008	Freehold – City owned
Belmont Sports & Rec Club	Cloverdale	City of Belmont	2008	Crown Land vested in the City
Morley Noranda Rec Club	Noranda	City of Bayswater	2008	Freehold – City owned
Osborne Park Bowling Club	Tuart Hill	City of Stirling	2009	Freehold – City owned
Innaloo Sportsmen's Club	Innaloo	City of Stirling	2009	Crown Land vested in the City
Dudley Park Bowling & Rec Club	Dudley Park	City of Mandurah	2009	Crown Land vested in the City
Mandurah Bowling & Rec Club	Mandurah	City of Mandurah	2009	Crown Land vested in the City
North Beach Bowling Club	North Beach	City of Stirling	2010	Crown Land vested in the City
Wanneroo Sports & Social Club	Wanneroo	City of Wanneroo	2011	Crown Land vested in the City
Thornlie Bowling Club	Thornlie	City of Gosnells	2011	Crown Land vested in the City
Marmion Angling & Aquatic Club	Marmion	City of Joondalup	2013	Privately owned by the Club
The Lesmurdie Club	Walliston	City of Kalamunda	2020	Privately owned by the Club
Safety Bay Bowls Club	Shoalwater	City of Rockingham	2021	Freehold – City owned

Issues and options considered

The options available to Council are to:

- support the petitioners' request as outlined in C123-10/22
or
- not support the petitioners' request.

It is the City's recommendation that the petitioners' request is not supported for the reasons previously provided to the SBC, namely:

- gambling-related activities being considered outside the public's interest
- that the activity may be viewed as inconsistent with the permitted use of the Reserve or Property
- acknowledging that whilst the scale of the activity was relatively ancillary in nature, further investigations into the business model and operations confirmed the City's view that it is not in the public's interest to progress the proposal.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Government Act 1995.*

10-Year Strategic Community Plan

Key theme Place.

Outcome Functional and accessible - you have access to quality community facilities that are functional and adaptable.

Policy *Property Management Framework.*

Risk management considerations

Should Council support the request to install a Club TAB facility within the SBC clubrooms, it should be noted that no consultation has been undertaken with local residents or surrounding clubs within the Percy Doyle Reserve, which may present a risk to the City if there is substantial opposition.

There is also a potential risk of negative community perception that the City is supporting wagering activities within City-owned facilities and on City-managed land.

Financial / budget implications

There is no financial or budget implications for the City in relation to this proposal. It is noted that one of the reasons for requesting Council's consideration of this matter by the SBC is to provide an additional income stream for the Club.

Based on the City's research, a Club TAB facility will only likely achieve a modest income for the Club as the operating costs largely offset any income received.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

Extensive engagement has been undertaken by the City with external agencies, government departments, other local governments and the Club as part of its due diligence process in assessing the latest request from the SBC.

The City is not responsible for undertaking community consultation on matters associated with TAB applications and is not aware of any such engagement being conducted by the SBC.

COMMENT

It is appropriate for the City to review changing community expectations in relation to appropriate social and recreational activities that may be conducted on land from which it is responsible for managing.

The City has undertaken considerable due diligence in fairly assessing the latest request from the SBC within its capacity as a land manager and landlord. Through this process the City has concluded that wagering activities, such as Club TAB facilities, undertaken on City-managed land is considered outside the public's interest.

Further Information – 14 July 2023

On Friday 7 July 2023, the City received a letter from the Sorrento Bowling Club which informed the City that the Sorrento Bowling Club Governing Council has made the decision to withdraw its application for the self-service ClubTAB at this stage and leave the option for future Governing Councils to address if they see fit.

As a result of the withdrawal, it is suggested that Council give consideration to an amendment to the recommendation presented to the Council to include an additional part 4 for Council to note the Sorrento Bowling Club's recent withdrawal of its application for a self-service Club TAB within the Sorrento Bowling Club facility at Percy Doyle reserve, Duncraig, as provided in its email of 7 July 2023 to the City.

VOTING REQUIREMENTS

Simple Majority.

OFFICER'S RECOMMENDATION

That Council:

- 1 NOTES the assessment process undertaken by the City in considering the Sorrento Bowling Club's latest request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility, and the City's reasons for not supporting the request detailed in Report 12.10;
- 2 DECLINES the petitioners' request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility in Percy Doyle Reserve, Duncraig;
- 3 ADVISES the lead petitioner of its decision.

MOVED Cr Fishwick, SECONDED Cr Thompson that Council:

- 1 **NOTES the assessment process undertaken by the City in considering the Sorrento Bowling Club's latest request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility, and the City's reasons for not supporting the request detailed in Report CJ101-06/23;**
- 2 **ACCEPTS and ACKNOWLEDGES the Sorrento Bowling Club's withdrawal of its application for a self-service Club TAB within the Sorrento Bowling Club facility at Percy Doyle Reserve, Duncraig, as provided in its letter of 7 July 2023 to the City;**

- 3 **DECLINES** the petitioners' request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility in Percy Doyle Reserve, Duncraig;
- 4 **ADVISES** the lead petitioner of its decision.

AMENDMENT MOVED Cr Kingston, **SECONDED** Cr Raftis that the Motion **BE AMENDED** to include an additional Part to read as follows:

"5 REQUESTS a report be presented to the Policy Committee that considers the development of a formal position on the installation and conducting of any gambling or wagering activities within City-managed or owned facilities."

The Amendment was Put and

CARRIED (12/0)

In favour of the Amendment: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

The Original Motion as Amended being / COUNCIL RESOLUTION
(Resolution No: CJ120-07/23):

MOVED Cr Fishwick, **SECONDED** Cr Thompson that Council:

- 1 **NOTES** the assessment process undertaken by the City in considering the Sorrento Bowling Club's latest request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility, and the City's reasons for not supporting the request detailed in Report CJ101-06/23;
- 2 **ACCEPTS** and **ACKNOWLEDGES** the Sorrento Bowling Club's withdrawal of its application for a self-service Club TAB within the Sorrento Bowling Club facility at Percy Doyle Reserve, Duncraig, as provided in its letter of 7 July 2023 to the City;
- 3 **DECLINES** the petitioners' request to support an application to Racing and Wagering WA for the installation of a self-service Club TAB within the Sorrento Bowling Club facility in Percy Doyle Reserve, Duncraig;
- 4 **ADVISES** the lead petitioner of its decision;
- 5 **REQUESTS** a report be presented to the Policy Committee that considers the development of a formal position on the installation and conducting of any gambling or wagering activities within City-managed or owned facilities.

was Put and

CARRIED (12/0)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

ATTACHMENTS

Nil

13 REPORTS OF SPECIAL POLICY COMMITTEE - 19 JUNE 2023

13.1 LOCAL PLANNING STRATEGY – HOUSING ISSUES AND PROPOSED PHASE 2 ACTIONS

WARD	All
RESPONSIBLE DIRECTOR	Mr Chris Leigh Director Planning and Community Development
FILE NUMBER	109808, 101515
AUTHORITY / DISCRETION	Executive - The substantial direction setting and oversight role of Council, such as adopting plans and reports, accepting tenders, directing operations, setting and amending budgets.

PURPOSE

For Council to consider the following:

- 1 The outcomes of Phase 1 of the review of the City's *Local Planning Strategy*.
- 2 The proposed actions to be undertaken in Phase 2 of the review of the City's *Local Planning Strategy*.

EXECUTIVE SUMMARY

At its meeting held on 18 May 2021 (CJ063-05/21 refers), Council resolved to bring forward the review of the housing component of the City's *Local Planning Strategy* to allow resource planning/procurement and project planning to commence in the 2021/22 financial year.

At its meeting held on 19 April 2022 (CJ047-04/22 refers), Council endorsed the project approach for the review of the *Local Planning Strategy* and a scope of works to be undertaken as part of Phase 1 of the project (problem definition and scoping).

The outcomes of the work undertaken in Phase 1 are presented in the documents included as attachments to this report. The Housing Issues and Phase 2 Actions report (Attachment 1 refers) outlines the issues identified through Phase 1, and the proposed actions to be undertaken in Phase 2 to investigate the potential for those issues to be addressed through the *Local Planning Strategy* and *Local Planning Scheme No. 3* review processes. The investigations for each of the issues will assist to inform the parameters for the development of spatial options for the allocation of density in Phase 3, and for the development of the strategy response in Phase 4 of the project.

It is therefore recommended that Council endorse the recommended Phase 2 actions as set out in Attachment 1 to Report 13.1 to allow for technical investigations identified to commence.

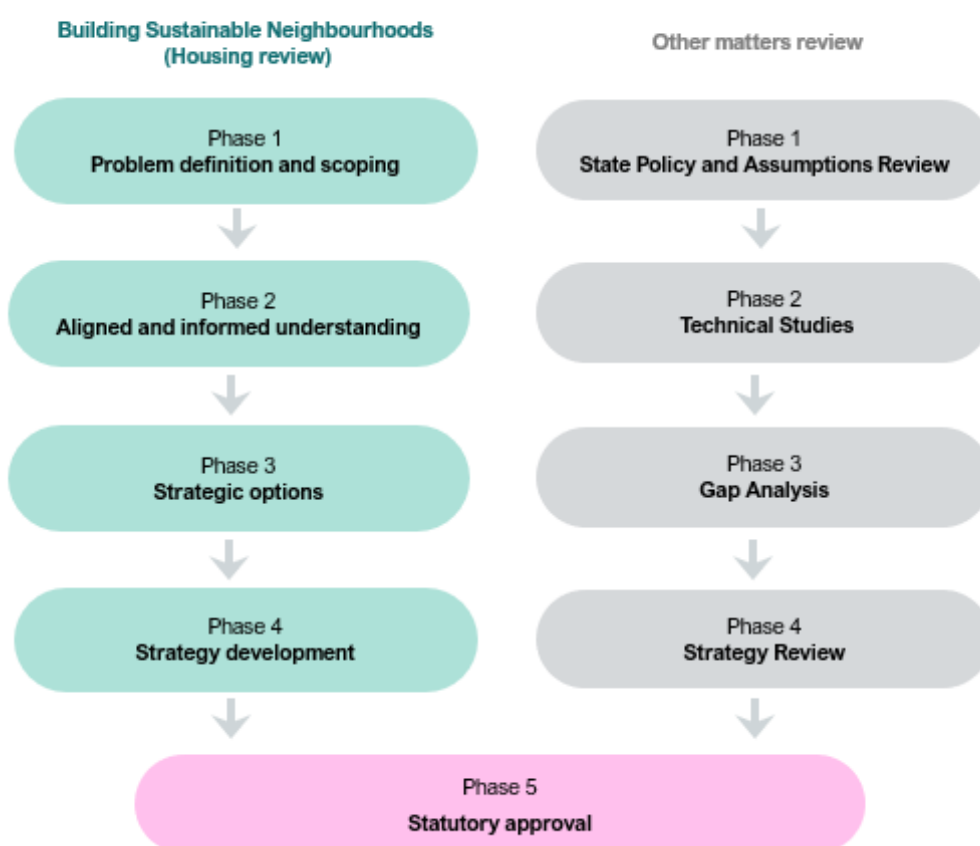
BACKGROUND

At its meeting held on 19 April 2022 (CJ047-04/22 refers), Council endorsed the following:

- The project approach for the review of the City's *Local Planning Strategy*.
- The scope of works associated with the review of the City's *Local Planning Strategy*.
- The draft Stakeholder Strategy for the housing component of the *Local Planning Strategy* review.
- The scope of works associated with Phase 1 of the housing review.

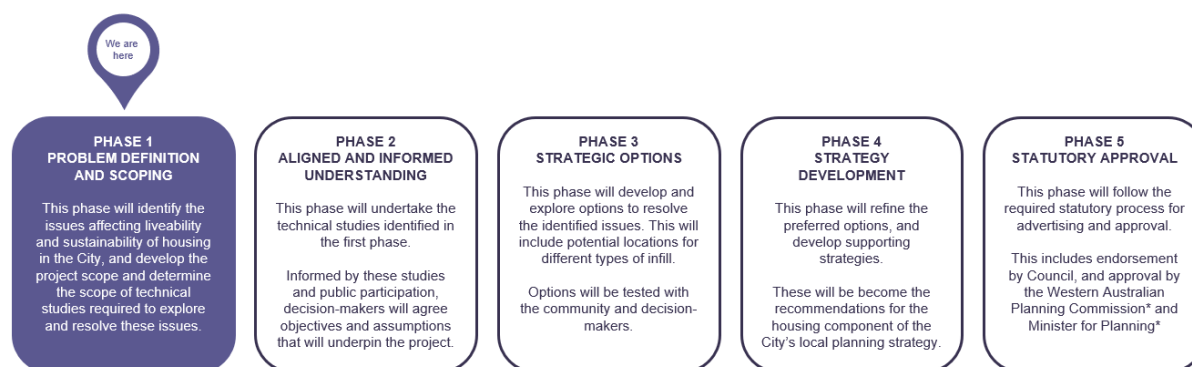
The project approach and scope of works associated with the review of the City's *Local Planning Strategy* is organised in five phases as follows:

Project phases



The *Local Planning Strategy* review involves two sub-projects: a 'housing review' (*Building Sustainable Neighbourhoods*) and an 'other matters review', the outcomes of which will be consolidated into a single statutory process that formally reviews the City's *Local Planning Strategy* and *Local Planning Scheme No. 3*.

The project is currently in the final component of the Phase 1: *problem definition and scoping*.



*all planning documents must comply with state requirements to be approved

Phase 1 of *Building Sustainable Neighbourhoods* has involved community consultation and technical analyses to inform the problem definition for the project and the establishment of the actions to be undertaken in Phase 2 to allow the issues identified to be investigated.

Phase 1 of the 'other matters review' has involved a gap analysis of the City's current *Local Planning Strategy* to identify where strategic actions may require updating. This gap analysis has been undertaken in the context of the current State planning policy framework and has informed the technical studies and investigations needed as part of Phase 2 (as well as those that will be required as part of future phases).

The above work has informed the Housing Issues and Phase 2 Actions report of the project (Attachment 1 refers).

DETAILS

Phase 1 - Housing review

The following outlines the work undertaken in Phase 1 of the 'housing review' (*Building Sustainable Neighbourhoods*) component of the *Local Planning Strategy* review and the issues identified as a result.

Community consultation

Community consultation was undertaken as part of Phase 1 of *Building Sustainable Neighbourhoods* in accordance with the Council endorsed Phase 1 Community Consultation Plan, and was undertaken by consultants Research Solutions over a period of approximately two months from 5 September 2022 to 4 November 2022.

The following sets out community consultation activities undertaken:

- random telephone survey (801 residents)
- face to face intercept surveys (53 residents)
- guided discussions via online board (32 residents)
- in-depth stakeholder interviews including representative groups for unengaged demographics (13 stakeholder organisations)
- open online community consultation (489 responses)
- validation workshops with engaged and unengaged community members (14 residents).

The consultation outcomes report prepared by Research Solutions outlines the findings of the above community engagement (Attachment 2 refers).

Technical analyses

Technical analyses undertaken to inform the Phase 1 issues identification were carried out in accordance with the endorsed Phase 1 scope of works.

The following sets out the technical analyses undertaken:

- Dwelling target review (Attachment 3 refers).
- Supply and Demand Analysis (Attachment 4 refers) informed by:
 - housing intentions outcomes reporting from community consultation
 - demographic information provided from .id Informed Decisions
 - market demand analysis prepared by Urbis (Attachment 5 refers).
- Meta analysis of all previous community consultation in relation to housing and infill (Attachment 6 refers).
- Technical officer workshop.

Issues identified

The following outlines a summary of the key issues identified through Phase 1:

- Lack of community alignment on preferred spatial location of density.
- Infill development changing the established suburban character in infill areas.
- Poor liveability and design outcomes for medium density housing.
- Poor sustainability outcomes for medium density housing.
- Loss of tree canopy in infill areas and resultant urban heat impacts.
- Increased on-street parking in infill areas.
- Amenity impacts of infill developments on adjoining properties.
- Capacity of established infrastructure to service population growth due to infill development.
- Lack of developer contribution to neighbourhood improvement in infill areas.
- Misaligned developer and policy objectives and lack of policy understanding influencing built form outcomes.
- Complexity of planning framework results in difficulty to engage meaningfully with community.
- Reduced housing affordability.
- Limited access to housing.

Other matters review

The following outlines the work undertaken in Phase 1 of the 'other matters review' component of the *Local Planning Strategy* review.

- State Planning Policy review:
A review of the Western Australian Planning Commissions' suite of State Planning Policies and Position Statements to understand whether technical work is required to bring the Local Planning Strategy into alignment with changes to the state planning framework.

- Local Planning Strategy gap analysis:
A review of actions outlined in the City's current Local Planning Strategy to identify where strategic actions may require updating or may have implications for the review of the Local Planning Strategy.

Phase 2 - Summary of proposed actions

The tables included in the Housing Issues and Phase 2 Actions report (Attachment 1 refers) summarise the proposed actions to be undertaken as part of Phase 2.

Table 1 outlines issues identified as part of Phase 1 of *Building Sustainable Neighbourhoods* through community consultation and technical analyses, and the recommended actions to be undertaken as part of Phase 2 to investigate those issues.

Table 2 summarises the outcomes of a gap analysis undertaken of the City's current *Local Planning Strategy* to identify where strategic actions may require updating and recommends the technical studies and investigations that need to be actioned as part of Phase 2.

Table 3 summarises a review of relevant state planning policies and position statements undertaken to understand whether technical work is required to bring the *Local Planning Strategy* into alignment with changes to the state planning framework. Table 3 also outlines the actions identified to be undertaken as part of Phase 2 (as well as those that will be required as part of future phases).

The recommended actions outlined in the Housing Issues and Phase 2 Actions report (Attachment 1 refers) comprise the scope of work to be undertaken as part of Phase 2 of the review of the *Local Planning Strategy* to investigate the issues identified through Phase 1.

The actions proposed as part of the Phase 2 include:

Internal review/investigation:

- Develop an issues investigation paper to:
 - Investigate potential planning mechanisms to address issues identified.
 - Summarise existing work done which addresses issues identified.
 - Summarise broader state planning influences which guide how the City is able to respond to issues identified.
- Undertake preliminary work to address the requirements of the Western Australian Planning Commission's Residential Accommodation for Ageing Persons Position Statement.
- Undertake internal review of the City's development application consultation materials.

Technical studies (consultant work):

- Undertake a review of the City's *Local Commercial Strategy* and update as appropriate.

Stakeholder engagement:

- Engage with service providers.
- Engage with industry bodies.
- Engage with the Department of Planning, Lands and Heritage.

A flow diagram summarising the proposed Phase 2 is provided as Attachment 7.

Issues and options considered

Council has the option to:

- endorse the proposed actions outlined in the Housing Issues and Phase 2 Actions report as included in Attachment 1
- modify the proposed actions outlined in the Housing Issues and Phase 2 Actions report as included in Attachment 1
or
- not endorse the proposed actions outlined in the Housing Issues and Phase 2 Actions report as included in Attachment 1.

Council's endorsement of the proposed actions outlined in the Housing Issues and Phase 2 Actions report is required for the project to progress.

Legislation / Strategic Community Plan / Policy implications

Legislation *Planning and Development (Local Planning Schemes) Regulations 2015.*
Planning and Development Act 2005.

10-Year Strategic Community Plan

Key theme Place.

Outcome Well-planned and adaptable - you enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.
Attractive and leafy - you have access to quality public open spaces and enjoy appealing streetscapes.

Policy *Development in Housing Opportunity Areas Local Planning Policy.*
Residential Development Local Planning Policy.

Risk management considerations

The identification of issues through Phase 1 allows the project to understand the range of issues to be addressed from the perspective of decision-makers, practitioners, and stakeholders. Phase 2 of the project allows the issues to be investigated and therefore manages the risk of project outcomes not responding to stakeholder concerns, therefore reducing confidence for decision-making. It is noted that that the investigation into each of the issues will identify the ability of the *Local Planning Strategy* to influence the issues identified and outline the degree to which the issues can be addressed through the strategy.

Financial / budget implications

The budget for 2022/23 financial year was \$413,523 inclusive of \$200,023 which was carried over from the 2021/22 financial year. Total expenditure for Phase 1 of the project has been \$132,937.

An amount of \$150,000 has been listed in the draft 2023/24 annual budget to allow for future technical studies and consultant work to be undertaken as part of Phases 2 and 3.

Regional significance

Perth is currently home to more than two million people and this is anticipated to grow to 3.5 million by 2050.

The future growth of the Perth and Peel metropolitan areas is guided by the *Perth and Peel @ 3.5 million* suite of documents, wherein the sub-regional frameworks provide strategic direction and certainty for land use planning and infrastructure provision. This suite of documents aims to guide the future growth of the Perth and Peel regions to accommodate 3.5 million people by 2050 and in doing so, limit unsustainable urban sprawl and encourage greater housing diversity to meet changing community needs.

The frameworks provide strategic guidance to local governments to inform the development of planning instruments. Specific to the City of Joondalup is the *North-West Sub-regional Planning Framework* which sets infill development targets for the City to achieve through its *Local Planning Strategy*.

Local governments within Perth and Peel are required to ensure that the broader metropolitan aspirations for urban consolidation that are set out in *Perth and Peel @ 3.5 million* are reflected in strategic planning documents prepared to guide development and housing provision locally.

Sustainability implications

The Housing Issues and Phase 2 Actions report outlines issues raised in relation to sustainability and the actions recommended to be undertaken in Phase 2 to investigate those issues.

Consultation

The identification of issues was informed in part by community consultation undertaken by community engagement consultants Research Solutions in Phase 1. The approach to consultation was informed by the Community Consultation Plan, endorsed by Council at its meeting held on 16 August 2022.

The purpose of community consultation outlined in the endorsed Phase 1 Community Consultation Plan was to:

- Identify future housing needs in the City of Joondalup.
- Confirm issues related to housing and infill, based on future housing needs and stakeholder expectations and perceptions related to planning for liveable housing.

The endorsed community consultation plan set out a two-part approach in accordance with the purpose of the consultation plan:

Part A – Housing Intentions: A housing intentions survey of City of Joondalup residents.

Part B – Housing Issues: Confirming that the issues and themes identified through past consultation activities remain relevant and to identify any gaps or new issues which need to be considered.

Consultation techniques were designed to align with project-specific engagement principles to:

- be informed by a representative range of stakeholders
- provide opportunities for authentic and meaningful participation in the project.

As such, consultation methods sought to engage with both previously unengaged and previously engaged residents.

Previously unengaged residents were reached through direct random survey methods to ensure that consultation captured representative feedback. Representative results enable a broader understanding of housing issues across different demographic groups in the City and ensures that issues affecting all residents across the City are captured in the project scope.

Previously engaged residents were invited to confirm the City's interpretation of their previous feedback, with the additional opportunity provided to voice any further concerns in relation to housing. This feedback stream provided the opportunity for previously engaged residents to provide feedback if they were not recruited through the direct random survey methods.

It is noted that Phase 2 is an investigation phase and will not involve community consultation. Further community consultation will be undertaken in Phases 3 and 4.

COMMENT

The recommended actions for Phase 2 of *Building Sustainable Neighbourhoods* are consistent with the project objective of providing a robust, transparent and defensible review of the City's *Local Planning Strategy*.

Phase 1 has undertaken problem definition which has been informed by in-depth community consultation and technical work. This provides confidence that the issues identified are representative of the housing issues of concern to the community and relevant stakeholders and therefore provides certainty for decision makers in progressing with the next stage of the project.

The Housing Issues and Phase 2 Actions report as included as Attachment 1 sets out the recommended approach for Phase 2 of the project, following an informed problem definition process.

The technical scope of works associated with Phase 2 of the project is anticipated to be completed towards the end of Quarter 2 of the 2023/24 financial year, however it should be noted that this may be subject to change dependent on timing associated with appointing an appropriate consultant and the time taken by the consultant to complete the work.

It is expected that the outcomes of Phase 2 and proposed project scope for Phase 3 will be presented to Council towards the end of Quarter 3 of the 2023/24 financial year.

Council's endorsement of the proposed Phase 2 actions will enable the following next steps to be commenced:

- 1 Engagement of consultants to undertake a review of the City's *Local Commercial Strategy*.
- 2 Commencement of internal investigations to inform the issues investigation paper.
- 3 Continued engagement with the Department of Planning, Lands and Heritage on strategic directions relating to the Local Planning Strategy review.
- 4 Commencement of engagement with relevant service providers and industry bodies.

VOTING REQUIREMENTS

Simple Majority.

COMMITTEE RECOMMENDATION

The committee recommendation to Council for this Report (as detailed below) was resolved by the Policy Committee at its meeting held on 19 June 2023.

The committee recommendation is the same as recommended by City officers.

Cr Kingston left the Chamber at 8.04pm and returned at 8.06pm.

Cr Poliwka left the Chamber at 8.04pm and returned at 8.07pm.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ121-07/23)

MOVED Cr Thompson, SECONDED Cr Raftis that Council:

- 1 **NOTES the outcomes of Phase 1 (problem definition and scoping) as outlined in Attachments 1 to 6 to Report 13.1;**
- 2 **ENDORSES the actions for Phase 2 (aligned and informed understanding) of the *Local Planning Strategy* review as provided in Attachment 1 to Report 13.1.**

The Motion was Put and

CARRIED (12/0)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

ATTACHMENTS

1. Housing Issues and Phase 2 Actions Report [13.1.1 - 11 pages]
2. Community Consultation Outcomes Report [13.1.2 - 146 pages]
3. Dwelling Targets Review [13.1.3 - 11 pages]
4. Supply and Demand Analysis [13.1.4 - 21 pages]
5. Urbis Residential Property Market Demand Analysis [13.1.5 - 38 pages]
6. Meta Analysis of Past Consultations [13.1.6 - 18 pages]
7. Phase 2 Scoping Diagram [13.1.7 - 1 page]

13.2 PROPOSED AMENDMENTS TO THE CURRAMBINE LOCAL DEVELOPMENT PLAN – LOT 9001 (16) SUNLANDER DRIVE, CURRAMBINE

WARD	North
RESPONSIBLE DIRECTOR	Mr Chris Leigh Director Planning and Community Development
FILE NUMBER	110203, 101515
AUTHORITY / DISCRETION	Legislative - includes the adoption of local laws, planning schemes and policies.

PURPOSE

For Council to consider proposed amendments to the *Currumbine Local Development Plan*.

EXECUTIVE SUMMARY

The City has received an application for proposed amendments to the *Currumbine Local Development Plan* (Currumbine LDP), prepared by Rowe Group (planning consultants) on behalf of the property owners Southern Cross Care (WA) Inc, for Lot 9001 (16) Sunlander Drive, Currumbine.

The Currumbine LDP was originally approved by Council at its meeting held on 16 August 2022 (CJ119-08/22 refers) subject to modifications, and forwarded to the Western Australian Planning Commission (WAPC) for consideration. The LDP was approved by the WAPC on 11 October 2022.

The Currumbine LDP replaces some of the development standards in the *State Planning Policy 7.3 – Residential Design Codes Volume 1* (R-Codes) that would otherwise apply to the development. It also applies a number of provisions of the State Government's *Medium Density Single House Development Standards – Development Zones* as outlined in the WAPC's *Planning Bulletin 112/2016*. A key provision of the Currumbine LDP requires development to be two storeys in height.

Construction of dwellings within the northern section of the Currumbine LDP area is underway, however the developer (Parcel Property) has identified that ongoing construction industry challenges are impacting the viable delivery of affordable, two storey housing. The proposed amendments to the Currumbine LDP would allow the southern precinct of the Currumbine LDP area to provide a range of single and double storey dwellings.

Following a review of the applicant's original proposal for amendments by the City's Joondalup Design Review Panel (JDRP), modifications have been made by the applicant to address the built form concerns identified by the panel. The provisions are considered acceptable and will continue to provide suitable built form outcomes for the Currumbine LDP area.

The proposed amendments to the Currumbine LDP have not been advertised for public comment as the proposals are considered to reduce any potential impact on the existing adjoining properties and address concerns previously raised during the initial consultation regarding privacy and solar access. The amendments do not require approval from the WAPC.

It is therefore recommended that Council approves the proposed amendments to the Currumbine Local Development Plan.

BACKGROUND

Suburb/Location	Lot 9001 (16) Sunlander Drive, Currambine.
Applicant	Rowe Group.
Owner	Southern Cross Care (WA) Inc.
Zoning	LPS Residential R80. MRS Urban.
Site area	28,651m ² .
Structure plan	Not applicable.

Lot 9001 (16) Sunlander Drive is zoned 'Residential' under the City of Joondalup *Local Planning Scheme No. 3* (LPS3) and has a residential density code of R80. The site is bound by Burns Beach Road to the north, Currambine Boulevard to the south, Silver Fern Avenue to the west and Sunlander Drive to the east (Attachment 1 refers).

Subdivision approval was granted in 2021 in two separate stages for a total of 128 residential lots, 1 mixed use lot and 1 public open space lot. The Currambine LDP applies to 81 of those lots in the southern portion of the site adjoining Mistral Meander. The LDP was required as a condition of the subdivision approval issued by the WAPC where it was required to address the following:

- Building envelope, including but not limited to, building heights, setbacks, boundary walls and overshadowing.
- Private open space.
- Vehicular access and garage location.
- Dwelling orientation to roads and laneways.
- Garage setbacks to laneways.
- Dwelling articulation and fencing requirements for corner lots.

The Currambine LDP was approved by Council at its meeting of 16 August 2022 (CJ119-08/22 refers) subject to modifications, and subsequently approved by the WAPC on 11 October 2022 (Attachment 2 refers). The stage one subdivision has been completed for the lots north of Citadel Way in the Currambine LDP area, with construction underway on several of the lots.

Proposed amendments to the Currambine Local Development Plan

The proposed amendments to the Currambine LDP as originally submitted to the City included:

- the building height permitted on lots 34, 36 - 47 and 73 - 83 amended from mandatory two storey to mandatory single storey dwellings
- the primary orientation and pedestrian access for the dwellings on lots 36 - 47 amended from Citadel Way to Mistral Meander
- the garages permitted on lots 34, 36-47 and 74-81 amended from double garages to single garages
- the setback to garages on lots 34, 36-47 and 73-83 amended from 1 metre to 4.5 metres.

It is noted that the proposal was revised by the applicant following referral to the Joondalup Design Review Panel as outlined below.

DETAILS

The proposed amendments to the Currambine LDP have been prepared and submitted by Rowe Group (planning consultants) on behalf of the property owners Southern Cross Care. The key differences between the approved LDP and the proposed amended LDP following a review by the JDRP are as follows:

- The building height permitted on lots 36 - 48 and 73 - 83 amended from mandatory two storey to mandatory single storey dwellings.
- The garages permitted on lots 74 - 81 amended from double garages to single garages.
- The setback to garages on lots 74 - 81 amended from 1 metre to 4.5 metres.

Joondalup Design Review Panel

The amendments to the Currambine LDP as originally submitted to the City were presented to the JDRP on 31 March 2023 for consideration of the built form and streetscape outcomes that would result from the proposed changes.

The JDRP considered that the approved LDP addressed some of the design challenges for successful medium density housing. The amendments as proposed to the main streetscape of Citadel Way however were not viewed favourably, noting that more detailed visual information would be required to understand the implications on both house designs and the streetscapes.

The JDRP comments were made in the absence of full streetscape perspectives however the panel were concerned about the resultant outcome of the changes on Citadel Way and in the context of retaining walls proposed as part of the lots fronting Citadel Way.

A summary of the JDRP recommendations, as well as the applicant's response to these items is included in the table below.

JDRP recommendation	Applicant response
<p>The proposed amendments to Lots 36 to 47 on the southern side of Citadel Way include: reversing the orientation of dwellings (now with the primary orientation to the south) and for one-storey mandated built form. These proposed amendments cannot be considered as simple interchanges, particularly without a clear understanding of key elements such as the built form, infrastructure and landscape provision and pedestrian accessibility from the streetscapes.</p>	<p>The proposed amendments to dwelling orientation and street setback requirements have now been withdrawn, with an amendment now only sought to reduce minimum/maximum height limit for lots 36-48 to single storey.</p>

JDRP recommendation	Applicant response
<p>The front elevations provided for the proposed one-storey dwellings on lots don't provide much by way of useful information, apart from aesthetics, to justify the change in orientation and design outcome.</p>	<p>Detailed justification for the amendments including construction cost price escalations and market feasibility information together with design rationale were provided to the DRP. Whilst the DRP's role is to offer design advice only, the Design Principles of SPP7.0 include 'Community' which states that <i>"good design achieves a mix of dwelling types, providing housing choice for different demographics, living needs and household budgets, and abilities."</i></p>
<p>Long streetscape elevations and perspectives are required of the built form on lots with boundaries to both Citadel Way and Mistral Meander, including levels and walls if/where applicable.</p>	<p>The Panel's comments are noted. Streetscape elevations requested by the DRP have been provided to the City.</p>
<p>Provide further streetscape elevations of the interface and relationship of currently mandated two storey dwellings on Lots 33 and 48 next to proposed mandated single storey dwellings on Lots 34, 35 and 47.</p>	<p>The Panel's comments are noted. Streetscape elevations requested by the DRP have been provided to the City.</p>
<p>The City advised the DRP about a proposed retaining wall of up to 1.7m height along a portion of the Citadel Way boundary. The DRP is concerned that the result could be a poor, featureless interface with the street.</p>	<p>Whilst noting that the design of the wall is subject to separate approval by the City and does not form part of the LDP, in accordance with DRP advice, the retaining wall is currently in the process of being re-designed to provide pedestrian access to Citadel Way. Fencing above the retaining wall has been carefully designed to provide both visual permeability and natural surveillance of the streetscape, whilst also maintaining a consistent and attractive fencing profile. Indicative streetscapes have been provided to the City to show the complementary design relationship between the retaining wall and fencing.</p>
<p>Clarify what will be the impact on the streetscape of single storey dwellings on higher, retained lots; the high retaining wall; steps and other details of entrances and any additional fence and its uniformity on top.</p>	<p>Revised detailed engineering information is currently being prepared is subject to separate approval by the City's Engineering Department. Streetscape perspectives have been provided to demonstrate how the retaining wall contributes positively to the streetscape and frames an effective transition between the public and private realm.</p>

JDRP recommendation	Applicant response
The DRP queried if steps might be possible to access Lots from Citadel Way, and thereby maintaining primary frontages of dwellings along the entire streetscape of Citadel Way, as per the approved LDP.	As requested, amendments to the retaining wall to provide pedestrian access are currently being pursued and are subject to approval by the City's engineering team.
The change from two-storey to mandated single storey will significantly reduce engagement and passive surveillance opportunities from openings to the street.	Changes are only proposed to 13 of the 38 lots within Citadel Way. However the proposal to reorientate the dwellings has been withdrawn. As such, the proposed LDP will ensure that passive surveillance of the street is maintained.
The proposed amendments will require a high design standard and measures in the LDP to improve the overall outcome for the development. This requires supporting documentation.	The LDP contains a range of carefully crafted provisions that will deliver a high standard of design across all lot and housing typologies within the development precinct. Streetscape perspectives have been prepared to demonstrate the built-form outcomes the LDP provides.
It is understood that Estate Design Guidelines will control aspects of the built form. Details are required.	Design Guidelines are available via the Akin Estate website. These guidelines will be updated should the amended LDP be approved.
The frontages of single storey dwellings could be improved by considering high quality design features and a quality palette of materials and colours.	Noted – these matters are included within the design guidelines.
Further streetscapes are required showing the rear elevations of dwellings and the landscape treatment of gardens that would be highly visible through visually permeable fences (Citadel Way). For example, continuing the design features, materials and colours from the front elevation to the rear elevation could improve the streetscape, particularly of Citadel Way.	Noted, elevations and series of streetscape perspectives have been provided to the City following the DRP's request. The LDP has also been amended, withdrawing all major amendments to the LDP relating to lots 36-48 apart from the change in building height to single storey.

Following the JDRP meeting and to address the concerns raised by the panel, the applicant submitted modifications to the LDP to:

- reorientate the single storey dwellings on lots 36-47 from Mistral Meander back to Citadel Way
- introduce pedestrian access to Citadel Way via stairs in the retaining wall and include visual permeable fencing provisions
- reintroduce the provision for double garages to lots 36-47
- exclude lot 34 and include lot 48 within the mandatory single storey building height provision.

Overall, the modifications made to the Currambine LDP following the meeting of the JDRP (Attachment 3 and 4 refer) are more consistent with the approved LDP while still incorporating the proposed single storey dwellings as part of the housing product. The key proposed amendments to the Currambine LDP are outlined below.

Building height

The applicant states that:

“Consistent with the R-Codes design principles, the building height requirements ensure no adverse impact of the amenity of adjoining properties, provide access to direct sun and minimise the potential for overlooking.”

The applicant has advised that the proposed change in building height from mandatory two storey to a mandatory single storey development on lots 36-48 and 73-83 is primarily driven by construction costs and the viable delivery of two storey housing typologies. The proposed amendment is sought by the applicant to increase the affordability of homes within the precinct and increase the diversity of housing options available.



While the applicant's reasons for the proposed amendments are noted, it is considered that a well-executed primary streetscape to Citadel Way must be demonstrated to allow single storey dwelling options to provide a high level of amenity and passive surveillance to Citadel Way.

Noting that lots 36 - 48 have frontages to both Citadel Way and Mistral Meander, ensuring the dwellings on these lots will retain orientation to Citadel Way will continue to allow single storey dwellings to provide consistent built form, building setbacks, and major openings to Citadel Way. The applicant has prepared amended engineering drawings to enable these lots to gain pedestrian access to Citadel Way (via steps in the retaining wall) and has strengthened front fencing provisions in the Currambine LDP to ensure fencing to Citadel Way is visually permeable. These measures will enhance the engagement of the single storey dwellings with Citadel Way.

The reduction in the building height for dwellings on lots 73 - 83 will also assist in addressing concerns raised during consultation on the approved LDP where adjoining properties were concerned about the impacts of two storey dwellings on their privacy and solar access. The change in building height negates these concerns, whilst also providing a transition from the existing single storey dwellings along Currambine Boulevard to the two storey product being delivered in the remainder of the Currambine LDP area.

Garage requirements

The applicant states that:

“Amendment ensures garage setback requirements for single storey dwellings is consistent with the provisions of the R-Codes, enabling car parking to be provided in front of the garage and maintain clear lines of sight along the street.”

“Amendment ensures all lots/housing typologies satisfy the R-Codes design principles and provide appropriate levels of natural surveillance.”

Changes are proposed to require that the single storey housing proposed on lots 74 - 81 provide maximum 3 metre (single) width garages, and 4.5 metre garage setbacks to lots 73 - 83 from the primary street. The intent of the single width garage provision is to ensure that the garage does not dominate the primary frontage of the (now) single storey dwellings, enable surveillance to the primary street from a major opening and to provide a clear front entrance.

The 4.5 metre garage setback from the street boundary will allow for an informal visitor bay to be provided on the driveway, although noting that a visitor bay is not required by the R-Codes. It is considered that the proposed provisions will provide a suitable streetscape outcome for the single storey dwellings on lots 73 - 83.

Additional minor amendments have been made to the wording of the LDP to ensure the garage setback provisions to all lots are clear and accounted for. These amendments do not alter the outcome of the built form as currently approved.

Other amendments

A number of other minor changes have been made to the Currambine LDP that correct grammatical errors and ensure that the proposed changes to provisions still enable the remainder of the lots to develop as intended. These include amendments to privacy provisions to provide for the consideration of privacy to those single storey dwellings that adjoin two storey dwellings, changes to boundary wall heights for single storey dwellings and designated garage locations.

Fencing provisions have also been introduced to ensure fencing along Citadel Way remains visually permeable in line with the submitted engineering drawings ensuring passive surveillance opportunities remain in perpetuity.

Wording has also been updated to clarify that the Currambine LDP applies to all development within the LDP area, noting that the wording of the approved LDP is contradictory as to whether it applies to all development or only single houses.

Issues and options considered

The options available to Council in considering the amendments to the Currambine LDP are to:

- approve the proposed amendments to the Currambine LDP as submitted
- require the applicant who prepared the Currambine LDP to:
 - modify the plan in the manner specified by the local government
 - resubmit the modified plan to the local governmentor
- refuse to approve the proposed amendments to the Currambine LDP.

The proposed amendments do not require approval from the WAPC.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Planning Scheme No. 3.
Planning and Development (Local Planning Schemes) Regulations
2015.*

10-Year Strategic Community Plan

Key theme Place.

Outcome Well-planned and adaptable - you enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.

Policy *Medium-density Single House Development Standards Local
Planning Policy.*

Planning and Development (Local Planning Schemes) Regulations 2015

Part 6 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the LPS Regulations) outlines the process for determining and amending local development plans.

Once the local government has accepted a local development plan (or amendment) for assessment, the local government must advertise the LDP within 28 days for a minimum of 14 days. It is noted that the City's *Planning Consultation Local Planning Policy* requires an LDP to be advertised for 21 days.

The local government may determine not to advertise a proposed amendment to a local development plan for public comment, if, in the opinion of the local government, the amendment is of a minor nature.

When an area is covered by an approved local development plan, the local government must have due regard to, but is not bound by, the local development plan when deciding an application for development approval.

Planning Bulletin 114/2023

The WAPC's Planning Bulletin 114/2023 provides for advice on the relationship of the R-Codes with pre-existing local planning frameworks, including local development plans, following the introduction of amendments to the R-Codes on 1 September 2023 to introduce provisions for medium density development.

The Planning Bulletin states that existing approved local development plans will remain valid until its expiry date, however the validity period should not be extended. The Department of Planning, Lands and Heritage have confirmed that in the context of the Currambine LDP, amendments to the current LDP will not be required to address the provisions of the revised R-Codes.

Risk management considerations

The applicant has a right of appeal through the *State Administrative Tribunal Act 2004* should Council refuse the proposed amendments to the Currambine LDP or approve the Currambine LDP subject to conditions/modifications that the applicant does not support. The same appeal rights also apply in the event that Council does not determine the Currambine LDP within 60 days from acceptance of the application, or a longer period agreed with the applicant.

Financial / budget implications

The applicant has paid a fee of \$3,613 (including GST) for assessment of the proposed amendments to the Currambine LDP.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

In accordance with the requirements of the LPS Regulations and the City's *Planning Consultation Local Planning Policy*, the original Currambine LDP was advertised for public comments for a period of 21 days concluding on 23 June 2022, by way of the following:

- Letters to properties that directly adjoin the subject site.
- A notice and documents placed on the City's website.

Three submissions were received, comprised of one neutral submission and two objections. The two objections were concerned with two storey dwellings being constructed at the rear of the existing dwellings on Currambine Boulevard and the impact this will have on visual privacy and access to sunlight for the existing properties that front Currambine Boulevard.

The proposed amendments to the Currambine LDP have not been advertised for comment on the basis that the substantive proposed amendment is to reduce building height on some of the lots from two to one storey, including for the lots that directly adjoin the five existing residential dwellings on Currambine Boulevard.

It is considered that the proposed amendment will have a favourable outcome on these existing residential lots by removing potential concerns in regard to privacy and solar access given the new adjoining dwellings will be single storey only.

COMMENT

The Currambine LDP is proposed to be amended to allow a number of single storey dwellings in the southern precinct of the LDP area, in lieu of the precinct consisting of all two storey dwellings.

It is considered that the proposed amendments will continue to ensure an appropriate built form outcome, particularly along Citadel Way which is considered to be the key pedestrian and view corridor within the LDP area. Dwellings will continue to orientate to, and provide pedestrian access from, Citadel Way, and provide a consistent building setback along Citadel Way for both single and two dwellings.

VOTING REQUIREMENTS

Simple Majority.

Cr Raftis left the Chamber at 8.09pm and returned at 8.11pm.

COMMITTEE RECOMMENDATION

The committee recommendation to Council for this Report (as detailed below) was resolved by the Policy Committee at its meeting held on 19 June 2023.

The committee recommendation is the same as recommended by City officers.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ122-07/23)

MOVED Cr McLean, SECONDED Cr Hill that Council pursuant to clause 52 and 59 of schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, APPROVES the amended Currambine Local Development Plan included as Attachment 3 to Report 13.2.

The Motion was Put and

CARRIED (11/1)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Raftis and Thompson.

Against the Motion: Cr Poliwka.

ATTACHMENTS

1. Location Plan [13.2.1 - 1 page]
2. Approved Currambine Local Development Plan [13.2.2 - 3 pages]
3. Amended Currambine Local Development Plan [13.2.3 - 3 pages]
4. Streetscape Renders [13.2.4 - 5 pages]

Disclosures of Impartiality Interest

Name / Position	Cr John Logan.
Item No. / Subject	Item 13.3 - Proposed Amendment to Local Planning Scheme No. 3 - Additional Use 'Grouped Dwelling' to Lot 847 (5) Tuart Road, Greenwood – Consideration Following Advertising.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Logan is a parishioner of All Saints Catholic Church in Greenwood and, as such, is known to a number of the proponents of the application.

Name / Position	Mr Chris Leigh, Director Planning and Community Development.
Item No. / Subject	Item 13.3 - Proposed Amendment to Local Planning Scheme No. 3 - Additional Use 'Grouped Dwelling' to Lot 847 (5) Tuart Road, Greenwood – Consideration Following Advertising.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	The applicant of the scheme amendment and Mr Chris Leigh have previously worked together.

13.3 PROPOSED AMENDMENT TO LOCAL PLANNING SCHEME NO. 3 - ADDITIONAL USE 'GROUPED DWELLING' TO LOT 847 (5) TUART ROAD, GREENWOOD – CONSIDERATION FOLLOWING ADVERTISING

WARD	South-East
RESPONSIBLE DIRECTOR	Mr Chris Leigh Director Planning and Community Development
FILE NUMBER	08097, 101515
AUTHORITY / DISCRETION	Legislative - includes the adoption of local laws, planning schemes and policies.

PURPOSE

For Council to consider a proposed amendment to *Local Planning Scheme No. 3* to allow the additional land use 'Grouped Dwelling' at Lot 847 (5) Tuart Road, Greenwood, following public advertising.

EXECUTIVE SUMMARY

The City has received an application for an amendment to *Local Planning Scheme No. 3* (LPS3), on behalf of the owners of Lot 847 (5) Tuart Road, Greenwood.

The land is zoned 'Private Community Purposes' under LPS3 and currently encompasses Liwara Catholic Primary School and All Saints Catholic Church. The scheme amendment proposes to permit the land use 'Grouped Dwelling' on the site (subject to specific conditions) for the purposes of facilitating dependent persons dwellings to assist in the delivery of specialist disability accommodation. Currently the land use 'Grouped Dwelling' is an 'X' (not permitted) land use in the 'Private Community Purposes' zone.

At its meeting held on 13 December 2023 (CJ197-12/22 refers), Council resolved to advertise the proposed scheme amendment for public comment. The proposed scheme amendment was advertised for a period of 49 days, which includes an additional seven days in recognition of the easter holiday period, closing on 5 May 2023.

A total of 27 submissions were received, consisting of eight submissions of support and 10 submissions objecting to the proposal. Nine submissions from external service authorities were also received which stated either no objection or provided comments relating to future development on the site.

The comments in support of the proposed scheme amendment related to the opportunity for more housing, specifically specialist disability housing. The comments objecting to the proposal primarily relate to the perceived incompatibility of the use in the 'Private Community Purpose' zone, increased traffic and parking, and loss of existing vegetation.

It is the City's view that the proposed 'grouped dwelling' additional use is consistent with the objectives of the zone, and the future scale and form of the grouped dwellings will be effectively controlled by conditions included as part of the scheme amendment to ensure consistency with the surrounding residential context and that the site will remain predominantly used for private community purposes.

It is therefore recommended that Council supports the amendment and forwards it to the Western Australian Planning Commission for consideration.

BACKGROUND

Suburb/Location	Lot 847 (5) Tuart Road, Greenwood.
Applicant	Rise Urban Pty Ltd.
Owner	Roman Catholic Archbishop.
Zoning	LPS Private Community Purpose.
	MRS Urban.
Site area	47,713.8m ² .
Structure plan	Not applicable.

Lot 847 (5) Tuart Road, Greenwood, is zoned 'Private Community Purposes' under LPS3 and does not have a designated residential density code. The lot is bound by the Mitchell Freeway and Kilrenny Park Natural Area to the west, and established residential dwellings to the north, south and east. All Saints Catholic Church and chapel are located primarily on the north-east corner with Liwara Catholic Primary School located to the south within the subject site (Attachment 1 refers).

As part of the adoption of the City's new planning scheme in 2018, the Western Australian Planning Commission (WAPC) requested the City rectify an anomaly in LPS3 which, when gazetted, allowed for residential development within the 'Private Community Purposes' zone, yet no residential density code had been assigned. The WAPC advised that the reason for this request was that the potential for exclusively residential development on a 'Private Community Purposes' zoned lot was not considered to align with the objectives of the zone.

The City subsequently initiated Amendment No. 6 to LPS3 to change the land use permissibility of 'Grouped Dwelling' and 'Multiple Dwelling' from a 'D' (discretionary) land use to an 'X' (not permitted) land use in the 'Private Community Purposes' zone. The amendment was approved by the Minister for Planning in June 2021.

The above amendment did, however, retain two sites where provision was made in LPS3 for residential development to occur subject to specific conditions, including that the predominant use of the sites continue to be for private community purposes.

It is therefore recognised that there are some circumstances where residential land uses may still be appropriate on a lot zoned 'Private Community Purposes' taking into consideration the compatibility of the land use with the existing land uses on site and the surrounding areas.

At its meeting held on 13 December 2023 (CJ197-12/22 refers), Council resolved to proceed to advertise the proposed amendment to LPS3 for 42 days.

DETAILS

Applicant's submission

The proposal seeks to amend LPS3 to include the additional land use of 'Grouped Dwelling' in Table 4 'Specified additional uses for zoned land in Scheme area', subject to meeting the following conditions:

- 1 The purpose/use of the grouped dwellings is restricted to housing for dependent persons as defined in *State Planning Policy 7.3 Residential Design Codes Volume 1* (R-Codes).
- 2 A residential density code of R20 shall apply.
- 3 The predominant form of the development over the site is for Private Community Purposes.

The LPS3 map would also be amended to reflect that an additional land use applies to the site (Attachment 2 refers).

The applicant has indicated that the intent of the proposed amendment is to assist in the delivery of specialist disability accommodation (SDA) for Identitywa, a not-for-profit outreach of the Catholic Archdiocese of Perth. A concept plan has been prepared by the applicant showing the potential future development of the site consisting of two, single storey dwellings, located in the north-westernmost portion of the site with access from Liwara Place (Attachment 3 refers). While the concept plan is attached for reference, it is important to note that this is indicative only and should not be construed as what is necessarily intended to be developed on the site.

The applicant's submission in support of the proposed scheme amendment is summarised as follows:

- There is an identified shortage of specialist disability accommodation (SDA) housing in the northern suburbs resulting in people with disabilities having to be accommodated in aged care facilities (often despite not being elderly), hospitals, or in other unsuitable / undesirable accommodations that does not meet their needs.
- The additional use will make beneficial use of an under utilised portion of the site and create opportunities for SDA housing in accordance with the National Disability Insurance Scheme requirements. The development will alleviate the pressure from aged care facilities and hospitals in the locality.
- The proposal is in accordance with the relevant state and local planning frameworks and does not undermine the objectives of the zone or the amenity and character of the area.

A full copy of the applicant's submission is provided as Attachment 4 to this Report.

Issues and options considered

Key themes and issues

The key themes and issues arising from the submissions received as part of consultation are detailed in Attachment 5 to this Report. The main areas of concern raised in the submissions are outlined below.

Suitability of proposed additional land use

Several submissions received question whether the proposed additional use is appropriate for the zone and whether this proposal will undermine the previous determination considered under Scheme Amendment No. 6 to LPS3.

As per LPS3, the objectives for land zoned for the purposes of 'Private Community Purpose' are as follows:

- To provide for privately owned and operated recreation, institutions and places of worship.
- To provide for a range of privately owned community facilities, and uses that are incidental and ancillary to the provisions of those facilities, which are compatible with surrounding development.
- To provide ensure that the standard development is in keeping with the surrounding development and protects the amenity of the area.

'Grouped Dwelling' is an 'X' (not permitted) land use in the 'Private Community Purposes' zone, however as noted in the 'Background' section above, in considering Scheme Amendment No. 6 to LPS3, it was recognised that residential development may be appropriate as an additional land use for some lots zoned 'Private Community Purposes'. Conditions were imposed to maintain the predominant uses as being for private community purposes, as well as ensuring any future residential development on the sites is appropriately compatible with the uses on and surrounding the sites.

This proposed scheme amendment similarly seeks to allow the additional 'Grouped Dwelling' use with conditions that limit the extent of the use on the site. The conditions will ensure that any development will be compatible with the existing uses on the site and the surrounding residential area, recognising that the uses permitted under LPS3 in the 'Private Community Purpose' zone are to remain the predominant uses. In this case, the remainder of the site will continue to service the existing primary school and church.

The proposed additional use 'grouped dwelling' and associated conditions placed on that use are considered suitable for the subject site as it will allow an opportunity to provide for a diversity in housing accommodation. The proposed amendment to LPS3 to permit grouped dwellings on the site is complementary to the objectives of the 'Private Community Purposes' zone in that it will provide for a privately owned community facility in the form of dependent persons housing.

A residential density code of R20 is intended to apply, ensuring that future development will be consistent with the immediately adjacent and surrounding residential properties which also have a zoning of R20. A further condition of the scheme amendment will ensure that grouped dwellings would not become the predominant use of the site.

Traffic and Parking

A number of the submissions raise concern with the amount of traffic the future development will generate and the resultant impact on the surrounding road system.

The proposed scheme amendment specifies that the grouped dwellings are to be occupied by dependent persons, with the applicant noting that SDA housing is by its nature a low-intensity form of development. While guests and support services may visit the development, given that the residents are unlikely to drive a car, the overall intensity of the use is likely to be less than that of a standard grouped dwelling development.

In the event that the proposed scheme amendment is approved and should a 'Grouped Dwelling' development be proposed to be built on the subject site, a separate development application will need to be made and approved by the City, at which time the potential traffic implications would be assessed in detail, taking into account that specific

proposal. The provision of car parking and vehicle access for any future development will be assessed in accordance with the provisions of the *Residential Design Codes* and any other relevant planning policies that may apply.

Vegetation

Concerns are raised around the loss of vegetation, local fauna habitat, and removal of existing trees on site as a result of the future development if this proposal was to be approved.

The proposed scheme amendment was referred to the Environmental Protection Authority (EPA) which sought additional information from the applicant in the form of an Environmental Assessment Report. Having reviewed the information provided, the EPA advised that a formal assessment of the scheme amendment proposal was not required.

In the event that proposed scheme amendment was to be approved, a development application for any future development will need to be made and assessed against the relevant planning provisions. The provision of landscaping as well as tree retention will be assessed in accordance with these provisions.

It is also noted that, even in the absence of the proposed scheme amendment, the area highlighted in the applicant's concept plans could already be developed for a range of land uses in the 'Private Community Purposes' zone including, for example, additional school or church buildings. Other permissible uses in the zone include 'Medical Centre', 'Residential Aged Care Facility' and 'Cinema/Theatre', all of which are 'D' (discretionary) land uses.

Options

The options available to Council in considering the scheme amendment are to:

- support the amendment to the local planning scheme without modification
- support the amendment to the local planning scheme with modifications
or
- not support the amendment to the local planning scheme.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Planning Scheme No. 3.*
 Planning and Development (Local Planning Schemes) Regulations 2015.
 Planning and Development Act 2005.

10-Year Strategic Community Plan

Key theme	Place.
Outcome	Well-planned and adaptable - you enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.
Policy	Not applicable.

Planning and Development Act 2005 and Planning and Development (Local Planning Schemes) Regulations 2015

Part 5 of the *Planning and Development Act 2005* (Planning Act) along with the *Planning and Development (Local Planning Schemes) Regulations 2015* (LPS Regulations) enables a local government to prepare or amend a local planning scheme and sets out the process to be followed.

Under the LPS Regulations, scheme amendments are classified as being basic, standard or complex amendments. In resolving to proceed with an amendment, Council needs to specify the amendment type and explain the reason for that classification. As the proposed scheme amendment is consistent with the City of Joondalup *Local Planning Strategy* and would not result in any significant environmental, social, economic or governance impacts on the land in the scheme area, it is considered a standard amendment under the LPS Regulations.

At its meeting held on 13 December 2022 (CJ197-12/22 refers), Council resolved to proceed to advertise the proposed amendment to LPS3 for 42 days. The proposed amendment was referred to the EPA to decide whether or not a formal review was necessary. The EPA did not consider that the amendment should be assessed under Part IV Division 3 of the *Environmental Protection Act 1986* and as such public advertising of the proposed scheme amendment was able to proceed.

Upon closure of the advertising period, Council is required to consider all submissions received and to either support the amendment, with or without modifications, or not support the amendment. The decision is then forwarded to the WAPC, which makes a recommendation to the Minister for Planning. The Minister can either grant final approval to the amendment, with or without modifications, or refuse the amendment.

Local Planning Scheme No. 3

Clause 16 (Table 2 Zone objectives) of LPS3 sets out the objectives of the 'Private Community Purposes' zone as follows:

Zone name	Objectives
Private Community Purpose	<ul style="list-style-type: none"> • To provide site for privately owned and operated recreation, institutions, and places of worship. • To provide for a range of privately owned community facilities, and uses that are incidental and ancillary to the provisions of those facilities, which are comparable with surrounding environment. • To ensure that the standard of development is in keeping with surrounding development and protects the amenity of the area.

The relevant objectives of the scheme are then used to determine whether a land use is appropriate.

Clause 19 (1) and Table 4 of LPS3 allow additional uses to be listed for specific sites, which are in addition to those uses that are permissible in the zone in which the site is located.

Risk management considerations

Not applicable.

Financial / budget implications

The applicant has paid fees of \$5,481.89 (including GST) to cover all costs associated with the assessment of the scheme amendment. The fees do not include the cost of advertising as the applicant is required to cover these costs separately.

Regional significance

Not applicable.

Sustainability implications

Environmental

While the concept plan provided is indicative only, it is recognised that development in this location, whether that be grouped dwellings or development associated with the existing school or church, may impact existing vegetation.

The proposed amendment was referred to the EPA who considered that the proposed scheme amendment did not require assessment under Part IV Division 3 of the *Environmental Protection Act 1986*.

In the event that the scheme amendment is approved, a separate development application would need to be made to the City, at which time the applicant is required to address the City's *Environmentally Sustainable Design Policy* and Environmentally Sustainable Design Checklist.

Social

The City's *Access and Inclusion Plan 2021 - 2024* includes the following Outcome and associated Strategy:

- Outcome 8: The City of Joondalup will provide opportunities and advocate for an increase in inclusion.
- Strategy 8.1: Investigate and implement ways of encouraging and supporting access and inclusion in the community.

The City's *Strategic Community Plan 2022-2032* includes the following Outcome within the Place theme:

- 3-3 You enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.

It is considered that the proposed scheme amendment aligns with the above strategic documents and will contribute to an inclusive community by facilitating needs appropriate housing in the City in a residential setting.

Consultation

The amendment was advertised for a period of 49 days, which includes an additional seven days in recognition of the easter holiday period, closing on 5 May 2023, by way of:

- 46 letters to adjoining and nearby landowners of the site
- letters to relevant service authorities
- a letter to the Kingsley & Greenwood Ratepayers Association
- letters to Liwara Catholic Primary School and All Saints Catholic Church
- two signs on the site
- a notice published in the local newspaper
- a notice and documents placed on the City's website
- a notice on the City's social media platforms.

A total of 27 submissions were received, consisting of eight submissions of support and ten submissions objecting to the proposal. Nine submissions from external service authorities were also received which stated either no objections or comments relate to the future development on the site.

The main comments of support raised in the general submissions were as follows:

- The amendment will allow for more housing opportunities which is lacking in the northern suburbs.
- Allows for a beneficial use of an underutilised portion of land.
- The development will alleviate the pressure from aged care facilities and hospitals in the locality.
- The proposal will enhance the area and is an ideal setting for specialist disability housing being next to existing residential properties with the same zoning.
- The development will assist in attenuating the anti-social behaviour which impacts on the church, school, and their surrounding environment.

The main issues of objection were as follows:

- Concerns the proposal will undermine the fundamental strategic purpose of a Local Planning Scheme and the 'Private Community Purposes' zoning objectives.
- Concerns will set a precedent for future amendment applications on the site and other sites.
- The development is counter to the determination of scheme amendment No. 6.
- The development should be located in existing residential areas which are better served by road access.
- Removal of the vegetation on site will result in increased noise exposure given site is adjacent to the Mitchell Freeway.
- Removal of the vegetation on site will result in loss of habitable for the local fauna.
- Concerns that the future development will overlook the existing school and make the school unsafe.
- Concerns that the development will generate more traffic and lead to congestion on Liwara Place and the surrounding area.
- Parking issues associated with the future development.
- There is ample community housing nearby.
- The proposal will deny the school any future possibility of using the land for school purposes.
- Not accessible to public transport, shopping centres and entertainment/outdoor activities within a reasonable distance.
- Construction associated within the development will cause major disruption to the local residents.

A summary of the main comments of support, the main issues raised, and the City's comment is included as Attachment 5 to this Report.

COMMENT

The proposed scheme amendment to allow the additional land use 'Grouped Dwelling' on Lot 847 (5) Tuart Road, Greenwood, is considered appropriate. As the grouped dwellings will be restricted to occupation by dependent persons, would be subject the R20 density code, and would not be permitted to be the predominant use over the site, it is considered that this will ensure that any future SDA development will be complementary to the objectives of the zone as well as being at a scale and form consistent with the surrounding residential context.

The facilitation of SDA housing aligns with the City's strategic plans for the community to have access to diverse housing options in their neighbourhood and to promote inclusion in the community.

On this basis it is recommended that Council supports the proposed scheme amendment.

VOTING REQUIREMENTS

Simple Majority.

COMMITTEE RECOMMENDATION

The committee recommendation to Council for this Report (as detailed below) was resolved by the Policy Committee at its meeting held on 19 June 2023.

The committee recommendation is the same as recommended by City officers.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ123-07/23)

MOVED Cr Logan, **SECONDED** Cr Thompson that Council:

- 1 Pursuant to section 75 of the *Planning and Development Act 2005* and Part 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, **SUPPORTS** Scheme Amendment No. 12 to the *City of Joondalup Local Planning Scheme No. 3* to:

- 1.1 insert additional uses No. 18 in Table 4 'Specified additional uses for zoned land in Scheme area':

No.	Description of land	Additional Use	Conditions
18	Lot 847 (5) Tuart Road, Greenwood	Grouped Dwelling	<p>Purpose/use of the grouped dwellings is restricted to housing for dependent persons as defined in <i>State Planning Policy 7.3 Residential Design Codes Volume 1</i>.</p> <p>A residential density code of R20 shall apply.</p> <p>The predominant form of development over the site is for Private Community Purposes.</p>

- 1.2 amend the Scheme Map to designate the Additional Use by including an 'A18' notation over Lot 847 Tuart Road, Greenwood;
- 2 **AUTHORISES** the affixation of the Common Seal and signing of the documents associated with the Scheme Amendment No. 12 to the *City of Joondalup Local Planning Scheme No. 3*;
- 3 Pursuant to Part 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015* **FORWARDS** Scheme Amendment No. 12 and the Council's decision to the Western Australian Planning Commission for consideration.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Location Plan [**13.3.1** - 1 page]
2. Scheme Amendment Map [**13.3.2** - 1 page]
3. Concept Plans [**13.3.3** - 4 pages]
4. Applicant's Submission [**13.3.4** - 11 pages]
5. Schedule of Submissions [**13.3.5** - 5 pages]

Disclosure of Impartiality Interest

Name / Position	Cr Daniel Kingston.
Item No. / Subject	Item 13.4 - Proposed Revocation of the Marmion Structure Plan and Amendment to Local Planning Scheme No. 3.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	A family member of Cr Kingston may live on Troy Avenue. (Not in structure plan).

13.4 PROPOSED REVOCATION OF THE MARMION STRUCTURE PLAN AND AMENDMENT TO LOCAL PLANNING SCHEME NO. 3

WARD	South
RESPONSIBLE DIRECTOR	Mr Chris Leigh Director Planning and Community Development
FILE NUMBER	84563, 101515
AUTHORITY / DISCRETION	Legislative - includes the adoption of local laws, planning schemes and policies.

PURPOSE

For Council to consider progressing the revocation of the *Marmion Structure Plan*, following advertising of the proposal. The proposed revocation will be progressed by way of an amendment to *Local Planning Scheme No. 3*.

EXECUTIVE SUMMARY

The *Marmion Structure Plan* (the structure plan) was adopted by Council at its meeting of 29 June 2006 (JSC23-06/06 refers) and adopted by the Western Australian Planning Commission (WAPC) on 10 August 2006. The structure plan was developed to facilitate the subdivision, zoning, allocation of density and built form standards of a parcel of land previously owned by the Commonwealth Scientific and Industrial Research Organisation (CSIRO) and used as a marine research facility and laboratory.

As part of the approval of *Local Planning Scheme No. 3* (LPS3), the WAPC advised the City that a separate review of the City's existing structure plan areas should be undertaken to assess whether existing structure plans are still relevant and required.

The structure plan area is zoned 'Urban Development' under LPS3. In accordance with the *Planning and Development (Local Planning Scheme) Regulations 2015* (LPS Regulations), an amendment to LPS3 to incorporate the zonings outlined in the structure plan, and a statement requiring the WAPC to revoke the structure plan being included in the scheme amendment, will facilitate revocation of the structure plan. This type of scheme amendment is classified as a 'basic' amendment and there is no statutory provision to advertise this form of amendment.

The majority of development provisions within the structure plan have either been implemented, or can be addressed through compliance with the *Residential Design Codes* (R-Codes) and *Residential Development Local Planning Policy* (RDLPP), and therefore do not need to be incorporated into LPS3.

However, as the R-Codes do not contain provisions for dual frontage lots, in order to maintain the intent of the structure plan, it is considered appropriate to include the requirements for increased building setbacks and major openings to Cliff Street in LPS3.

Although the formal planning process to revoke a structure plan does not require public consultation, it was considered appropriate to seek feedback on the proposal from the landowners within the structure plan area, prior to preparing a basic amendment to LPS3 to rezone the land within the structure plan area.

At its meeting held on 28 March 2023 (CJ031-03/23 refers), Council considered the intention to revoke the *Marmion Structure Plan* and resolved to advertise the proposal for a period of 14 days.

The advertising period closed on 8 May 2023 and no submissions were received. It is therefore recommended that Council prepares an amendment to LPS3 to rezone the land within the *Marmion Structure Plan* area, which, if approved by the Minister for Planning, will facilitate the revocation of the structure plan.

BACKGROUND

Suburb/Location	Marmion, bound by Leach Street to the west, Cliff Street to the east, Ozone Road to the north and Troy Avenue to the south.
Owner	Various.
Zoning	LPS Urban Development.
	MRS Urban.
Site area	2.1885 hectares.
Structure plan	<i>Marmion Structure Plan</i> .

Local Structure Plan review project

As part of the approval of LPS3, the WAPC advised that a separate review of the City's existing structure plan areas should be undertaken to assess the current status of each structure plan.

This would determine if a structure plan covers an area:

- where development is still occurring, in which case the structure plan is still relevant and needs to be retained
- where development is complete or nearing completion, in which case the structure plan can be revoked via an amendment to LPS3 to rezone the area. This may include introducing relevant development provisions from the structure plan into the scheme.

The City has been progressing this review since LPS3 came into effect with a number of structure plans revoked or in the process of being revoked.

Marmion Structure Plan

The *Marmion Structure Plan* applies to the land bounded by Leach Street to the west, Cliff Street to the east, Ozone Road to the north and Troy Avenue to the south (Attachment 1 refers). The structure plan area was previously owned by the CSIRO and was used as a marine research facility and laboratory from 1975 to 2002. In 2003, the site was sold by CSIRO as it was surplus to their requirements, and in 2005 it was rezoned to 'Urban Development' under the City's former scheme, *District Planning Scheme No. 2* (DPS2) to facilitate residential development and open space.

The structure plan was first adopted by Council at its meeting of 29 June 2006 (JSC23-06/06 refers) and adopted by the WAPC on 10 August 2006. An amendment was subsequently made to the structure plan, removing the requirement to construct a path and associated seating within the public open space. This amendment was adopted by Council at its meeting of 7 August 2007 (CJ154-08/07 refers) and approved by the WAPC on 12 February 2008 (Attachment 2 refers).

The subject area has now been fully developed, with the exception of one lot on Verve Court and one lot on Troy Avenue.

Council considered the intention to revoke the *Marmion Structure Plan* at its meeting held on 28 March 2023 (CJ031-03/23 refers) and resolved the following:

“That Council ADVERTISES the proposal to revoke the Marmion Structure Plan to the landowners within the structure plan area, for a period of 14 days.”

DETAILS

It is proposed that the structure plan be revoked as the estate has now been developed, with the exception of Lot 232 (20) Verve Court and Lot 218 (11) Troy Avenue. Under the LPS Regulations, an amendment to the planning scheme to incorporate the zonings indicated in the structure plan will also revoke the structure plan, provided a statement is included to that effect.

It is proposed to rezone the land within the *Marmion Structure Plan* from ‘Urban Development’ to the ‘Residential’ zone and apply the R20 density code, and to the ‘Environmental Conservation’ reserve (Attachment 3 refers). There are no changes proposed to the existing density code as part of this scheme amendment. This scheme amendment is classified as ‘basic’ under the LPS Regulations as the amendment to the scheme map is consistent with the approved structure plan.

Issues and options considered

Current need for the *Marmion Structure Plan*

The structure plan consists of two zones being ‘Residential’ and ‘Local Reserves – Parks and Recreation’. The latter is a portion of public open space adjoining Ozone Road, named Magpie Reserve.

General development provisions

All 35 residential lots have a density code of R20. There are two remaining lots within the structure plan area which have not been developed.

The five lots within Precinct A have a frontage to both Verve Court and Cliff Street although vehicle access can only be gained from Verve Court. The structure plan requires a minimum 3 metre building setback to Cliff Street, with major openings to be provided to this frontage. The purpose of these provisions was to align with the established streetscape along Cliff Street and to improve passive surveillance over Braden Park located on the eastern side of Cliff Street.

As the R-Codes do not contain provisions that address dual frontage lots, in order to maintain the intent of the structure plan and consistent built form, it is considered appropriate to retain the requirements for increased building setbacks and major openings to Cliff Street. This can be achieved by inserting provisions within Clause 33, Table 8 of LPS3 requiring a minimum building setback of 3 metres to Cliff Street, and the requirement for at least one major opening facing Cliff Street.

All other development provisions within the structure plan have either been addressed, or can be addressed through compliance with the R-Codes and RDLPP, and therefore do not need to be incorporated into LPS3.

Street trees

The structure plan required two existing trees within the Troy Avenue verge to be retained. These trees were retained and protected through the subdivision process, however have not survived in the following years, and are no longer present in the verge. Notwithstanding, two new verge trees have been planted adjoining Lot 219 (13) Troy Avenue.

A further provision of the structure plan required one street tree to be planted for each new lot. Due to concern that the trees may be damaged during the construction of the dwellings, the developer paid a bond to the City to the value of the trees. To date, street trees have not been planted and the City retains the bond. The options for street tree planting, or suitable alternatives, are to be investigated however these investigations would not prevent the structure plan from being revoked.

Roads and footpaths

The structure plan also includes requirements relating to the management of Magpie Park, and street and footpath upgrades, which were addressed at the subdivision stage.

Zoning

The land within the structure plan area is zoned 'Urban Development' under LPS3. The structure plan consists of two zones being 'Residential', with an assigned residential density code of R20, and 'Local Reserves – Parks and Recreation' (Attachments 2 refers).

It is proposed that the area designated as 'Residential' under the structure plan be rezoned from 'Urban Development' to 'Residential R20' under LPS3.

The entirety of the structure plan area was previously zoned 'Local Reserve – Parks and Recreation' under *District Planning Scheme No. 2* (DPS2), before being rezoned to 'Urban Development' in 2005 to facilitate future residential development. The structure plan carried through the 'Local Reserves – Parks and Recreation' zoning for Magpie Park. Noting that this zoning no longer exists under LPS3, and that Magpie Park is a natural area comprised of remnant bushland, it is recommended that this area be rezoned from 'Urban Development' to 'Environmental Conservation' under LPS3.

Land use permissibility

The structure plan states that land use permissibility for the area designated as 'Residential' is to be in accordance with the 'Residential' zone under the scheme. If a scheme amendment is supported and the structure plan revoked, land use permissibility will continue to be in accordance with the 'Residential' zone of LPS3.

Options

The options available to Council in considering the proposed scheme amendment are to:

- prepare the amendment to the local planning scheme without modification
- prepare the amendment to the local planning scheme with modifications
or
- not prepare the amendment to the local planning scheme.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Planning Scheme No. 3.
Planning and Development (Local Planning Schemes) Regulations
2015.*

10-Year Strategic Community Plan

Key theme Place.

Outcome Well-planned and adaptable - you enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.

Policy *Residential Design Codes Volume 1.
Residential Development Local Planning Policy.*

Planning and Development (Local Planning Schemes) Regulations 2015

Clause 28 of the deemed provisions of the LPS Regulations states that structure plans have effect for 10 years from their date of approval. The WAPC may extend the period of approval of a structure plan, revoke a structure plan or amend the planning scheme that covers a structure plan area which allows the structure plan to be revoked.

The LPS Regulations state that an amendment to a scheme map that is consistent with an approved structure plan is a 'basic' amendment if the scheme includes the zones outlined in the structure plan. A statement must be included within the amendment proposal that when the amendment takes effect the approval of the structure plan is to be revoked.

Should Council resolve to prepare the proposed amendment, it is required to be referred to the Environmental Protection Authority (EPA) to decide whether a formal environmental review is required. Should the EPA decide that an environmental review is not required, the City will notify the WAPC of the EPA's decision.

Separately, Council's decision is forwarded to the WAPC, which makes a recommendation to the Minister for Planning. The Minister can either grant final approval to the amendment, with or without modifications, or refuse the amendment, or require the amendment to be advertised for public comment. If the Minister approves the scheme amendment, the *Marmion Structure Plan* will be revoked by the WAPC.

Structure Plan Framework

The Structure Plan Framework outlines the manner and form in which a structure plan and activity centre plan is to be prepared under the LPS Regulations. Clause 16 of the framework outlines that the WAPC may revoke its approval of a structure plan under the deemed provisions of the LPS Regulations and provides for common circumstances in which this would occur, including where the zoning of the land is covered within the scheme and following finalisation of the subdivision of the land.

Local Planning Scheme No. 3

The objectives of the 'Residential' zone in LPS3 are:

Zone name	Objectives
Residential	<ul style="list-style-type: none"> • To provide for a range of housing and a choice of residential densities to meet the needs of the community. • To facilitate and encourage high quality design, built form and streetscapes throughout residential areas. • To provide for a range of non-residential uses, which are compatible with and complementary to residential development.

The objective of the 'Environmental Conservation' reserve in LPS3 is:

Reserve name	Objectives
Environmental Conservation	<ul style="list-style-type: none"> • To identify areas with biodiversity and conservation value, and to protect those areas from development and subdivision.

Risk management considerations

Not applicable.

Financial / budget implications

The City, as the proponent, is required to cover the costs associated with the cost of publishing a notice in the local newspaper and the Government Gazette should the amendment be approved by the Minister for Planning. The cost of publishing the amendment in the local newspaper is approximately \$130 and the cost for publishing within the Government Gazette is approximately \$160.

Regional significance

Not applicable.

Sustainability implications

Not applicable.

Consultation

There are no provisions within the LPS Regulations or Structure Plan Framework which require consultation to be undertaken prior to a structure plan being revoked. However, it was considered appropriate to advise the landowners within the structure plan area of the proposal to revoke the structure plan and obtain any feedback prior to Council making its decision.

The proposal was advertised for a period of 14 days by way of 38 letters to landowners within the structure plan area, closing on 8 May 2023. No submissions were received.

COMMENT

The area encompassed by the *Marmion Structure Plan* is nearing completion with two lots remaining for development. As detailed in this report, it is considered appropriate to incorporate the structure plan requirements for major openings and increased lot boundary setbacks to Cliff Street into LPS3. All other development provisions within the structure plan have either been addressed, or can be addressed through compliance with the R-Codes and RDLPP, and therefore do not need to be incorporated into LPS3.

The proposed scheme amendment to rezone the land within the *Marmion Structure Plan* from 'Urban Development' to 'Residential R20' and the 'Environmental Conservation' reserve in accordance with the structure plan is considered appropriate. In the event that the Minister for Planning approves the scheme amendment, the *Marmion Structure Plan* will be revoked by the WAPC.

No issues were identified through the advertising of the proposal and it is therefore recommended that Council prepares an amendment to LPS3 to rezone the land within the *Marmion Structure Plan* area in accordance with the zones and reserves outlined in the structure plan, and incorporate the structure plan requirements for major openings and increased lot boundary setbacks to Cliff Street into LPS3.

VOTING REQUIREMENTS

Simple Majority.

COMMITTEE RECOMMENDATION

The committee recommendation to Council for this Report (as detailed below) was resolved by the Policy Committee at its meeting held on 19 June 2023.

The committee recommendation is the same as recommended by City officers.

RECOMMENDATION / COUNCIL RESOLUTION (Resolution No: CJ124-07/23)

MOVED Cr Logan, **SECONDED** Cr Thompson that Council:

- 1 In accordance with section 75 of the *Planning and Development Act 2005*, resolves to **PREPARE** an amendment to the City of Joondalup *Local Planning Scheme No. 3* to:
 - 1.1 rezone the land within the *Marmion Structure Plan* from 'Urban Development' to the 'Residential' zone and the 'Environmental Conservation' reserve;

- 1.2 apply the 'R20' residential density code;
- 1.3 insert requirement No. 5 in Table 8 'Site specific development standards and requirements';

Table 8 Site specific development standards and requirements:

No.	Description of land	Requirement
5.	Lot 227 (1) Verve Court, Marmion Lot 226 (3) Verve Court, Marmion Lot 225 (5) Verve Court, Marmion Lot 224 (7) Verve Court, Marmion Lot 223 (9) Verve Court, Marmion	5.1 The minimum setback to Cliff Street for any building is 3 metres (averaging provisions do not apply). 5.2 Buildings shall address both Cliff Street and Verve Court with equal importance by providing habitable rooms and major openings facing both streets.

as shown in Attachment 3 to Report 13.4;

- 2 In accordance with Regulation 35(2) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, DETERMINES that the scheme amendment is a basic amendment as the proposal is consistent with the zones, reserves and residential density codes within the *Marmion Structure Plan*;
- 3 Pursuant to Regulation 35A(a) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, RESOLVES that the amendment to the City of Joondalup *Local Planning Scheme No. 3* include the following statement:
- "Approval of the City's Marmion Structure Plan is to be revoked when this amendment is approved and takes effect.";*
- 4 AUTHORISES the Mayor and the Chief Executive Officer, in accordance with Section 9.49a of the *Local Government Act 1995*, to execute under Common Seal the amendment to the City of Joondalup *Local Planning Scheme No. 3*.

The Motion was Put and CARRIED (11/1) by Exception Resolution after consideration of Item 13.5, page 133 refers.

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

ATTACHMENTS

1. Location Plan [13.4.1 - 1 page]
2. Marmion Structure Plan [13.4.2 - 4 pages]
3. Scheme Amendment Map [13.4.3 - 1 page]

Disclosures of Impartiality Interest

Name / Position	Cr John Chester.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Chester is a Committee Member of The Friends of Yellagonga and the Department of Biodiversity, Conservation and Attractions (DBCA) Yellagonga Regional Park Community Advisory Committee.

Name / Position	Cr Daniel Kingston.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	A number of people who attend Woodvale Baptist are known to Cr. Kingston.

Name / Position	Cr Daniel Kingston.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Kingston is Secretary of The Friends of Yellagonga. The development is adjacent to Yellagonga Regional Park.

Name / Position	Cr John Logan.
Item No. / Subject	Item 13.5 - Proposed Amendment to Local Planning Scheme No. 3 - Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Nature of Interest	Interest that may affect impartiality.
Extent of Interest	Cr Logan is a member of The Friends of Yellagonga Regional Park which is adjacent to the site of which the application relates.

13.5 PROPOSED AMENDMENT TO LOCAL PLANNING SCHEME NO. 3 - LOT 36 (95) AND LOT 28 (67) WOODVALE DRIVE, WOODVALE

WARD	Central
RESPONSIBLE DIRECTOR	Mr Chris Leigh Director Planning and Community Development
FILE NUMBER	22842, 101515
AUTHORITY / DISCRETION	Legislative - includes the adoption of local laws, planning schemes and policies.

PURPOSE

For Council to consider a proposed amendment to *Local Planning Scheme No. 3* to rezone portion of Lot 36 (95) Woodvale Drive, Woodvale, from 'Rural' to 'Residential' and portion of Lot 28 (67) Woodvale Drive, Woodvale, from 'Private Community Purpose' to 'Residential'.

EXECUTIVE SUMMARY

The City has received an application for an amendment to *Local Planning Scheme No. 3* (LPS3) to rezone portion of Lot 36 (95) and portion of Lot 28 (67) Woodvale Drive, Woodvale.

The scheme amendment proposes to rezone the western portion of Lot 36 from 'Rural' to 'Residential' and portion of Lot 28 from 'Private Community Purpose' to 'Residential'. Lot 36 includes two residential dwellings, one of which is vacant, and ancillary structures while Lot 28 encompasses the Woodvale Baptist Church and associated buildings. The proposed scheme amendment applies a residential density coding of R30 to the subject area.

The City's current *Local Planning Strategy* recommends that the two remaining 'Rural' zoned lots within the City be rezoned to reflect the surrounding residential uses. Lot 28 Woodvale Drive was rezoned to 'Private Community Purposes' when LPS3 was gazetted however a portion of Lot 36 Woodvale Drive remains zoned 'Rural', which is inconsistent with the 'Urban' zoning under the Metropolitan Region Scheme. This scheme amendment will address this inconsistency and align with the recommendation of the City's *Local Planning Strategy*.

The proposed scheme amendment is considered a 'standard' amendment in accordance with the *Planning and Development (Local Planning Scheme) Regulations 2015* (LPS Regulations) as the amendment is consistent with the objectives of the 'Residential' zone and aligns with the City's *Local Planning Strategy* and *Metropolitan Region Scheme*.

It is therefore recommended that Council ADOPTS the proposed amendment to LPS3 for the purposes of public advertising.

BACKGROUND

Suburb/Location	Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale.
Applicant	Burgess Design Group.
Owner	Woodvale Baptist Church; K. E. Okely, T.A. Duffy, J.L. Duffy, Estate of Late B.J. Duffy; D. W. Duffy.
Zoning	LPS Rural; Private Community Purpose.
	MRS Urban; Parks and Recreation
Site area	43,648m ² (Lot 36) and 10,717m ² (Lot 28)
Structure plan	Not applicable.

The western portion of Lot 36 (95) Woodvale Drive is zoned 'Rural' under LPS3 and 'Urban' under the *Metropolitan Region Scheme* (MRS). The eastern portion of the lot extends into Yellagonga Regional Park and is reserved 'Parks and Recreation' under the MRS (Attachment 1 refers). Lot 36 comprises of two residential dwellings, one of which is unoccupied, and associated ancillary structures.

Lot 28 (67) Woodvale Drive is zoned 'Private Community Purpose' under LPS3. Lot 28 encompasses Woodvale Baptist Church and associated buildings including an auditorium and caretakers dwelling.

Both lots are bound by Woodvale Drive and Yellagonga Regional Park to the west and east respectively. Lot 36 also adjoins 'The Sanctuary' residential estate to the south which comprises of a mix of R20, R25 and R40 coded lots (Attachment 1 refers).

At the time of adoption of the City's *Local Planning Strategy*, both Lot 36 and Lot 28 were zoned 'Rural' under the then *District Planning Scheme No. 2*, and the strategy noted that the rural zoning was no longer appropriate for these lots in the context of the surrounding residential uses and recommended that the lots be rezoned to reflect the surrounding uses.

While Lot 28 was rezoned to 'Private Community Purpose' as part of the implementation of LPS3, Lot 36 remained zoned 'Rural' as the western portion lot was still zoned 'Rural' under the MRS zoning that applied at the time. The MRS zoning of the western portion of Lot 36 has since been amended to 'Urban'.

DETAILS

Applicant's submission

An application has been received from Burgess Design Group to initiate a standard amendment to LPS3 to rezone the following:

- the western portion of Lot 36 (95) Woodvale Drive from 'Rural' to 'Residential'
- a 967m² portion of Lot 28 Woodvale Drive from 'Private Community Purpose' to 'Residential'
- apply a residential density coding of R30 to the above (Attachment 2 refers).

In relation to Lot 36, the scheme amendment only relates to the portion of the site that is zoned 'Rural' under the LPS3, with the eastern part of the site to remain as the 'Parks and Recreation' reserve under the MRS. The 'Rural' zone represents 24,088m² or 54% of the overall lot area.

The proposed rezoning will facilitate a future residential subdivision of the subject area. The applicant has provided the following rationale for the amendment:

"The proposed density coding of R30 reflects orderly and proper planning given that it will facilitate additional residential development within an established residential area that can be adequately serviced by public transport, community facilities and public open space. The subject land is located adjacent to Yellagonga Regional Park, a Local Distributor Road (being Woodvale Drive), and Woodvale Secondary College. The site is also situated in close proximity to Wanneroo Road (a classified Primary Regional road) and Ocean Reef Road (a classified Other Regional road), both of which provide good regional access to and from the subject land.

This amendment proposes to incorporate a portion of Lot 28 to facilitate a more logical and coordinated approval to subdivision and development. The proposal will allow for that portion of Lot 28, surplus to the needs of the Woodvale Baptist Church to be developed for residential purposes."

A full copy of the applicant's submission is provided as Attachment 3 to this Report.

Issues and options considered

Proposed zoning

In regard to Lot 36 Woodvale Drive, the proposed rezoning from 'Rural' to 'Residential' will remove the inconsistency that currently exists between LPS3 and the MRS and aligns with the recommendation of the *Local Planning Strategy* that the zoning be amended to reflect surrounding residential land uses.

The inclusion of a portion of Lot 28 that is currently zoned 'Private Community Purpose' within the proposed amendment will allow for an unutilised portion of land to assist in facilitating a better subdivision layout for the future development of the site. This portion of land was approved as an overflow parking area and 1:100-year flood retention zone. A report to Council on 13 May 2008 (CJ082-05/08 refers) identified that a car parking surplus exists at the site and aerial imagery confirms the area has never been used for the purposes of parking. Relocation of stormwater drainage systems will be required to be undertaken as part of any future application for subdivision or amalgamation of the subject lots.

It is considered that the proposed 'Residential' zone is compatible with the existing 'Private Community Purpose' zone to the north and 'Residential' zone to the south.

Residential density

The scheme amendment proposes a residential density coding of R30 for the subject area.

Existing residential development directly adjoins the southern boundary of Lot 36 and consists of lots coded 'R20', 'R25' and 'R40'. Concept plans included within the technical appendices submitted by the applicant include an indicative proposal for 38 residential lots, accessed by two intersections on Woodvale Drive and an internal road network (page 6 of Attachment 5 refers). An area of public open space has been indicatively identified at the eastern end of the proposed 'Residential' zone.

The proposed density is considered appropriate and will facilitate additional residential development adjoining an established residential area. The technical reports provide an indicative assumption of 38 residential lots that will correspond well in terms of alignment with the estate to the south. It is noted that the proposed R30 density code will require future development to be assessed against the development provisions of the new *Residential Design Codes, Part C – Medium Density* which provide for more comprehensive requirements in terms of the consideration of house and site design, and the provision of landscaping and trees.

Should the proposed scheme amendment be approved, an application for subdivision will be required to determine the lot layout, internal road network and provision of public open space.

Environmental considerations

As part of the application, the applicant has provided an Environmental Assessment Report. The report author considers that *"the proposed residential development of the 'Urban' portion of the subject land can be done without any significant impact on environmental matters"*.

The key findings of the report are provided on page 17 of Attachment 4 and include the following:

- The surrounding land use does not pose a constraint to the proposed urban development.
- Acid sulphate risks may require further investigation at further development stages.
- Remnant native trees within the Urban zone contain no native understorey species.
- The vegetation in the Urban zone is rated as being in completely degraded condition.
- The vegetation does not meet the definition of any Threatened or Priority Ecological Communities.
- The native trees on the site provide 0.615ha of potential foraging habitat for Black Cockatoos although no evidence of foraging on site was observed. The site contains 20 Marri, Jarrah and Tuart trees that meet the definition of breeding habitat. No actual breeding occurs on the site as none of the trees has any hollows large enough for Black Cockatoos to breed in.
- The site contains a portion of Wallubuenup Swamp which is a Conservation Category Wetland. A wetland management plan is recommended to be prepared as a condition of any future subdivision.

The applicant's submission indicates that the concept plan for the future subdivision will address a number of the environmental elements by maintaining the current Conservation Category Wetland boundary and providing a 50-metre buffer from the wetlands to any buildings, additional public open space and a hard-edge interface (public road) to the public open space. The report also recommends a referral under Commonwealth Environment Protection and Biodiversity Conservation Act be undertaken in parallel with the scheme amendment process.

In accordance with the provisions of the LPS Regulations, should Council resolve to proceed with the proposed amendment for the purposes of public advertising, the amendment is required to be referred to the Environmental Protection Authority (EPA) to decide whether a formal environmental review is necessary.

Transport

The applicant has provided a Transport Impact Assessment (TIA) (Attachment 5 refers) that considers the proposed rezoning in the context of 38 residential lots, with an indicative concept plan proposing two new intersections on Woodvale Drive (Figure 2-3, page 6, Attachment 5). The TIA indicates that such a proposal would result in minimal traffic impacts on the internal and external transport network.

The City has reviewed the TIA and noted some concerns with the alignment of the proposed intersections on Woodvale Drive as proposed in the concept plan, however, is satisfied that the alignment of these intersections can be suitably modified so as not to compromise future residential development at the site. The proposed concept plan also resolves an existing waste vehicle access issue at the adjoining southern residential area by proposing to continue Waterview Drive into the subject site, providing a connection for waste trucks back through to Woodvale Drive.

The suitability of internal road layouts and intersection details will be assessed in detail as part of the assessment of any future application for the subdivision of the site.

The proposed amendment includes rezoning a 967m² unutilised portion of Lot 28 with the applicant advising of the intent to purchase the land and amalgamate this portion with Lot 36. Should the proposal proceed, as part of an application for subdivision, the applicant will need to address the relocation of existing stormwater drainage cells to ensure the system is wholly contained with Lot 28.

Bushfire

A Bushfire Management Plan (BMP) has been prepared to support the proposed scheme amendment as the subject site partially falls within a bushfire prone area. The BMP has been prepared considering the preliminary subdivision plan and as has identified that an area of vegetation within the site will need to be removed or modified as part of bushfire protection measures.

The BMP also recognises that the proposed development provides an area of land within the subject lot that can be considered suitable for development subject to the application of appropriate building design, bushfire construction requirements and the ongoing maintenance of asset protection zones. A notification on the land titles will also be required notifying prospective purchasers that the land is within a bushfire prone area and may be subject to a BMP.

Should the scheme amendment be approved, a detailed assessment of the BMP will be undertaken by the relevant authority as part of the subdivision assessment process. A copy of the BMP is provided as Attachment 6 to this Report.

Options

The options available to Council in considering the proposed scheme amendment are to:

- proceed to advertise the amendment to the local planning scheme without modification
- proceed to advertise the amendment to the local planning scheme with modifications or
- not proceed to advertise the amendment to the local planning scheme.

Should Council adopt the proposed scheme amendment for the purpose of advertising, a further report will be presented to Council following the close of the advertising period.

Legislation / Strategic Community Plan / Policy implications

Legislation *Local Planning Scheme No. 3.*
 Planning and Development (Local Planning Schemes) Regulations 2015.
 Planning and Development Act 2005.

10-Year Strategic Community Plan

Key theme Place.

Outcome Well-planned and adaptable - you enjoy well-designed, quality buildings and have access to diverse housing options in your neighbourhood.

Policy Not applicable.

Planning and Development Act 2005 and Planning and Development (Local Planning Schemes) Regulations 2015

Part 5 of the *Planning and Development Act 2005* along with the *Planning and Development (Local Planning Schemes) Regulations 2015* (LPS Regulations) enables a local government to prepare or amend a local planning scheme and sets out the process to be followed.

Under the LPS Regulations, scheme amendments are classified as being basic, standard, or complex amendments. In resolving to proceed with an amendment, Council needs to specify the amendment type and explain the reason for that classification. As the proposed scheme amendment will result in the subject site aligning with a recommendation of the City's *Local Planning Strategy* and the *Metropolitan Region Scheme*, it is considered a standard amendment under the LPS Regulations.

Should Council resolve to proceed with the proposed amendment for the purposes of public advertising, the proposed amendment is required to be referred to the Environmental Protection Authority (EPA) to decide whether a formal review is necessary. Should the EPA decide that an environmental review is not required, and notifies the City accordingly, then it will be necessary to proceed to advertise the proposed scheme amendment for 42 days.

Upon closure of the advertising period, Council is required to consider all submissions received and decide whether to support the amendment, with or without modifications, or not support the amendment. The decision is forwarded to the WAPC, which makes a recommendation to the Minister for Planning. The Minister can either grant the final approval to the amendment, with or without modifications, or refuse the amendment.

Local Planning Scheme No. 3

Clause 16 (Table 2 Zone objectives) of LPS3 sets out the objectives of the 'Residential' zone as follows:

Zone name	Objectives
Residential	<ul style="list-style-type: none"> • To provide for a range of housing and a choice of residential densities to meet the needs of the community. • To facilitate and encourage high quality design, built form and streetscapes throughout residential areas. • To provide for a range of non-residential uses, which are compatible with and complementary to residential development.

Risk management considerations

Should Council elect not to proceed to advertise the amendment, the amendment will not progress any further unless Council is directed by the Minister for Planning under Section 76 of the *Planning and Development Act 2005*.

Financial / budget implications

The applicant has paid fees of \$7,034.43 (including GST) to cover all costs associated with the assessment of the scheme amendment. The fees do not include the cost of advertising as the applicant is required to cover these costs separately.

Regional significance

Yellagonga Regional Reserve is a class A reserve, bush forever site and a conservation category wetland. Yellagonga Regional Park is jointly managed by the Department of Biodiversity and Conservation and Attractions and both the City of Joondalup and City of Wanneroo. The *Yellagonga Integrated Catchment Management Plan* prepared jointly by the City of Joondalup and the City of Wanneroo provides a comprehensive and integrated approach to managing the Park and its catchment.

The eastern portion of Lot 36 Woodvale Drive is part of the Yellagonga Regional Reserve which is reflected by the 'Parks and Recreation' reservation under the MRS. This portion of land is still in private ownership, however the tenure arrangements may be reviewed by the Western Australian Planning Commission in the event that a subdivision proposal for the western portion of the lot is submitted to the WAPC.

Sustainability implicationsEnvironmental

The applicant provided an Environmental Assessment Report in support of the amendment which assesses the various environmental considerations that apply to the subject site. The report considers that the proposed development of the western portion of the site can be undertaken without any significant impact on environmental matters.

Should Council resolve to proceed with the proposed amendment for the purposes of public advertising, the proposed amendment is required to be referred to the EPA to decide whether a formal environmental review is required. It is also recommended that the Department of Biodiversity Conservation and Attractions and Department of Water and Environmental Regulation are consulted on the proposal.

Consultation

Should Council initiate the proposed scheme amendment, advertising is required for 42 days. In accordance with the LPS Regulations and the City's *Planning Consultation Local Planning Policy*, it is proposed that advertising would be by way of:

- letters to adjoining and nearby landowners
- letters to relevant service authorities
- a sign on the site
- a notice published in the local newspaper
- a notice and documents placed on the City's website
- a notice on the City's social media platforms.

COMMENT

The proposed scheme amendment relating to Lot 36 (95) Woodvale Drive will address an anomaly which currently exists between the City's *Local Planning Scheme No. 3* and the *Metropolitan Region Scheme*. The inclusion of a portion of Lot 28 (67) Woodvale Drive will assist in facilitating a better subdivision outcome for the future residential development.

The proposed scheme amendment is consistent with the recommendation of the City's *Local Planning Strategy* and will assist in providing additional residential development within a well-established network.

It is therefore recommended that Council initiates the proposed amendment to LPS3 for the purposes of public advertising.

VOTING REQUIREMENTS

Simple Majority.

COMMITTEE RECOMMENDATION

The committee recommendation to Council for this Report (as detailed below) was resolved by the Policy Committee at its meeting held on 19 June 2023.

The committee recommendation is the same as recommended by City officers.

OFFICER'S RECOMMENDATION

That Council:

- 1 Pursuant to section 75 of the *Planning and Development Act 2005* and Regulation 35 (1) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, ADOPTS an amendment to the City of Joondalup *Local Planning Scheme No. 3* to:
 - 1.1 rezone the western portion of Lot 36 (95) Woodvale Drive, Woodvale from 'Rural' to 'Residential' and a 967m² portion of Lot 28 (67) Woodvale Drive, Woodvale from 'Private Community Purpose' to 'Residential', as depicted in Attachment 2 to Report 13.5;

1.2 apply a residential density code of 'R30';

for the purpose of public advertising for a period of 42 days;

- 2 In accordance with Regulation 35(2) of the *Planning and Development (Local Planning Schemes) Regulations 2015* DETERMINES that the scheme amendment is a standard amendment as the proposal is consistent with the City of Joondalup *Local Planning Strategy* and the *Metropolitan Region Scheme* zoning for the land.

COUNCIL RESOLUTION

(Resolution No: CJ125-07/23)

MOVED Cr Chester, SECONDED Cr Kingston that Council:

- 1 Pursuant to section 75 of the *Planning and Development Act 2005* and Regulation 35 (1) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, **ADOPTS** an amendment to the City of Joondalup *Local Planning Scheme No. 3* to:
- 1.1 rezone the western portion of Lot 36 (95) Woodvale Drive, Woodvale from 'Rural' to 'Residential' and a 967m² portion of Lot 28 (67) Woodvale Drive, Woodvale from 'Private Community Purpose' to 'Residential', as depicted in Attachment 2 to Report 13.5;
- 1.2 apply a residential density code of 'R30';
- for the purpose of public advertising for a period of 42 days;
- 2 In accordance with Regulation 35(2) of the *Planning and Development (Local Planning Schemes) Regulations 2015* DETERMINES that the scheme amendment is a standard amendment as the proposal is consistent with the City of Joondalup *Local Planning Strategy* and the *Metropolitan Region Scheme* zoning for the land;
- 3 In the event the scheme amendment proposal is approved and the subsequent subdivision of the site does not allow for the retention of the existing Marri, Jarrah and Tuart trees, **REQUESTS** the proponent to appropriately revegetate the eastern portion of Lot 36 (95) Woodvale Drive, Woodvale zoned 'Parks and Recreation' to offset the loss of the trees and **NOTES** that this will be recommended to the Western Australian Planning Commission through a condition of subdivision approval.

The Motion was Put and

CARRIED (11/1)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Raftis and Thompson.

Against the Motion: Cr Poliwka.

ATTACHMENTS

1. Location Plan [13.5.1 - 1 page]
2. Scheme Amendment Map [13.5.2 - 1 page]
3. Applicant's Submission [13.5.3 - 24 pages]
4. Environmental Assessment Report [13.5.4 - 92 pages]
5. Transport Impact Assessment [13.5.5 - 35 pages]
6. Bushfire Management Plan [13.5.6 - 59 pages]

COUNCIL DECISION – ADOPTION BY EXCEPTION RESOLUTION**(Resolution No: CJ126-07/23)**

MOVED Cr Logan, **SECONDED** Cr Thompson that pursuant to the *City of Joondalup Meeting Procedures Local Law 2013 – Clause 4.8 – Adoption by exception resolution*, Council **ADOPTS** the Officer's Recommendation relating to the following items:

12.1, 12.2, 12.3, 12.5, 12.6, 12.8, 13.3 and 13.4.

The Motion was Put and

CARRIED (11/1)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Poliwka, Raftis and Thompson.

Against the Motion: Cr Fishwick.

14 REPORTS OF THE CHIEF EXECUTIVE OFFICER

Nil.

15 URGENT BUSINESS

Nil.

16 MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

16.1 NOTICE OF MOTION NO. 1 - CR JOHN RAFTIS - CUSTOMER COMPLAINTS / FEEDBACK

In accordance with Clause 4.6 of the *City of Joondalup Meeting Procedures Local Law 2013*, Cr John Raftis has given notice of his intention to move the following Motion at the Council meeting to be held on 25 July 2023:

That Council REQUESTS the Chief Executive Officer to prepare a report to Council, investigating options to present a quarterly report to the Audit & Risk Committee providing analysis of:

- 1 Customer complaints;**
- 2 Customer service feedback;**
- 3 Ratepayer / resident feedback and issues registered with the City;**

including highlighting trending issues within the community and within the City organisation.

REASON FOR MOTION

Elected Members receive feedback directly from ratepayers and residents on issues they experience, however with regard to complaints and feedback registered directly with the City, Elected Members are only made aware of responses to particular community consultation processes (via formal reports to Council meetings) and the CEO provides examples of positive feedback received by the City on a weekly basis. This leaves a large gap in relation to the whole range of issues and complaints made directly with the City by residents/ratepayers/customers.

Under s 2.7 of the *Local Government Act 1995*, the Role of the Council includes being responsible for the performance of the local government's functions. In order to fulfill that obligation, the Council should be well informed as to feedback and complaints in relation to the performance of its functions. It cannot rely upon a survey done across limited numbers of respondents every few years.

2.7. Role of Council

- (1) *The Council —*
 - (a) *governs the local government's affairs; and*
 - (b) *is responsible for the performance of the local government's functions.*
- (2) *Without limiting subsection (1), the council is to —*
 - (a) *oversee the allocation of the local government's finances and resources; and*
 - (b) *determine the local government's policies.*

As individual Elected Members, there is a role to represent the interests of electors, ratepayers and residents – it makes logical sense for Elected Members to therefore be adequately informed as to issues being registered directly with the City by these stakeholders.

In addition, to assist in the role of facilitating communication between the community and the Council, it would be helpful to have a formal process of transferring knowledge from the community to the Council.

2.10. Role of councillors

A councillor —

- (a) *represents the interests of electors, ratepayers and residents of the district; and*
- (b) *provides leadership and guidance to the community in the district; and*
- (c) *facilitates communication between the community and the council; and*
- (d) *participates in the local government's decision-making processes at council and committee meetings; and*
- (e) *performs such other functions as are given to a councillor by this Act or any other written law.*

Given the roles of Council and individual Elected Members, it is apparent that being fully informed as to the performance levels of the local government is a vital requirement, and part of that information should include the direct feedback – both negative and positive – from the residents, ratepayers and customers. The Council has a desire and a responsibility to make the best decisions it can and there is an obligation on the CEO under s5.41(b) of the *Local Government Act 1995*, "to ensure that advice and information is available to the Council so that informed decisions can be made".

I believe there is an expectation from within the community that Elected Members are informed on issues when they are raised directly with the City and I think that Elected Members should hold the same expectation.

OFFICER'S COMMENT

A report can be prepared.

RECOMMENDATION / COUNCIL RESOLUTION

(Resolution No: CJ127-07/23)

MOVED Cr Raftis, SECONDED Cr Poliwka that Council REQUESTS the Chief Executive Officer to prepare a report to Council, investigating options to present a quarterly report to the Audit and Risk Committee providing analysis of:

- 1 Customer complaints;**
- 2 Customer service feedback;**
- 3 Ratepayer / resident feedback and issues registered with the City;**

including highlighting trending issues within the community and within the City organisation.

The Motion was Put and

CARRIED (12/0)

In favour of the Motion: Deputy Mayor Logan, Crs Chester, Fishwick, Hamilton-Prime, Hill, Jones, Kingston, May, McLean, Raftis, Poliwka and Thompson.

17 ANNOUNCEMENT OF NOTICES OF MOTION FOR THE NEXT MEETING

Cr Poliwka signaled his intention to submit the following Notices of Motion to the Council Meeting to be held on 22 August 2023 in relation to the following:

- 1 A review of the policy around the use of Glyphosate and consideration of recent data, both national and international.
- 2 Formalising a Buy-Local Policy.
- 3 More detailed and meaningful list of payments reporting based on both individual expenditure and aggregate for year to date, per supplier.
- 4 Development of the carpark area in front of the City of Joondalup Administration Building on Boas Avenue into an activity square, including a performing arts centre.
- 5 Formalising a policy on the use of untied reserve funds.
- 6 Formulating an action plan to activate the Joondalup Central Business District (CBD), east of the Shopping Centre.
- 7 A review of the management of Specified Area Rates (SAR).
- 8 Documenting all legal actions involving the City and creating a schedule of all outstanding items of Council decisions.

18 CLOSURE

There being no further business, the Deputy Mayor declared the meeting closed at 8.49pm the following Elected Members being present at that time:

DEPUTY MAYOR JOHN LOGAN
CR TOM MCLEAN, JP
CR ADRIAN HILL
CR NIGE JONES
CR DANIEL KINGSTON
CR RUSSELL POLIWKA
CR CHRISTOPHER MAY, JP
CR SUZANNE THOMPSON
CR RUSS FISHWICK, JP
CR CHRISTINE HAMILTON-PRIME, JP
CR JOHN RAFTIS
CR JOHN CHESTER

25 JULY 2023 - ORDINARY MEETING OF COUNCIL ATTACHMENTS

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ATTACHMENT NO: 1

Monthly Development Applications Determined - May 2023

Ward	DA Number	Receive Date	Application Details	Property Address	Estimated Cost	Stage Decision
Central	DA22/0511	01/07/22	GROUPED DWELLINGS (two new dwellings and one new two-storey dwelling)	11 Delcomyn Place CRAIGIE WA 6025	\$650,000.00	Approved
Central	DA23/0085	09/02/23	SINGLE HOUSE (additions)	2 Stewart Court KALLAROO WA 6025	\$100,000.00	Approved
Central	DA23/0092	13/02/23	SINGLE HOUSE (additions)	57 Bridgewater Drive KALLAROO WA 6025	\$200,000.00	Approved
Central	DA23/0183	22/03/23	SINGLE HOUSE (carport & shed addition)	209 Camberwarra Drive CRAIGIE WA 6025	\$18,000.00	Approved
Central	DA23/0202	27/03/23	SINGLE HOUSE (additions)	48 Gradient Way BELDON WA 6027	\$60,000.00	Approved
Central	DA23/0238	11/04/23	SINGLE HOUSE (outbuilding addition)	1 Galen Rise WOODVALE WA 6026	\$15,000.00	Approved
Central	DA23/0292	01/05/23	SINGLE HOUSE (patio addition)	18A Mandalay Place CRAIGIE WA 6025	\$147.00	Approved
Central	DA23/0333	11/05/23	SINGLE HOUSE (carport addition)	2 Cygnet Street KALLAROO WA 6025	\$9,350.00	Approved
North	DA16/1470.01	03/03/23	HOTEL (extension of time)	4 Kyle Court JOONDALUP WA 6027	\$0.00	Approved
North	DA23/0062	30/01/23	SINGLE HOUSE (patio addition)	10 Renoir Lane CURRAMBINE WA 6028	\$13,200.00	Approved
North	DA23/0099	09/02/23	SINGLE HOUSE (new two storey dwelling)	43 Varadero Road BURNS BEACH WA 6028	\$400,000.00	Approved
North	DA23/0250	14/04/23	FAST FOOD OUTLET (signage and additions)	Lakeside Shopping City 420 Joondalup Drive JOONDALUP WA 6027	\$618,620.00	Approved
North	DA23/0262	20/04/23	SINGLE HOUSE (patio addition)	22 Nashville Loop CURRAMBINE WA 6028	\$8,000.00	Approved
North	DA23/0304	03/05/23	SINGLE HOUSE (outbuilding)	33 Daytona Drive ILUKA WA 6028	\$32,000.00	Approved
NorthCentr	DA22/0737	15/09/22	GROUPED DWELLING (new dwelling)	16A Edgewater Drive EDGEWATER WA 6027	\$230,000.00	Approved
NorthCentr	DA22/1013	23/12/22	GROUPED DWELLING (new three storey dwelling with undercroft)	9 Korella Street MULLALOO WA 6027	\$1,300,000.00	Approved
NorthCentr	DA23/0121	24/02/23	GROUPED DWELLING (new dwelling)	27A Indooroopilly Place CONNOLLY WA 6027	\$350,000.00	Approved
NorthCentr	DA23/0158	14/03/23	SINGLE HOUSE (additions)	23 Siren Road HEATHRIDGE WA 6027	\$20,000.00	Approved
NorthCentr	DA23/0209	29/03/23	SINGLE HOUSE (site works and front fence addition)	69 Marina Boulevard OCEAN REEF WA 6027	\$7,200.00	Approved
NorthCentr	DA23/0246	13/04/23	SINGLE HOUSE (carport addition)	11 Parkland Close EDGEWATER WA 6027	\$7,875.00	Approved
NorthCentr	DA23/0253	14/04/23	SINGLE HOUSE (garage addition)	3 David Street MULLALOO WA 6027	\$45,000.00	Approved
NorthCentr	DA23/0260	17/04/23	SINGLE HOUSE (carport addition)	11 Chiton Place HEATHRIDGE WA 6027	\$7,000.00	Approved
NorthCentr	DA23/0264	17/04/23	SINGLE HOUSE (carport addition)	67 Scaphella Avenue MULLALOO WA 6027	\$13,225.00	Approved
NorthCentr	DA23/0282	26/04/23	SINGLE HOUSE (garage addition)	1 Dennison Drive OCEAN REEF WA 6027	\$2,000.00	Approved
NorthCentr	DA23/0300	03/05/23	SINGLE HOUSE (carport addition)	17 Dardanus Way HEATHRIDGE WA 6027	\$12,800.00	Approved

ATTACHMENT NO: 1

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Ward	DA Number	Receive Date	Application Details	Property Address	Estimated Cost	Stage Decision
South	DA19/0125.02	02/04/23	SINGLE HOUSE (additions - extension of time)	28 Braden Way MARMION WA 6020	\$150,000.00	Approved
South	DA22/0830	17/10/22	GROUPED DWELLING (additions)	19B Beach Road MARMION WA 6020	\$300,000.00	Approved
South	DA22/0955	28/11/22	SINGLE HOUSE (outbuilding additions)	1 Bunthorne Court DUNCRAIG WA 6023	\$4,000.00	Approved
South	DA23/0060	29/01/23	GROUPED DWELLING (siteworks and additions)	23A Glenn Place DUNCRAIG WA 6023	\$18,000.00	Approved
South	DA23/0075	02/02/23	GROUPED DWELLINGS (new two storey dwelling and additions to existing dwelling)	20 Chalcombe Way WARWICK WA 6024	\$400,000.00	Approved
South	DA23/0199	25/03/23	RESTAURANT/CAFE (additions - Community Coffee)	Duncraig Shopping Centre 50 Marri Road DUNCRAIG WA 6023	\$100,000.00	Approved
South	DA23/0223	31/03/23	SHOPPING CENTRE (signage additions and exterior painting)	Duncraig Shopping Centre 50 Marri Road DUNCRAIG WA 6023	\$150,000.00	Approved
South	DA23/0247	14/04/23	SINGLE HOUSE (carport addition)	5 Didcot Street WARWICK WA 6024	\$7,566.00	Approved
South	DA23/0248	13/04/23	SINGLE HOUSE (retaining wall and front fence addition)	31 Drummond Crescent DUNCRAIG WA 6023	\$15,000.00	Approved
South	DA23/0290	28/04/23	SINGLE HOUSE (patio addition)	8 Wade Close DUNCRAIG WA 6023	\$10,250.00	Approved
South	DA23/0362	06/04/23	RESTAURANT/CAFE (alfresco activities)	1/6 Glengarry Drive DUNCRAIG WA 6023	\$10,000.00	Approved
SouthEast	DA23/0025	16/01/23	SINGLE HOUSE (additions)	94 Twickenham Drive KINGSLEY WA 6026	\$200,000.00	Approved
SouthEast	DA23/0041	24/01/23	SINGLE HOUSE (additions)	105 Moolanda Boulevard KINGSLEY WA 6026	\$50,000.00	Approved
SouthEast	DA23/0111	21/02/23	HOME BUSINESS (change of use from single house)	9 Bromley Place KINGSLEY WA 6026	\$5,000.00	Approved
SouthEast	DA23/0151	07/03/23	SINGLE HOUSE (new dwelling)	93B Wahroonga Way GREENWOOD WA 6024	\$345,436.00	Approved
SouthEast	DA23/0170	09/03/23	SINGLE HOUSE (carport addition)	18 Kendal Way GREENWOOD WA 6024	\$14,850.00	Approved
SouthEast	DA23/0175	21/03/23	GROUPED DWELLING (additions)	14 Dericote Way GREENWOOD WA 6024	\$19,300.00	Approved
SouthEast	DA23/0185	22/03/23	SINGLE HOUSE (patio addition)	2 Alderhaus Drive KINGSLEY WA 6026	\$5,845.00	Approved
SouthEast	DA23/0211	31/03/23	SINGLE HOUSE (siteworks)	5 Skye Court GREENWOOD WA 6024	\$4,800.00	Approved
SouthEast	DA23/0259	17/04/23	SINGLE HOUSE (additions and siteworks)	16 Clinton Street KINGSLEY WA 6026	\$150,000.00	Approved
SouthEast	DA23/0266	24/04/23	SINGLE HOUSE (outbuilding)	5 Edmonton Place KINGSLEY WA 6026	\$10,000.00	Approved
SouthEast	DA23/0268	21/04/23	SINGLE HOUSE (retaining)	5 Adare Way KINGSLEY WA 6026	\$50,000.00	Approved
SouthEast	DA23/0315	04/05/23	SINGLE HOUSE (carport addition)	6 Norbury Way GREENWOOD WA 6024	\$12,000.00	Approved
SouthWest	DA22/0202	16/03/22	SINGLE HOUSE (patio and front fence addition - retrospective)	2 Cotton Place HILLARYS WA 6025	\$4,000.00	Approved
SouthWest	DA22/0711	06/09/22	GROUPED DWELLING (new dwelling)	9 Carnegie Way PADBURY WA 6025	\$300,000.00	Approved
SouthWest	DA22/0998	19/12/22	SINGLE HOUSE (new two-storey dwelling)	19 Sweeney Way PADBURY WA 6025	\$586,947.00	Approved
SouthWest	DA23/0091	10/02/23	SINGLE HOUSE (siteworks)	6 Hanley Place HILLARYS WA 6025	\$10,000.00	Approved

ATTACHMENT NO: 1

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Ward	DA Number	Receive Date	Application Details	Property Address	Estimated Cost	Stage Decision
SouthWest	DA23/0106	15/02/23	SINGLE HOUSE (new dwelling)	59 Ellison Drive PADBURY WA 6025	\$317,447.00	Approved
SouthWest	DA23/0140	07/03/23	SERVICE STATION (signage and additions)	Service Station 2 Warburton Avenue PADBURY WA 6025	\$50,000.00	Approved
SouthWest	DA23/0180	22/03/23	SINGLE HOUSE (ancillary dwelling)	240 Gibson Avenue PADBURY WA 6025	\$162,000.00	Approved
SouthWest	DA23/0220	30/03/23	SINGLE HOUSE (modification to DA21/1225)	3 Urbahns Way HILLARYS WA 6025	\$150,000.00	Approved
SouthWest	DA23/0236	10/04/23	SINGLE HOUSE (addition)	55 Chandler Road SORRENTO WA 6020	\$30,000.00	Approved
SouthWest	DA23/0237	10/04/23	SINGLE HOUSE (additions)	28 Gregory Avenue PADBURY WA 6025	\$130,000.00	Approved
SouthWest	DA23/0239	12/04/23	SINGLE HOUSE (additions)	31 Barclay Avenue PADBURY WA 6025	\$36,000.00	Approved
SouthWest	DA23/0249	14/04/23	SINGLE HOUSE (patio addition)	24 Absolon Way HILLARYS WA 6025	\$22,995.00	Approved
SouthWest	DA23/0269	19/04/23	SINGLE HOUSE (outbuilding)	205 Flinders Avenue HILLARYS WA 6025	\$8,000.00	Approved
SouthWest	DA23/0274	21/04/23	SINGLE HOUSE (patio addition)	9 Brockwell Place HILLARYS WA 6025	\$50,000.00	Approved
SouthWest	DA23/0284	26/04/23	SINGLE HOUSE (new dwelling)	9 Johnston Way PADBURY WA 6025	\$394,892.00	Approved
SouthWest	DA23/0359	18/05/23	GROUPED DWELLING (addition)	2/35 Waterston Gardens HILLARYS WA 6025	\$35,640.00	Approved
64					\$8,439,385.00	

Monthly Subdivision Application Recommendations to Western Australian Planning Commission - May 2023

Ward	SU Number	Received Date	Application Details	Property Address	Recommendation
Central	SU142-23	16/03/23	11 strata residential lots	81 Revitalise Circuit CRAIGIE WA 6025	NotSupport
Central	SU163333	09/03/23	2 additional residential lots	81 Revitalise Circuit CRAIGIE WA 6025	NotSupport
Central	SU163507	20/04/23	1 additional residential lot	21 Glenbank Crescent KALLAROO WA 6025	NotSupport
Central	SU202-23	04/04/23	2 strata residential lots	299 Camberwarra Drive CRAIGIE WA 6025	Support
Central	SU228-23	18/04/23	2 strata residential lots	257 Dampier Avenue KALLAROO WA 6025	Support
Central	SU278-23	08/05/23	2 strata residential lots	35 Mayflower Crescent CRAIGIE WA 6025	NotSupport
Central	SU298-23	15/05/23	2 strata residential lots	28 Bullara Road CRAIGIE WA 6025	NotSupport
North	SU163427	28/03/23	20 residential lots	1511 Marmion Avenue BURNS BEACH WA 6028	NotSupport
NorthCentr	SU163580	09/05/23	1 additional residential lot	4 Logue Court HEATHRIDGE WA 6027	NotSupport
NorthCentr	SU179-23	23/03/23	2 strata residential lots	3 Caprice Place HEATHRIDGE WA 6027	Support
NorthCentr	SU245-23	24/04/23	2 strata residential lots	4 Volunteer Place OCEAN REEF WA 6027	Support
NorthCentr	SU247-23	27/04/23	2 strata residential lots	4 Squatter Court EDGEWATER WA 6027	Support
NorthCentr	SU302-23	16/05/23	2 strata residential lots	28 Cliffside Trail EDGEWATER WA 6027	Support
SouthEast	SU223-23	17/04/23	2 strata residential lots	39 Kingsley Drive KINGSLEY WA 6026	Support
SouthWest	SU163522	24/04/23	1 additional residential lot	10 Monkhouse Way HILLARYS WA 6025	Support
SouthWest	SU199-23	03/04/23	2 strata residential lots	59 Cook Avenue HILLARYS WA 6025	Support
16					



MINUTES

ORDINARY COUNCIL MEETING

TIME: 6.30 PM

01 JUNE 2023

TOWN OF CAMBRIDGE

*Constituent Members: Cities of Perth, Joondalup, Stirling, Vincent and Wanneroo
Towns of Cambridge and Victoria Park*



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1 DECLARATION OF OPENING / ANNOUNCEMENT OF VISITORS

The Chair declared the meeting open at 6.31 pm.

2 ATTENDANCE/APOLOGIES/LEAVE OF ABSENCE

Councillor Attendance

Cr K Vernon (Chair)	Town of Victoria Park
Cr A Jacob JP (Deputy Chair)	City of Joondalup
Cr C May	City of Joondalup
Cr L Gobbert, JP	City of Perth
Cr J Ferrante	City of Stirling
Cr C Hatton <i>arrived 6.32 pm</i>	City of Stirling
Cr Lisa Thornton	City of Stirling
Cr A Castle	City of Vincent
Cr F Cvitan, JP	City of Wanneroo
Cr P Miles	City of Wanneroo
Cr K Shannon	Town of Cambridge

MRC Officers

Mr S Cairns (Chief Executive Officer)
Ms A Arapovic (Finance Manager)
Mr A Griffiths (Project and Procurement Manager)
Mr M Hattingh (Operations Manager)
Ms S Cherico (Human Resources Officer)
Ms D Toward (Executive Support)

Apologies

Cr E Re City of Stirling

Approved leave of absence

Nil

Member Council Observers

Mr G Tuffin	Town of Cambridge
Mr N Claassen	City of Joondalup
Mr M Pennington	City of Joondalup
Mr G Taylor	City of Perth
Mr A Murphy	City of Stirling
Mr H Singh	City of Wanneroo
Mr A Kowero	City of Wanneroo
Mr J Wong	Town of Victoria Park

Visitors

Nil

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3 DECLARATION OF INTERESTS

Nil

4 PUBLIC QUESTION TIME

Public question time opened at 6.33 pm
There were no members of the public present.
Public question time closed at 6.33 pm

5 ANNOUNCEMENT BY THE PRESIDING PERSON

Nil

6 APPLICATION FOR LEAVE OF ABSENCE

Nil

7 PETITIONS/DEPUTATIONS/PRESENTATIONS
--

Nil

8 CONFIRMATION OF MINUTES OF PREVIOUS MEETINGS

8.1 ORDINARY COUNCIL MEETING – 27 APRIL 2023

The Minutes of the Ordinary Council Meeting held on 27 April 2023 have been printed and circulated to members of the Council.

RESPONSIBLE OFFICER RECOMMENDATION

That the Minutes of the Ordinary Meeting of Council held on 27 April 2023 be confirmed as a true record of the proceedings.

Moved Cr Vernon, seconded Cr Hatton

RESOLVED

That the recommendation be adopted
(CARRIED UNANIMOUSLY 11/0)

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9 CHIEF EXECUTIVE OFFICER REPORTS	
9.1	FINANCIAL STATEMENTS FOR THE MONTH ENDED 30 APRIL 2023
File Number:	GF-23-000000019
Appendix(s):	Appendix No. 1 and 2.
Date:	12 MAY 2023
Responsible Officer:	FINANCE MANAGER

SUMMARY

The purpose of this report is to provide financial reporting in line with statutory requirements which provides useful information to stakeholders of the Council.

BACKGROUND

Reporting requirements are defined by Financial Management Regulations 34 of the Local Government (Financial Management) Regulations 1996.

The financial statements presented for each month consist of:

- Statement by Comprehensive Income by Nature and Type
- Operating Income Statement by Program
- Statement of Financial Activity
- Statement of Reserves
- Statement of Investing Activities
- Tonnage Report

DETAIL

The Financial Statements for the month ended 30 April 2023 is attached at **Appendix No. 1** to this Item. The Tonnage Report for the month up to 30 April 2023 is attached at **Appendix No. 2**.

The complete suite of Financial Statements which includes the Income Operating Statements, Statement of Financial Position, Statement of Financial Activity and other related information are reported on a monthly basis.

The estimates for Provisions for Amortisation of Cell Development, Capping and Post Closure expenditure are based on the estimated rates per tonne calculated with reference to estimated excavation cost of various stages of the landfill and the life of the landfill. An adjustment is made (if necessary) at the end of the year based on actual tonnages on a survey carried out to assess the "air space" remaining and other relevant information.

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Summary of results for the year to date period ended 30 April 2023

	YTD Budget	YTD Actual	Variance
	t	t	t
Tonnes – Members	145,950	143,648	(2,302)
Tonnes – Others	40,913	41,890	977
TOTAL TONNES	186,863	185,538	(1,325)
	\$	\$	\$
Revenue – User Charges	27,718,613	27,455,138	(263,475)
Revenue – Other	5,483,102	5,579,297	96,196
TOTAL REVENUE	33,201,715	33,034,435	(167,279)
Expenses	(29,039,069)	(29,073,481)	(34,411)
NET SURPLUS/(DEFICIT)	4,162,646	3,960,954	(201,691)

Mindarie Regional Council financial position for the period ending 30 April 2023 reflects its performance from 1 July 2022 to 30 April 2023. Council's operations have been conducted in line with the adopted budget. As a result of the MRC's mid-year budget review and budget adjustments approved at the OCM 23 February, also in line with materiality adopted by the Council, variances below \$50k do not attract comments.

User charges

Total user charges are \$263k below year to date budget mainly due to less tonnages received from some of the Member Councils.

Member Councils have delivered 2,302t below budgeted for the year abated by 977 higher tonnes from casual and trade customers. The trade customer tonnes year to date include 27,358 tonnes delivered through the waste discounted rate tender.

Other Revenue

A positive variance of \$96k exists in other revenue/charges due to the continuation of strong interest rates in cash savings, cash management accounts and term deposits.

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Expenses

Depreciation is \$190k above budget mainly due to revaluation of RRF infrastructure assets end of last financial year that impacted opening balances and the depreciation in this financial year.

DEP landfill levy is \$90k below budget which is tonnage driven.

The net result variance is \$201,691 or 5% against year to date budget.

VOTING REQUIREMENT

Simple Majority

RESPONSIBLE OFFICER RECOMMENDATION

That Council:

Receive the Financial Statements set out in Appendix No. 1 for the month ended 30 April 2023.

Moved Cr Cvitan, seconded Cr Ferrante

RESOLVED

That the recommendation be adopted

(CARRIED UNANIMOUSLY 11/0)

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9.2	LIST OF PAYMENTS MADE FOR THE MONTH ENDED 30 April 2023
File No:	GF-23-000019
Appendix(s):	Appendix No. 3
Date:	12 May 2023
Responsible Officer:	Finance Manager

SUMMARY

The purpose of this report is to provide details of payments made during the periods identified above. This is in line with the requirement under the delegated authority to the Chief Executive Officer (CEO), that a list of payments made from the Municipal Fund since the last Ordinary Council meeting be presented to Council.

COMMENT

The lists of payments for the months ended 30 April, 2023 is at **Appendix 3** to this Item and presented to Council for noting. Payments have been made in accordance with the delegated authority to the CEO which allows payments to be made between meetings. At the Ordinary Council Meeting held on 29 September 2022, the Council delegated to the CEO the exercise of its power to make payments from the Municipal Fund. In order to satisfy the requirements of Clause 13(2) of the Local Government (Financial Management) Regulations, a list of payments made must be submitted to the next Council meeting following such payments.

It should be noted that generally all payments are GST inclusive and the Mindarie Regional Council is able to claim this tax as an input credit when GST remittances are made each month to the Australian Tax Office.

Months Ended	Account	Vouchers	Amount
30 April 2023	General Municipal	Cheques	\$660.00
		EFT	\$3,903,408.58
		DP	\$396,265.14
		Inter account transfers	\$0.00
		Total	\$4,300,333.72

VOTING REQUIREMENT

Simple Majority

RESPONSIBLE OFFICER RECOMMENDATION

That Council:

Note the list of payments made under delegated authority to the Chief Executive Officer, for the month ended 30 April 2023.

Moved Cr May, seconded Cr Vernon

RESOLVED

That the recommendation be adopted

(CARRIED UNANIMOUSLY 11/0)

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9.3	REVIEW OF THE MRC'S CORPORATE BUSINESS PLAN
File No:	GF-23-0000202
Appendix(s):	Appendix 4 – Draft Corporate Business Plan Appendix 5 – Draft Long Term Financial Plan Appendix 6 – Draft Asset Management Plan Appendix 7 – Draft Workforce Plan
Date:	19 May 2023
Responsible Officer:	Chief Executive Officer

SUMMARY

This report presents the Mindarie Regional Council's (MRC) Corporate Business Plan and associated informing plans to Council for consideration as required under the *Local Government Act 1995* and the *Local Government (Administration) Regulations 1996*.

BACKGROUND

The MRC's current Corporate Business Plan was adopted by Council at its meeting on 06 April 2017.

The Corporate Business Plan is required to be reviewed every four years under the requirements of the *Local Government (Administration) Regulations 1996*. A review was due in 2021; a point acknowledged by the MRC in 2021 when the MRC informed the Department of Local Government, Sport and Cultural Industries that the MRC was not able to meet its obligation under the Regulations to carry out a 4 yearly review of the Strategic Community Plan due to a number of matters.

On 27 April 2023 Council adopted the Strategic Community Plan 2023-2032 (SCP) providing the MRC with its long term strategy which has driven the development of the new Corporate Business Plan together with new informing plans: Long Term Financial Plan, Asset Management Plan and Workforce Plan.

DETAIL

The Integrated Planning and Reporting Framework is the overarching framework which encompasses the Strategic Community Plan, Corporate Business Plan, Long Term Financial Plan and the Workforce Plan. These are a set of strategic and operational documents that all Local Governments in Western Australia are required to follow.

The Corporate Business Plan is a planning tool that translates the priorities of the Strategic Community Plan into projects and services and is informed by the Long Term Financial Plan, Asset Management Plan and Workforce Plan. The Draft Corporate Business plan and the draft informing plans are presented to Council for consideration and endorsement and outline the way forward for the MRC and the mechanism by which it will deliver on the MRCs **Vision**, '*Collaborating for a regional Circular Economy*', and **Mission**, '*To deliver sustainable waste management options for members*'.

INFORMING PLANS:

The Long Term Financial Plan (LTFP)

The LTFP is based on the MRC's SCP 2023-32. The LTFP estimates are an integral part of Council's strategic planning process, informing the Corporate Business Plan which activates SCP objectives. It indicates the MRC's long-term financial sustainability, allows early identification of financial issues and their longer-term impacts.

It has been prepared based on a number of objectives and assumptions that are outlined in this document. Strategies, priorities, issues, and risks are all dynamic influences in relation to any planning. These estimates are set against economic uncertainty and will be reviewed every twelve months to reflect the prevailing economic conditions and changing demands placed on the MRC.

Asset Management Plan (AMP)

The AMP is based on the MRC's SCP 2023-32. Aligning the AMP needs around the MRC's service delivery, future endorsed projects and initiatives and the asset life cycle ensures that asset needs are met as service and project requirements change.

The Workforce Plan (WP)

The WP is based on the MRC's SCP 2023-2032. The WP aligns the organisation's workforce needs with the MRC's current service delivery and operational requirements, as defined in the CBP.

STRATEGIC IMPLICATIONS

The Integrated Planning Framework ensures that the future of local governments is set using long term strategies backed by shorter termed implementation plans.

An important element of the Framework is the need for the Plans to be reviewed regularly, accepting that the services required to meet the needs of the member councils change over time, and ensuring that the Plans keep up with these changes and remain relevant over their life span.

It is a regulatory requirement that all Local Governments review their Corporate Business Plans annually. The annual review will ensure that the MRC remains focussed on its future. The plan will be referenced in reports to council and used in discussions with the Strategic Working Group.

FINANCIAL IMPLICATIONS

The Corporate Business Plan 2023-2027 details the services, projects and capital programs to be delivered, and is informed by the Long Term Financial Plan and annual budgets covering the period of the plan.

COMMENT

The Corporate Business Plan 2023-2027 outlines how the MRC will use its resources over the next 4 years and is guided by the Long Term Financial Plan, Asset Management Plan and Workforce Plan. Together, these will be used to drive improvements and efficiencies to benefit its Members in line with the MRC's newly endorsed SCP, **Vision** 'Collaborating for a regional Circular Economy' and **Mission**, 'To deliver sustainable waste management options for members'.

Through the strategies and performance targets set within the Plan, the MRC will seek to continue to deliver the best-practice waste management services currently delivered at the Tamala Park Waste Management Facility and provide access to the best possible options available which align with the requirements of the Western Australian Waste Avoidance and Resource Recovery Strategy 2030 (WARR Strategy) and all member councils' DWER-approved Waste Plans.

The Tamala Park Landfill's operational life is due to end during the period of the MRC's newly endorsed SCP, and this draft CBP contains actions which will ensure that this is managed efficiently alongside identifying what the future holds for the site, and how that will be delivered. Actions are also included within the Plan which will set a baseline for the organisation's environmental impact, and provide impetus to identify future actions to reduce this.

The plan will be updated annually, to reflect progress towards the targets stated within it, the ever-changing environment in which the MRC operates, all in alignment with the direction set by council through the SCP.

LEGAL COMPLIANCE

Under *Section 5.56 of the Local Government Act 1995*, local governments are required to 'plan for the future of the district'. The *Local Government (Administration) Regulations (1996) 19DA* require local governments to have a CBP to cover a period of 4 years, reviewed annually.

Extract of *LG (Admin) Regulations 1996* extracts from legislation as it relates to this report.

19DA. Corporate business plans, requirements for (Act s. 5.56)

- (1) *A local government is to ensure that a corporate business plan is made for its district in accordance with this regulation in respect of each financial year after the financial year ending 30 June 2013.*
- (2) *A corporate business plan for a district is to cover the period specified in the plan, which is to be at least 4 financial years.*
- (3) *A corporate business plan for a district is to —*
 - (a) *set out, consistently with any relevant priorities set out in the strategic community plan for the district, a local government's priorities for dealing with the objectives and aspirations of the community in the district; and*
 - (b) *govern a local government's internal business planning by expressing a local government's priorities by reference to operations that are within the capacity of the local government's resources; and*
 - (c) *develop and integrate matters relating to resources, including asset management, workforce planning and long-term financial planning.*
- (4) *A local government is to review the current corporate business plan for its district every year.*
- (5) *A local government may modify a corporate business plan, including extending the period the plan is made in respect of and modifying the plan if required because of modification of the local government's strategic community plan.*
- (6) *A council is to consider a corporate business plan, or modifications of such a plan, submitted to it and is to determine* whether or not to adopt the plan or the modifications.*

**Absolute majority required.*

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- (7) *If a corporate business plan is, or modifications of a corporate business plan are, adopted by the council, the plan or modified plan applies to the district for the period specified in the plan.*

VOTING REQUIREMENT

Simple Majority / Absolute Majority

RESPONSIBLE OFFICER RECOMMENDATION

That the Council:

- 1. Adopt the Corporate Business Plan 2023 – 2027, as contained in Appendix 4**

(By Absolute Majority)

- 2. Endorse the following supporting plans:
Long Term Financial Plan 2023-2032;
Asset Management Plan 2023-2032; and
Workforce Plan 2023-2027
as contained in Appendices 5, 6 and 7.**

Moved Cr Vernon, seconded Cr Shannon

Moved Cr Miles seconded Cr Cvitan.

Procedural motion

That the item be deferred.

Reason:

So that the CEO can take the item to the Strategic Working Group.

(CARRIED by majority 8/3)

For: Crs Cvitan, Ferrante, Gobbert, Hatton, Jacob, May, Miles and Thornton

Against: Crs Castle, Shannon and Vernon

9.4 MRC WASTE PLAN	
File No:	GF-22-0000400
Appendix(s):	Appendix 8: MRC Waste Plan 2023
Date:	19 May 2023
Responsible Officer:	Manager Projects and Procurement

SUMMARY

The report seeks Council's endorsement and adoption of the Mindarie Regional Council's (MRC) Waste Plan 2023.

BACKGROUND

At the 28 January 2021 Ordinary Council Meeting, Council endorsed the MRC's Final Waste Plan. The MRC submitted the Final Waste Plan to the Director General of the Department of Water and Environmental Regulation (DWER) prior to the 31 March 2021 deadline and included references to the objectives derived from the Strategic Community Plan (SCP) 2018 – 2037 and advised that the SCP and associated plans were undergoing a strategic operational review.

The update Strategic Community Plan 2023 – 2032 has recently been endorsed by Council at the 23 February 2023 Ordinary Council Meeting and an updated Waste Plan 2023 has been developed to align with these objectives and the Western Australia Waste Avoidance and Resource Recovery Strategy 2030 (Waste Strategy).

DETAIL

In November 2019, the MRC received notice from the Director General of the Department of Water and Environmental Regulation (DWER) that the MRC is required to prepare a waste plan under section 40(4) of the Waste Avoidance and Resource Recovery Act 2007 (WARR Act).

Waste Strategy and waste plans

In line with this, the Waste Strategy includes a headline strategy to "*Implement local government waste plans, which align local government waste planning processes with the Waste Strategy*".

Waste plans are to provide a link between the targets and objectives of the Waste Strategy and local government's waste management activities.

The purpose of the waste plans is to:

- Align local government waste management activities with the Waste Strategy;
- Map current performance and establish a benchmark to achieve Waste Strategy targets;
- Monitor progress on local government achievements of the Waste Strategy targets;
- and
- Design programs and activities which will support the implementation of waste plans.

All local governments and regional local governments (commonly referred to as regional councils) located in the Perth metropolitan region and Peel region, and major regional centres that provide waste services, were required to develop waste plans for the 2020/21 financial year, and perform their functions in respect of waste management in accordance with their plans.

The MRC submitted the Council endorsed Final Waste Plan to DWER on 11 February 2021. To ensure the DWER reporting deadline requirements of 31 March 2021 were met, the MRC developed the Final Waste Plan to reflect the MRC's current operational status, with commentary noting that the Waste Plan was subject to change, pending the outcomes of the MRC's review of its SCP and related plans.

In April 2021, DWER acknowledged receipt of the waste plan and the ongoing strategic operational review. DWER also provided feedback on the level of detail provided in the waste plan and requested an update as to the progress of the operational review.

The MRC has since met, and exchanged correspondence, with DWER representatives on numerous occasions to provide updates and anticipated timelines.

In September 2022, MRC received notice from the Director General of DWER requesting a further update as to how the waste plan feedback would be addressed to align with the Waste Strategy and to submit a revised Council endorsed waste plan by 30 June 2023.

In February 2023, DWER representatives attended the second MRC Strategic Workshop and have been kept informed of the MRC progress in this space.

The MRC Waste Plan 2023, attached to this report, has been developed in alignment with the objectives of the MRC SCP, Waste Strategy and addressing feedback from DWER.

It should be noted that the first annual reports on the implementation for the waste plans for the 2022/23 financial year are due on 1 October 2023.

CONSULTATION

The plan was developed in consultation with MRC and DWER officers through various workshops and a draft submission / feedback process.

STATUTORY ENVIRONMENT

The MRC is required to prepare a waste plan under section 40(4) of the WARR Act.

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Section 6.2(2) of the Local Government Act 1995 requires local governments to have regard to their plans for the future (which include waste plans made under section 40 of the WARR Act) in preparation of their annual budget.

VOTING REQUIREMENT

Simple majority

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RESPONSIBLE OFFICER RECOMMENDATION

That the Council:

Endorses and adopts the MRC's Waste Plan and authorises the CEO to submit the Waste Plan to the DWER for assessment.

Moved Cr Vernon, seconded Cr Shannon

Moved Cr Miles seconded Cr Cvitan.

Procedural motion:

That the item be deferred.

Reason:

So that the matter can be discussed with the Strategic Working Group.

(CARRIED by majority 7/4)

For: Crs Cvitan, Ferrante, Gobbert, Hatton, Jacob, Miles and Thornton

Against: Crs Castle, May, Shannon and Vernon

10 MEMBERS INFORMATION BULLETIN – ISSUE NO. 76

RESPONSIBLE OFFICER RECOMMENDATION

That the Members Information Bulletin Issue No. 76 be received.

Moved Cr Miles, seconded Cr Cvitan

RESOLVED

That the recommendation be adopted

(CARRIED UNANIMOUSLY 11/0)

11 MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

12 URGENT BUSINESS

Nil

13 QUESTIONS BY MEMBERS OF WHICH DUE NOTICE HAS BEEN GIVEN

Nil

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In accordance with clause 10.1(h) of the Mindarie Regional Council Meeting Procedures Local Law 2020 and s5.23 of the Local Government Act 1995, the Chair requests the Council to meet “behind closed doors” to allow the Council to consider item 14.1 as the item is of a confidential nature.

No members of the public were present in the gallery.

Moved Cr Vernon, seconded Cr Ferrante

Procedural Motion:

- 1. Closes the meeting to the members of the public at 6.52 pm to consider item 14.1 in accordance with Section 5.23 of the *Local Government Act 1995*.**
- 2. Permits the MRC Chief Executive Officer, MRC staff and Member Council CEOs and Officers to remain in the chamber during discussion for item 14.1.**

(CARRIED UNANIMOUSLY 11/0)

Doors closed at 6.52 pm

14 MATTERS FOR WHICH THE MEETING MAY BE CLOSED TO THE PUBLIC

This Report is Confidential and dealt with in a Confidential Session, under section 5.23 (2) (c) of <i>The Local Government Act 1995</i> as the report deals with matters concerning risk.	
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14.1	WASTE TO ENERGY TENDER
File No:	GF-22-0000289
Attachment(s):	Attachment A – Member Council Resolutions Attachment B - Tender Evaluation Report
Date:	19 May 2023
Responsible Officer:	Chief Executive Officer

That Council:

- 1. Nominates Tenderer B as the first preferred tenderer for the Waste to Energy Tender.**
- 2. Nominates Tenderer A as the second preferred tenderer for the Waste to Energy Tender.**
- 3. Authorises the Chief Executive Officer to commence commercial discussions with the preferred tenderers identified in 1 and 2 above with the intention of agreeing the terms of a Draft Waste Supply Agreement between the MRC and a waste to energy service provider.**
- 4. Authorises the CEO to negotiate with the MRC’s member council CEOs on the terms of a Participants Agreement to support the MRC’s ability to meet its obligations under the Waste Supply Agreement.**

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5. Seeks a further report when the Waste Supply Agreement and Participant's Agreement are ready for Council's consideration.

Moved Cr Ferrante, seconded Cr Hatton

AMENDMENT

Moved Cr Vernon, seconded Cr Shannon

Add a point 6, to the end of the officer recommendation as read:

"6. Authorises the Chief Executive Officer to advise the Member Council CEOs in writing that they and/or the individual MRC Councillors are permitted to disclose the contents of Confidential Report 14.1 to their own Member Councils should they wish to do so in regard to any issues arising therefrom, provided that they do so as a confidential report to a meeting of their Council held in closed confidential session."

Reason

Each member council may wish to consider the implications of the resolutions made by other member councils on their decisions to delegate authority to their CEOs to finalise the WSAs and PAs. Since this information has been provided in confidential report to MRC, the ability for each member council, or MRC councillor to raise it at their own member council level either will be or may be restricted or prohibited in the absence of a resolution of MRC permitting them to consider this confidential information. Limiting the use of the information to a member council meeting in closed session will ensure the general cloak of confidentiality continues to operate over the information.

Moved Cr Vernon, seconded Cr Miles

Procedural Motion:

That the meeting now adjourn at 7.53pm

Meeting reopened at 8.17pm

The amendment was put:

(CARRIED by majority 6/5)

For: Crs Castle, Ferrante, Hatton, Shannon, Thornton and Vernon.

Against: Crs Cvitan, Gobbert, Jacob, May and Miles

SUBSTANTIVE MOTION AS AMENDED

Meeting note:

The Chair directed that the substantive motion as amended be voted upon in two parts, points 1 to 5 was put:

- 1. Nominates Tenderer B as the first preferred tenderer for the Waste to Energy Tender.**
 - 2. Nominates Tenderer A as the second preferred tenderer for the Waste to Energy Tender.**
 - 3. Authorises the Chief Executive Officer to commence commercial discussions with the preferred tenderers identified in 1 and 2 above with the intention of agreeing the terms of a Draft Waste Supply Agreement between the MRC and a waste to energy service provider.**
-

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-
4. **Authorises the CEO to negotiate with the MRC's member council CEOs on the terms of a Participants Agreement to support the MRC's ability to meet its obligations under the Waste Supply Agreement.**
 5. **Seeks a further report when the Waste Supply Agreement and Participant's Agreement are ready for Council's consideration.**

(CARRIED UNANIMOUSLY 11/0)

Point 6 was Put:

6. **Authorises the Chief Executive Officer to advise the Member Council CEOs in writing that they and/or the individual MRC Councillors are permitted to disclose the contents of Confidential Report 14.1 to their own Member Councils should they wish to do so in regard to any issues arising therefrom, provided that they do so as a confidential report to a meeting of their Council held in closed confidential session."**

(CARRIED by majority 6/5)

*For: Crs Castle, Ferrante, Hatton, Shannon, Thornton and Vernon.
Against: Crs Cvitan, Gobbert, Jacob, May and Miles*

Moved Cr Vernon, seconded Cr May

Procedural Motion:

That Council:

- **Reopen the meeting to members of the public at 8.30 pm**

To re-open the meeting to the public

(CARRIED UNANIMOUSLY 11/0)

Doors re-opened at 8.30 pm, the Chair declared the meeting re-opened. As there were no members of the public present, the Chair noted the resolutions passed behind closed doors

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15 NEXT MEETING

The next Ordinary Council meeting is to be held on Thursday 13 July 2023 at the City of Stirling commencing at 6.30 pm.

16 CLOSURE

The Chair closed the meeting at 8.31pm and thanked the Town of Cambridge for their hospitality and use of their meeting facilities.

SignedChair

Dated.....day of2023



MINUTES

SPECIAL COUNCIL MEETING

TIME: 6.30 PM

22 JUNE 2023

CITY OF JOONDALUP

*Constituent Members: Cities of Perth, Joondalup, Stirling, Vincent and Wanneroo
Towns of Cambridge and Victoria Park*



MINDARIE REGIONAL COUNCIL
SPECIAL COUNCIL MEETING MINUTES
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**MINDARIE REGIONAL COUNCIL
NOTICE OF MEETING**

20 June 2023

Councillors of the Mindarie Regional Council are advised that a Special Meeting of the Council will be held at the City of Joondalup at 6.30 pm on 22 June 2023.

The agenda pertaining to the meeting follows.

Your attendance is respectfully requested.



**SCOTT CAIRNS
CHIEF EXECUTIVE OFFICER**

MINDARIE REGIONAL COUNCIL - MEMBERSHIP

Cr K Vernon (Karen) - Chair	Town of Victoria Park
Cr A Jacob, JP (Albert) – Deputy Chair	City of Joondalup
Cr C May (Christopher)	City of Joondalup
Cr L Gobbert, JP (Liam)	City of Perth
Cr C Hatton (Chris)	City of Stirling
Cr E Re (Elizabeth)	City of Stirling
Cr L Thornton (Lisa)	City of Stirling
Cr J Ferrante (Joe)	City of Stirling
Cr A Castle (Alex)	City of Vincent
Cr F Cvitan, JP (Frank)	City of Wanneroo
Cr P Miles (Paul)	City of Wanneroo
Cr K Shannon (Keri)	Town of Cambridge

NB: Although some Councils have nominated alternate members, it is a requirement that a Council carries a specific resolution for each occasion that the alternate member is to act.

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Prior to the commencement of the meeting Chair outlined the meeting etiquette for the Special Council meeting by Zoom, voting to be by a show of hands and member council officers in attendance to turn off audio and video.

Council Members and Member Council Officers' Zoom connections were confirmed.

1 DECLARATION OF OPENING / ANNOUNCEMENT OF VISITORS

The Chair declared the meeting open at 6.31pm.

The Chair welcomed Council Members, staff and member council officers to the meeting which was conducted both in person and by electronic means (Zoom) in accordance with the Local Government (Administration) Regulations 1996.

The Chair had previously authorised for all Councillors to attend the meeting electronically.

2 ATTENDANCE/APOLOGIES/LEAVE OF ABSENCE

Councillor Attendance

The following Councillors connected to the meeting via ZOOM:

Cr K Vernon (Chair)	Town of Victoria Park
Cr A Jacob JP (Deputy Chair)	City of Joondalup
Cr C May	City of Joondalup
Cr L Gobbert, JP	City of Perth
Cr J Ferrante	City of Stirling
Cr C Hatton	City of Stirling
Cr E Re	City of Stirling
Cr Lisa Thornton	City of Stirling
Cr A Castle	City of Vincent
Cr F Cvitan, JP	City of Wanneroo
Cr P Miles	City of Wanneroo
Cr K Shannon	Town of Cambridge

MRC Officers

The following MRC Officers attended the meeting in person:

Mr S Cairns (Chief Executive Officer)
Ms A Arapovic (Finance Manager)
Mr A Griffiths (Project and Procurement Manager)
Ms S Cherico (Human Resources Officer)
Ms D Toward (Executive Support)

Apologies

Nil

Approved leave of absence

Nil

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Member Council Observers

The following Member Council Observers connected to the meeting by Zoom:

Mr N Claassen	City of Joondalup
Mr M Pennington	City of Joondalup
Mr A Mason	City of Perth
Mr G Taylor	City of Perth
Mr A Murphy	City of Stirling
Mr P Varris	City of Vincent
Mr H Singh	City of Wanneroo
Mr A Kowero	City of Wanneroo
Mr K Hincks	Town of Cambridge

Visitors

Nil

3 DECLARATION OF INTERESTS

Nil

4 PUBLIC QUESTION TIME

Public question time opened at 6.35 pm
There were no members of the public present.
Public question time closed at 6.35 pm

5 ANNOUNCEMENT BY THE PRESIDING PERSON

The Chair announced that a Budget workshop will be held at the conclusion of the Special Council Meeting.

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6	CHIEF EXECUTIVE OFFICER REPORTS
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6.1	REVIEW OF THE MRC'S CORPORATE BUSINESS PLAN
File No:	GF-23-0000202
Appendix(s):	Appendix 4 – Draft Corporate Business Plan Appendix 5 – Draft Long Term Financial Plan Appendix 6 – Draft Asset Management Plan Appendix 7 – Draft Workforce Plan
Date:	20 JUNE 2023
Responsible Officer:	Chief Executive Officer

At the Ordinary Council Meeting held on 01 June 2023, the officer recommendation for this item was Moved and Seconded, however before debate commenced a procedural motion was passed deferring (adjourning) debate for the purpose of the CEO taking the item to the Strategic Working Group. The item was reviewed by the Strategic Working Group at its meeting on 07 June 2023 and the item is now re-presented to enable Council to resume debate. Additional information has been inserted into the original report as presented to the 01 June 2023 Ordinary Council Meeting and is shown in a box in the 'Officer Comments' section of the report:

This report presented to Council at the Ordinary Council meeting on 01 June 2023 reads as follows:

SUMMARY

This report presents the Mindarie Regional Council's (MRC) Corporate Business Plan and associated informing plans to Council for consideration as required under the *Local Government Act 1995* and the *Local Government (Administration) Regulations 1996*.

BACKGROUND

The MRC's current Corporate Business Plan was adopted by Council at its meeting on 06 April 2017.

The Corporate Business Plan is required to be reviewed every four years under the requirements of the *Local Government (Administration) Regulations 1996*. A review was due in 2021; a point acknowledged by the MRC in 2021 when the MRC informed the Department of Local Government, Sport and Cultural Industries that the MRC was not able to meet its obligation under the Regulations to carry out a 4 yearly review of the Strategic Community Plan due to a number of matters.

On 27 April 2023 Council adopted the Strategic Community Plan 2023-2032 (SCP) providing the MRC with its long term strategy which has driven the development of the new Corporate Business Plan together with new informing plans: Long Term Financial Plan, Asset Management Plan and Workforce Plan.

DETAIL

The Integrated Planning and Reporting Framework is the overarching framework which encompasses the Strategic Community Plan, Corporate Business Plan, Long Term Financial

Plan and the Workforce Plan. These are a set of strategic and operational documents that all Local Governments in Western Australia are required to follow.

The Corporate Business Plan is a planning tool that translates the priorities of the Strategic Community Plan into projects and services and is informed by the Long Term Financial Plan, Asset Management Plan and Workforce Plan. The Draft Corporate Business plan and the draft informing plans are presented to Council for consideration and endorsement and outline the way forward for the MRC and the mechanism by which it will deliver on the MRCs **Vision**, *'Collaborating for a regional Circular Economy'*, and **Mission**, *'To deliver sustainable waste management options for members'*.

INFORMING PLANS:

The Long Term Financial Plan (LTFP)

The LTFP is based on the MRC's SCP 2023-32. The LTFP estimates are an integral part of Council's strategic planning process, informing the Corporate Business Plan which activates SCP objectives. It indicates the MRC's long-term financial sustainability, allows early identification of financial issues and their longer-term impacts.

It has been prepared based on a number of objectives and assumptions that are outlined in this document. Strategies, priorities, issues, and risks are all dynamic influences in relation to any planning. These estimates are set against economic uncertainty and will be reviewed every twelve months to reflect the prevailing economic conditions and changing demands placed on the MRC.

Asset Management Plan (AMP)

The AMP is based on the MRC's SCP 2023-32. Aligning the AMP needs around the MRC's service delivery, future endorsed projects and initiatives and the asset life cycle ensures that asset needs are met as service and project requirements change.

The Workforce Plan (WP)

The WP is based on the MRC's SCP 2023-2032. The WP aligns the organisation's workforce needs with the MRC's current service delivery and operational requirements, as defined in the CBP.

STRATEGIC IMPLICATIONS

The Integrated Planning Framework ensures that the future of local governments is set using long term strategies backed by shorter termed implementation plans.

An important element of the Framework is the need for the Plans to be reviewed regularly, accepting that the services required to meet the needs of the member councils change over time, and ensuring that the Plans keep up with these changes and remain relevant over their life span.

It is a regulatory requirement that all Local Governments review their Corporate Business Plans annually. The annual review will ensure that the MRC remains focussed on its future. The plan will be referenced in reports to council and used in discussions with the Strategic Working Group.

FINANCIAL IMPLICATIONS

The Corporate Business Plan 2023-2027 details the services, projects and capital programs to be delivered, and is informed by the Long Term Financial Plan and annual budgets covering the period of the plan.

COMMENT

The Corporate Business Plan 2023-2027 outlines how the MRC will use its resources over the next 4 years and is guided by the Long Term Financial Plan, Asset Management Plan and Workforce Plan. Together, these will be used to drive improvements and efficiencies to benefit its Members in line with the MRC's newly endorsed SCP, **Vision** 'Collaborating for a regional Circular Economy' and **Mission**, 'To deliver sustainable waste management options for members'.

Through the strategies and performance targets set within the Plan, the MRC will seek to continue to deliver the best-practice waste management services currently delivered at the Tamala Park Waste Management Facility and provide access to the best possible options available which align with the requirements of the Western Australian Waste Avoidance and Resource Recovery Strategy 2030 (WARR Strategy) and all member councils' DWER-approved Waste Plans.

The Tamala Park Landfill's operational life is due to end during the period of the MRC's newly endorsed SCP, and this draft CBP contains actions which will ensure that this is managed efficiently alongside identifying what the future holds for the site, and how that will be delivered. Actions are also included within the Plan which will set a baseline for the organisation's environmental impact, and provide impetus to identify future actions to reduce this.

The plan will be updated annually, to reflect progress towards the targets stated within it, the ever-changing environment in which the MRC operates, all in alignment with the direction set by council through the SCP.

LEGAL COMPLIANCE

Under *Section 5.56 of the Local Government Act 1995*, local governments are required to 'plan for the future of the district'. The *Local Government (Administration) Regulations (1996) 19DA* require local governments to have a CBP to cover a period of 4 years, reviewed annually.

Extract of *LG (Admin) Regulations 1996* extracts from legislation as it relates to this report.
19DA. Corporate business plans, requirements for (Act s. 5.56)

- (1) *A local government is to ensure that a corporate business plan is made for its district in accordance with this regulation in respect of each financial year after the financial year ending 30 June 2013.*
 - (2) *A corporate business plan for a district is to cover the period specified in the plan, which is to be at least 4 financial years.*
 - (3) *A corporate business plan for a district is to —*
 - (a) *set out, consistently with any relevant priorities set out in the strategic community plan for the district, a local government's priorities for dealing with the objectives and aspirations of the community in the district; and*
 - (b) *govern a local government's internal business planning by expressing a local government's priorities by reference to operations that are within the capacity of the local government's resources; and*
 - (c) *develop and integrate matters relating to resources, including asset management, workforce planning and long-term financial planning.*
 - (4) *A local government is to review the current corporate business plan for its district every year.*
-

-
- (5) *A local government may modify a corporate business plan, including extending the period the plan is made in respect of and modifying the plan if required because of modification of the local government's strategic community plan.*
- (6) *A council is to consider a corporate business plan, or modifications of such a plan, submitted to it and is to determine* whether or not to adopt the plan or the modifications.*
- *Absolute majority required.*
- (7) *If a corporate business plan is, or modifications of a corporate business plan are, adopted by the council, the plan or modified plan applies to the district for the period specified in the plan.*

VOTING REQUIREMENT

Simple Majority / Absolute Majority

RESPONSIBLE OFFICER RECOMMENDATION

That the Council:

- 1. Adopt the Corporate Business Plan 2023 – 2027, as contained in Appendix 4**

(By Absolute Majority)

- 2. Endorse the following supporting plans:
Long Term Financial Plan 2023-2032;
Asset Management Plan 2023-2032; and
Workforce Plan 2023-2027
as contained in Appendices 5, 6 and 7.**
-

OFFICER COMMENTS:

Subsequent to the Strategic Working Group's review, the CEO has made the following amendments:

Appendix 4, the Corporate Business Plan, as follows:

2.1.1 first draft:

- Research and identify alternative waste processing opportunities within the district

2.1.1 changed to:

- Research and identify alternative waste processing opportunities within the district including FOGO services at the Neerabup facility

3.1.1 first draft:

- Review of MRC Services and desired outcomes
- Review of previous Draft Establishment Agreement
- Develop New Establishment Agreement for Council endorsement

3.1.1 changed to:

- Review of MRC's future and services (addition of planned action includes 23/24)
- Assessment of stakeholder arrangements

3.3.1 Addition of Planned Action to include 23/24 in respect of Develop New Establishment Agreement for Council Endorsement

Appendix 6, the Asset Management Plan, as follows:

Page 8, last paragraph, first draft:

New Acquisitions

It is anticipated that the current Tamala Park landfill site will reach capacity in 2028. There is no intention to develop a new landfill site, except the addition of the new piggyback liner system Stage 1 of the landfill sequence.

Changed to:

"It is anticipated that the current Tamala Park landfill site will reach capacity in 2028. There is no intention to develop a new landfill site."

Page 9, after the last sentence under Asset Maintenance, additional sentence added:

"All of the above is outlined in and governed by the MRC Waste Management Master Plan, Post Closure Management Plan and the critical Infrastructure Site Plan."

Summary:

Through the actions proposed in the draft CBP, the MRC seeks to deliver upon the three Objectives set by Council through the newly adopted SCP, over the four year term of the Plan.

In the first year, many of the proposed actions are focussed to ensure that the MRC operates its current services more efficiently, by identifying opportunities for improvement in systems and processes on site at Tamala Park.

Another focus is to ensure that the future closure of the landfill is undertaken in a manner which is both compliant with environmental requirements and in alignment with the wishes of the landowners; the identification of which is a key action in the Plan.

Many of the other actions proposed seek to identify the best possible waste management infrastructure opportunities for member councils for them to comply with their responsibilities through the WARR Strategy. The MRC proposes that once these are identified, that member councils will then be able to choose whether they wish for this to be progressed, in whichever manner they prefer, or otherwise. This will be a future decision for all member councils.

The combined tonnage, and therefore buying power, of all seven member councils provides an opportunity that may entice potential future industry partners to offer the most appropriate waste management, resource recovery and recycling options for member councils within this region. As has been discussed previously, the WA waste management industry has historically provided options that suit its existing business model, which has meant a concentration of infrastructure in the southern part of the metropolitan area. There is no indication that any new northern infrastructure will be developed anytime soon by the current industry to combat this, which means that member councils will be required to continue to transport the waste materials of approximately 750,000 residents (and growing) to distant facilities.

As a team of waste management experts, the MRC is ideally placed to (i) work for member councils by finding out things that they ordinarily wouldn't know, as they simply don't have the same contacts or network in essentially what is a commercial industry, and (ii) identify opportunities through that network of resource recovery contacts. As is proposed in the SCP, whilst the MRC continues to deliver its services at Tamala Park, then it seems logical for member councils to leverage upon the MRC's skills, experience and knowledge for their benefit. The actions proposed seek to reflect these facts and in no way set a future for the MRC or member councils without their future agreement. It is important to note that, through the terms of the MRC's constitution, the MRC has no call on member councils' materials that are "*retained by member councils for the purposes of recycling*". In the end, member councils will choose what they want.

DEFERRED (ADJOURNED) MOTION:

At the Ordinary Council meeting held on 01 June 2023 this motion was Moved and Seconded, however before debate on this motion commenced, a procedural motion was passed deferring (adjourning) debate on the motion subject to the CEO taking the item to the Strategic Working Group. The Report and Plans were discussed at a meeting with the Strategic Working Group on 07 June 2023, the changes highlighted (in green) in the Officers comments above were provided to the MRC during the meeting. The City of Wanneroo provided additional feedback on 19 June 2023, no further changes to the Corporate Business Plan were considered necessary as a result of the feedback, and in consultation with the City of Wanneroo, the summary section provides further clarification of the MRCs position.

The Mover and Seconder as recorded at the Ordinary Council Meeting on 01 June 2023, are provided below and debate on the adjourned motion will recommence with the Chair offering the Mover their right to speak to the motion:

Moved Cr Vernon, seconded Cr Shannon
That the Council:

1. Adopt the Corporate Business Plan 2023 – 2027, as contained in Appendix 4

(By Absolute Majority)

2. Endorse the following supporting plans:
Long Term Financial Plan 2023-2032;
Asset Management Plan 2023-2032; and
Workforce Plan 2023-2027
as contained in Appendices 5, 6 and 7.

AMENDMENT 1

Moved Cr Jacob, seconded Cr May
That the Council:

1. **Adopt the Corporate Business Plan 2023 – 2027, as contained in Appendix 4, subject to the following amendment:**
 - 1.1 **Corporate Business Plan Objective 3 – 3.1 heading is amended from; ‘Maintain efficient and equitable governance’ to: ‘Maintain efficient and effective governance’.**

Reason for Amendment

The MRC is governed by a Constitution enabled by the *Local Government Act 1960* and more recently, the MRC falls under the new *Local Government Act 1995*.

The MRC is currently owned and represented by seven councils in the following equity share proportions:

Stirling	4/12	33.3%
Wanneroo	2/12	16.7%
Joondalup	2/12	16.7%
Perth	1/12	8.3%
Victoria Park	1/12	8.3%
Vincent	1/12	8.3%
Cambridge	1/12	8.3%

The MRC has a voting regime based on 12 equity shares.

Based on the above, equitable governance can be seen as equal shareholding/voting representatives. Changing the heading from efficient and equitable to efficient and effective does not change the intent of the objective but rather seeks to clarify that it does not seek to change the MRC constitution to equal representation by its seven constituent municipalities.

(CARRIED 11/1)

For: Crs Cvitan, Castle, Ferrante, Gobbert, Jacob, May, Miles, Re, Shannon, Thornton and Vernon

Against: Crs Hatton

AMENDMENT 2:

Moved Cr Gobbert, seconded Cr Miles

Include a planned action item for the FY 2023/24 at 'Objective 2 - 2.3.2 Develop and agree a post-closure plan for the Tamala Park site'

Reasons:

In order to provide time to plan strategically, if it is left to 2025/26 there may not be sufficient time to plan strategically.

(CARRIED 11/1)

For: Crs Cvitan, Castle, Ferrante, Gobbert, Hatton, Jacob, May, Miles, Re, Shannon, Thornton

Against: Cr Vernon

SUBSTANTIVE RECOMMENDATION, AS AMENDED:

1. **Adopt the Corporate Business Plan 2023 – 2027, as contained in Appendix 4, subject to the following amendments:**
 - 1.1 **Corporate Business Plan Objective 3 – 3.1 heading is amended from; 'Maintain efficient and equitable governance' to: 'Maintain efficient and effective governance'**
 - 1.2 **Include a planned action item for the FY 2023/24 at 'Objective 2 - 2.3.2 Develop and agree a post-closure plan for the Tamala Park site'**
2. **Endorse the following supporting plans:
Long Term Financial Plan 2023-2032;
Asset Management Plan 2023-2032; and
Workforce Plan 2023-2027
as contained in Appendices 5, 6 and 7.**

(CARRIED UNANIMOUSLY 12/0)

6.2	MRC WASTE PLAN
File No:	GF-22-0000400
Appendix(s):	Appendix 8: MRC Waste Plan 2023
Date:	20 June 2023
Responsible Officer:	Manager Projects and Procurement

At the Ordinary Council Meeting held on 01 June 2023, the officer recommendation for this item was Moved and Seconded, however before debate commenced a procedural motion was passed deferring (adjourning) debate for the purpose of the CEO discussing the item with the Strategic Working Group. The item was reviewed by the Strategic Working Group at its meeting on 07 June 2023 and the item is now re-presented to enable Council to resume debate. Additional information has been inserted into the original report as presented to the 01 June 2023 Ordinary Council Meeting and is shown in a box in the 'Officer Comments' section of the report:

This report presented to Council at the Ordinary Council meeting on 01 June 2023 reads as follows:

SUMMARY

The report seeks Council's endorsement and adoption of the Mindarie Regional Council's (MRC) Waste Plan 2023.

BACKGROUND

At the 28 January 2021 Ordinary Council Meeting, Council endorsed the MRC's Final Waste Plan. The MRC submitted the Final Waste Plan to the Director General of the Department of Water and Environmental Regulation (DWER) prior to the 31 March 2021 deadline and included references to the objectives derived from the Strategic Community Plan (SCP) 2018 – 2037 and advised that the SCP and associated plans were undergoing a strategic operational review.

The update Strategic Community Plan 2023 – 2032 has recently been endorsed by Council at the 23 February 2023 Ordinary Council Meeting and an updated Waste Plan 2023 has been developed to align with these objectives and the Western Australia Waste Avoidance and Resource Recovery Strategy 2030 (Waste Strategy).

DETAIL

In November 2019, the MRC received notice from the Director General of the Department of Water and Environmental Regulation (DWER) that the MRC is required to prepare a waste plan under section 40(4) of the Waste Avoidance and Resource Recovery Act 2007 (WARR Act).

Waste Strategy and waste plans

In line with this, the Waste Strategy includes a headline strategy to "Implement local government waste plans, which align local government waste planning processes with the Waste Strategy".

Waste plans are to provide a link between the targets and objectives of the Waste Strategy and local government's waste management activities.

The purpose of the waste plans is to:

- Align local government waste management activities with the Waste Strategy;
- Map current performance and establish a benchmark to achieve Waste Strategy targets
- Monitor progress on local government achievements of the Waste Strategy targets;
- and
- Design programs and activities which will support the implementation of waste plans.

All local governments and regional local governments (commonly referred to as regional councils) located in the Perth metropolitan region and Peel region, and major regional centres that provide waste services, were required to develop waste plans for the 2020/21 financial year, and perform their functions in respect of waste management in accordance with their plans.

The MRC submitted the Council endorsed Final Waste Plan to DWER on 11 February 2021. To ensure the DWER reporting deadline requirements of 31 March 2021 were met, the MRC developed the Final Waste Plan to reflect the MRC's current operational status, with commentary noting that the Waste Plan was subject to change, pending the outcomes of the MRC's review of its SCP and related plans.

In April 2021, DWER acknowledged receipt of the waste plan and the ongoing strategic operational review. DWER also provided feedback on the level of detail provided in the waste plan and requested an update as to the progress of the operational review.

The MRC has since met, and exchanged correspondence, with DWER representatives on numerous occasions to provide updates and anticipated timelines.

In September 2022, MRC received notice from the Director General of DWER requesting a further update as to how the waste plan feedback would be addressed to align with the Waste Strategy and to submit a revised Council endorsed waste plan by 30 June 2023.

In February 2023, DWER representatives attended the second MRC Strategic Workshop and have been kept informed of the MRC progress in this space.

The MRC Waste Plan 2023, attached to this report, has been developed in alignment with the objectives of the MRC SCP, Waste Strategy and addressing feedback from DWER.

It should be noted that the first annual reports on the implementation for the waste plans for the 2022/23 financial year are due on 1 October 2023.

CONSULTATION

The plan was developed in consultation with MRC and DWER officers through various workshops and a draft submission / feedback process.

STATUTORY ENVIRONMENT

The MRC is required to prepare a waste plan under section 40(4) of the WARR Act.

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Section 6.2(2) of the Local Government Act 1995 requires local governments to have regard to their plans for the future (which include waste plans made under section 40 of the WARR Act) in preparation of their annual budget.

VOTING REQUIREMENT

Simple majority

RESPONSIBLE OFFICER RECOMMENDATION

That the Council:

- 1. Endorses and adopts the MRC's Waste Plan and authorises the CEO to submit the Waste Plan to the DWER for assessment.**

OFFICER COMMENTS:

Subsequent to the Strategic Working Group's review, the CEO has amended Appendix 8, the Waste Plan, as follows:

TAB P1 – 6.2 - Additional Comments: "The MRC strategic documents..." changed to "MRC Strategic Community Plan has recently been endorsed".

TAB P1 – 6.4 & 6.5 – Table 15. Cell F43:

"Objective 2.1.1 outlines the MRC's plan to conduct a waste audit in 2024/25 to assess residual, FOGO, and commingled waste."

changed to

"MRC plans to review available 3 bin waste material composition data from member councils and other waste producers which will be consolidated with future waste audits in 2024/25 to assess residual, FOGO, and commingled waste."

DEFERRED (ADJOURNED) MOTION:

At the Ordinary Council meeting held on 01 June 2023 this motion was Moved and Seconded, however before debate on this motion commenced, a procedural motion was passed deferring (adjourning) debate on the motion subject to the CEO taking the item to the Strategic Working Group. The Report and Waste Plan was discussed at a meeting with the Strategic Working Group on 07 June 2023, the changes highlighted in the Officers comments above were provided to the MRC during the meeting. No other feedback has been received.

The Mover and Seconder as recorded at the Ordinary Council Meeting on 01 June 2023, are provided below and debate on the adjourned motion will recommence with the Chair offering the Mover their right to speak to the motion:

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Moved Cr Vernon, seconded Cr Shannon

MOTION

That the Council:

Endorses and adopts the MRC’s Waste Plan and authorises the CEO to submit the Waste Plan to the DWER for assessment.

(CARRIED UNANIMOUSLY 12/0)

7 MATTERS FOR WHICH THE MEETING MAY BE CLOSED TO THE PUBLIC

Nil

8 NEXT MEETING

The next Ordinary Council meeting is to be held on Thursday 13 July 2023 at the City of Stirling commencing at 6.30 pm.

9 CLOSURE

The Chair closed the meeting at 7.11pm and thanked the City of Joondalup for their hospitality and use of their meeting facilities. The Chair thanked Councillors for their participation and dialling into the meeting.

SignedChair

Dated.....day of2023



Notice of Annual General Meeting

and procedural information
for submission of Member motions

Crown Perth
Monday, 18 September 2023

Deadline for submission of motions:
5:00pm on Friday, 4 August 2023





2023 WALGA Local Government Convention and Annual General Meeting

Local Government Convention 2023

The annual WA Local Government Convention (LGC23) will be held on Sunday-Tuesday, 17-19 September 2023 at Crown Perth. Themed **Local Futures**, this year's Convention will explore how Local Governments can enact and drive change for the benefit of their communities and the diversity of solutions that can emerge when you start local. Further information about the LGC23 can be found on our website [here](#).

Annual General Meeting

The Annual General Meeting (AGM) for the Western Australian Local Government Association (WALGA) will be held from 2:00pm on **Monday, 18 September 2023**. All Member Local Governments are entitled to register two Voting Delegates (and up to two Proxies) to vote at the AGM. Voting Delegates and Proxies may be Elected Members or officers.

Attendance at the AGM is **free** for all Elected Members and officers from Member Local Governments. Voting Delegates and Proxies must be registered in advance by their Chief Executive Officer via the booking link sent directly via email.

Please note: registration as a Convention Delegate is separate to registration as a Voting Delegate for the purposes of the AGM. For information about registering as a Convention Delegate, please visit our website [here](#).

Submission of Member Motions

Member Local Governments are invited to submit motions for inclusion in the Agenda for consideration at the AGM. Motions should be addressed to the Chief Executive Officer of WALGA and submitted via email to associationgovernance@walga.asn.au. A template motion can be found on our website [here](#).

The closing date for submission of motions is **5:00pm on Friday, 4 August**.

Guidelines for Member Motions

The following guidelines should be followed by Members in the formulation of motions:

- Motions should focus on policy matters rather than issues which could be dealt with by the WALGA State Council with minimal delay.
- Due regard should be given to the relevance of the motion to the total membership and to Local Government in general. Some motions are of a localised or regional interest and might be better handled through other forums.
- Due regard should be given to the timeliness of the motion – will it still be relevant come the AGM or would it be better handled immediately by the Association?
- The likely political impact of the motion should be carefully considered.
- Due regard should be given to the educational value to Members – i.e. does awareness need to be raised on the particular matter?
- The potential media interest of the subject matter should be considered.
- AGM motions submitted by Member Local Governments must be accompanied by fully researched and documented supporting comment.



Please note: any Member motions proposing amendments to the [Association Constitution](#) must be received by **5:00pm Monday, 26 June** to satisfy the 60-day constitutional notification requirement.¹

Criteria for Motions

Prior to the finalisation of the Agenda, the WALGA President and Chief Executive Officer will determine whether motions submitted by Members abide by the following criteria:

Motions will be included in the Agenda where they:

1. *are consistent with the objects of the Association (refer to clause 3 of the [Constitution](#));*
2. *demonstrate that the issue/s raised will concern or are likely to concern a substantial number of Local Governments in WA;*
3. *Seek to advance the Local Government policy agenda of the Association and/or improve governance of the Association;*
4. *Have a lawful purpose (a motion does not have a lawful purpose if its implementation would require or encourage non-compliance with prevailing laws); or*
5. *Are clearly worded and unambiguous in nature.*

Motions will not be included where they are:

6. *Consistent with current Association advocacy/policy positions as per the [Advocacy Positions Manual](#) (as the matter has previously been considered and endorsed by WALGA).*

Motions of similar objective:

7. *Will be consolidated as a single item.*

Members submitting motions will be advised of the determinations.

Special Urgent Business

No Member motion shall be accepted for debate at the AGM after the closing date unless it complies with clause 8 of the [AGM Standing Orders](#). The motion must be relating to special urgent business and must be approved for debate by an absolute majority of Members at the AGM. Where practicable, prior notice of the motion should be provided to the President.

Please direct all enquiries relating to the registration of Voting Delegates or the submission of Member motions to Kathy Robertson, Executive Officer Governance on (08) 9213 2036 or at krobertson@walga.asn.au.

Handwritten signature of Karen Chappel in blue ink.

President Cr Karen Chappel JP
WALGA President

Handwritten signature of Nick Sloan in blue ink.

Nick Sloan
Chief Executive Officer

¹ [Association Constitution](#), section 29(2)(b)

Elected Member Training and Development Schedule

2022-23 Financial Year

Mandatory Training (*Council Member Essentials*)

Elected Member	Understanding Local Government	Serving on Council	Meeting Procedures	Conflicts of Interest	Understanding Financial Reports
Mayor Albert Jacob, JP *	06/12/2021	16/05/2022	25/07/2022	06/12/2021	25/07/2022
Cr Adrian Hill *	10/02/2022	24/02/2022	11/02/2022	10/02/2022	28/02/2022
Cr Tom McLean, JP					
Cr Daniel Kingston *	29/09/2022	14/10/2022	13/10/2022	13/10/2022	14/10/2022
Cr Nige Jones					
Cr Christopher May *	16/05/2022	16/05/2022	16/05/2022	16/05/2022	17/05/2022
Cr Russell Poliwka					
Cr John Chester *	15/05/2022	02/07/2022	26/05/2022	22/05/2022	17/07/2022
Cr John Logan					
Cr Russ Fishwick JP *	18/11/2021	11/11/2021	15/11/2021	11/11/2021	14/11/2021
Cr Suzanne Thompson					
Cr Christine Hamilton-Prime *	15/10/2022	30/09/2022	30/09/2022	25/09/2022	14/10/2022
Cr John Raftis					

Notes:

- * Indicates those elected members required to undertake Mandatory Training within twelve months of being elected at the 2021 October local government elections.

Interstate/Overseas Conferences

Date	Elected Member	Conference Details	Location
8 September 2022	Mayor Jacob	CEDA State of the Nation 2022: Australia's Choices	Canberra
8 September 2022	Cr Hill	CEDA State of the Nation 2022: Australia's Choices	Canberra
12-18 July 2022	Cr Hamilton-Prime	India Trade Mission	India
20-22 July 2022	Cr Jones	2022 Local Government Summit	Sydney
20-22 July 2022	Cr Poliwka	2022 Local Government Summit	Sydney
20-22 July 2022	Cr Thompson	2022 Local Government Summit	Sydney
22-23 November 2022	Cr Hamilton-Prime	National Health & Innovation Precincts Summit	Sydney
23-25 November 2022	Cr Jones	Community Engagement Summit	Sydney
9-11 May 2023	Cr Poliwka	Waste Conference	Coffs Harbour
13-16 June 2023	Cr Fishwick	ALGA, NGA and ACLG Conference	Canberra

WA Training and Development Events

Date	Elected Member	Event Details
27 July 2022	Cr Raftis	Reset 2022 – Mathius Cormann
30 September 2022	Mayor Jacob	CEDA Breakfast on the Run
30 September 2022	Cr Hill	CEDA Breakfast on the Run
30 September 2022	Cr Poliwka	CEDA Breakfast on the Run
3-4 October 2022	Mayor Jacob	WALGA Convention 2022
3-4 October 2022	Cr Fishwick	WALGA Convention 2022
3-4 October 2022	Cr Jones	WALGA Convention 2022
3-4 October 2022	Cr Hill	WALGA Convention 2022
10 February 2023	Mayor Jacob	Business News – State of the Future Lunch
22 February 2023	Cr Chester	2022 Vision for the State Lunch with Premier McGowan
22 February 2023	Cr Jones	2022 Vision for the State Lunch with Premier McGowan
3 March 2023	Cr Logan	GT Communications – Media Training

2022-2023 Corporate Sponsorship Corporate Sponsorship Application Application No. CS1722-23 From Swimming WA

Form Submitted 11 Apr 2023, 2:48PM AWST

Eligibility

* indicates a required field

Applicant Information

Before completing this application form you should have read the City's Corporate Sponsorship Program Guidelines. ([Corporate Sponsorship Program - City of Joondalup](#))

Applications that don't meet these guidelines or that are incomplete will not be considered. This section of the application form is designed to help you, and us, understand if you are eligible for this program.

If you have any questions please contact **Lia Harris, Strategic Marketing and Sponsorship Officer t: 9400 4169 e: lia.harris@joondalup.wa.gov.au**

If you do contact us throughout the application process, please quote the application number below:

Application Number

CS1722-23

This field is read only.

Confirmation of Eligibility

I confirm that:

- I have read and understood the City's Corporate Sponsorship Program Guidelines.
- I am able to demonstrate alignment between the event, program or activity and the criteria and objectives of this program.
- The event, program or activity is being hosted within the City of Joondalup boundaries.
- The event, program or activity will not occur within 3 months of the application being received.
- The organisation, event, program or activity has not previously submitted and been successful with an application for sponsorship within the same financial year.
- The organisation, event, program or activity has not received any financial support through another City funding program within the same financial year.
- The application is not for capital or general operating expenditure, or for more than 50% of the total cost of the event, program or activity.
- The application is not for an individual person or family benefit.
- The organisation, event, program or activity is not involved with illegal activities, tobacco, adult related industries, racist organisations, political organisations, religious activities for the purpose of furthering religious doctrine, companies or project seeking City approvals or endorsements, harm toward the environment or is in conflict with the City's values.

Please select below: *

Yes No

You must confirm that all statements above are true and correct.

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Applicant Details

* indicates a required field

Privacy Notice

We pledge to respect and uphold your rights to privacy protection under the [Australian Privacy Principles](#) (APPs) as established under the *Privacy Act 1988* and amended by the *Privacy Amendment (Enhancing Privacy Protection) Act 2012*.

City's [privacy statement](#).

Applicant Details

Organisation *

Swimming WA

For organisations: please use the organisation's full name. Make sure you provide the same name that is listed in official documentation such as that with the ABR, ACNC or ATO.

ABN *

19 894 160 812

Information from the Australian Business Register	
ABN	19 894 160 812
Entity name	SWIMMING WA INCORPORATED
ABN status	Active
Entity type	Other Incorporated Entity
Goods & Services Tax (GST)	Yes
DGR Endorsed	No
ATO Charity Type	Not endorsed More information
ACNC Registration	No
Tax Concessions	No tax concessions
Main business location	6014 WA

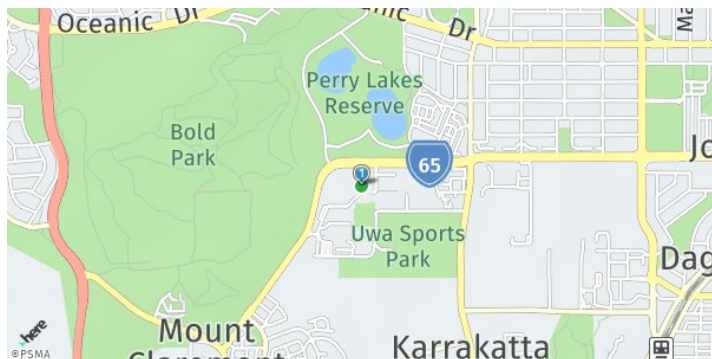
Information retrieved at 6:24am today

Must be an ABN.

Applicant primary address *

203 Underwood Ave
Floreath WA 6014 Australia

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Applicant postal address *

PO Box 2702
Mt Claremont
WA 6010 Australia

Applicant website

<http://www.wa.swimming.org.au>

Must be a URL.

Primary Contact Details

Primary contact *

Mr Andrew Stanbury

This is the person we will correspond with about this sponsorship application.

Position held in organisation *

Gen Manager Organisational Sustainability
e.g., Manager, Board Member or Fundraising Coordinator.

Primary contact primary phone number *

0422 042 063

Must be an Australian phone number.

Primary contact email address *

andrew.stanbury@wa.swimming.org.au

This is the address we will use to correspond with you about the sponsorship application.

Event, Program or Activity Details

*** indicates a required field**

Event, program or activity name *

Open Water Swimming Series - Round Mullaloo and Round Sorrento

Start date *

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31/12/2023
Must be a date.

End date *
26/01/2024
Must be a date.

Start Time
7.00am

End Time
12.30pm

Address (the event, program or activity must be located within the City of Joondalup boundaries) *

Mullaloo Beach & Sorrento Beach
Mullaloo & Sorrento
Joondalup WA 6027 Australia
Address Line 1, Suburb/Town, State/Province, and Postcode are required.

Event, program or activity overview *

The event comprises two of our 2023-24 OWS Series events to be scheduled as follows:

1. Mullaloo on Sunday 31st December 2023 at Mullaloo Beach.
2. Sorrento on Saturday 13th January or Friday 26th January (Australia Day) at Sorrento Beach (TBC).

Both events were run on comparable weekends in the 2022-23 Series; Sorrento being on the 12th January 2023. However, if the OWS National Championships does not return to Busselton in 2024, we will run the Sorrento event on Australia Day, a very popular swim date, to maximise swimmer entries.

Each event will comprise swim distances from the 500m Come and Try through to 5km. As such, there is something for everyone; for novice and young swimmers right through to accomplished open water swimmers. Indeed, both events will feature our Elite competition component, which attracts WA's best swimmers, including Australian Dolphins. Swimmers range in age from 9 years old to 70-plus across the events, and we typically attract slightly more females than males - 55% to 45%.

The events typically open for registration at 6.00am, with races starting at 7.30am and prize ceremonies concluding around midday. Our event management staff arrive at 3.00am to set-up the event, and conclude packing down at about 1.00pm. The local Surf Lifesaving clubs are contracted and remunerated for the provision of beach and water safety. We also use contractors to set up the on-water swim course, requiring GPS precision, and for carrying Technical Officials on-water during the race.

Detailed description of the event, program or activity including (but not limited to) programming information and historical information.

What are the expected outcomes of the event, program or activity? *

We are targeting the following minimum number of swimmer entries for the events:

1. Mullaloo: 650 swimmer entries.
2. Sorrento: 550 swimmer entries.

We expect 1 to 1.5 attendees per swimmer entry - family, supporters, local spectators - at each event. As such, we expect 1,200 to 1,800 attendees in aggregate, in addition

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to a minimum 1,200 swimmers. Each event will also feature approximately 50 event management workers - Swimming WA staff, contractors and volunteers. There will be approximately 20 local swimming club volunteers at each event. An important achievement in these events is the event management experience and skills development afforded to these local volunteers, as well as the support and remuneration provided to their clubs in the process.

In terms of the events' program / activity, we hope to achieve the following:

1. In both cases, events that are run in full and to the very professional standard we target in our OWS Series.
2. Above all, events that have the highest standards of safety, minimising the risk and incidence of unwanted occurrences.
3. Events that meet our minimum patronage targets, as described above.
4. Events that deliver the outcomes desired of key partners such as the City of Joondalup, Surf Lifesaving clubs, swimming clubs, other partners including Swimming WA's merchandising partner

In terms of broader objectives we wish to achieve, we note the following:

The events, separately and in aggregate, will achieve significant local community vibrancy. They are a great spectacle, activating key local amenities and tourism assets, including of course the wonderful beaches in each case. Images from the events will be available for the City to highlight the tourism (including sports-tourism) potential of the destinations. We hire a photographer for each event and at Sorrento will likely commission drone video footage, which produces spectacular imagery available for this purpose.

The events also achieve economic impact, delivering significant footfall to local hospitality businesses, from cafes, bars and restaurants to accommodation providers and other businesses.

In addition, the events, in using local contractors and volunteers, support local clubs - Surf Lifesaving and swimming clubs. They provide a financial injection to these clubs and facilitate them showcasing what they have to offer, which helps build bridges to membership amongst attendees and in the local community.

Outline KPI's for the event (i.e. attendance targets, participation rate), what you want the event, program or activity to achieve.

Criteria

*** indicates a required field**

Outline target market/groups for the event, program or activity. *

The OWS Series events, including those proposed for Sorrento and Mullaloo, target the following markets:

1. Swimmers of all abilities and ages (above 9 years' old)
2. Spectators / supporters of swimming looking to experience events in great natural locations including elite athletes of national caliber.
3. Local City of Joondalup residents interested in sporting event participation and spectating opportunities on their doorstep.
4. Elite swimmers interested in top-class Open Water swimming competition.

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5. Volunteers (local swimming club members) looking to extend their experience and skills in sporting event management and delivery.

Does this event, program or activity reach the City's key target market groups of residents, ratepayers, youth, seniors and/or businesses within the region?

Anticipated attendance, participant and/or spectator numbers. *

Expected event patrons:

Sorrento: 550 swimmers; between 1 to 1.5 family/supporters per swimmer; 100 general spectators. Total 1,400 to 1,725

Mullaloo: 650 swimmers; between 1 to 1.5 family/supporters per swimmer; 100 general spectators. Total: 1,200 to 1,475

Aggregate Total: 2,600 to 3,200.

Cost to attend the event *

\$0.00

Cost to participate in the event *

\$37.00

How will the event, program or activity create long term value to the City and its residents? *

The two events at Mullaloo and Sorrento are similar but activate different beach locations in the City. They will deliver common long-term value to the City and its residents through:

1. Offering significant event participation and spectating opportunities. Swimming is WA's largest participation sport (ref AusPlay

Survey), is iconic, great for physical and mental health and an essential part of the Australian and WA lifestyle. These events,

professionally managed with a sharp focus on water safety, unlock the potential of ocean water swimming for large scale

community participation. We aim to embed them in the OWS Series Calendar longer term with a view to growing them year-on-

year well beyond the aggregate 1,200 swimmers expected in 2023-24. Local resident participation and spectating will be a key

focus of the dedicated event promotion in each case.

2. The events will each create significant community vibrancy and economic impact. These events attract participants and

spectators (family and supporters) from outside the City. We expect 2,600 - 3,200 in aggregate, plus another 100 event

management staff and volunteers. This brings incremental expenditure, benefitting the City's hospitality industry and local

businesses. The events also make a direct expenditure contribution to the local economy through payments to local contractors

including local Surf Lifesaving Clubs and remuneration for local swimming clubs and the event staff they contribute (and who

benefit from event management experience and upskilling). As such, the events contribute to the longer-term growth of local

stakeholders.

3. The events showcase the extraordinary beach locations, promoting the general and

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sporting tourism potential of these destination assets. They activate these locations and deliver great visual imagery in the process, which will help promote the destinations to intrastate, interstate and international visitors longer term, including those for whom swimming is a valued sport and/or recreation.

4. In adding Open Water clinics in 2023-24 as a new initiative prior to, and to complement, the swims, we are delivering a free opportunity for local residents to learn the swimming skills and safety lessons required of ocean waters. These are lessons for life and can reduce the burden on the City's health and emergency services longer term. Detail the community benefits/value this event, program or activity can provide.

How will the event, program or activity provide positive exposure for the City's brand and image locally and/or regionally? *

Swimming WA's OW Swimming Series is the premier open water swimming series in WA and, indeed, Australia. We aim to run the constituent events at a range of WA's most attractive beach locations, and Sorrento and Mullaloo are targeted for this reason. The events showcase and activate these locations in a unique way, profiling their attributes as tourism and sports tourism destinations.

The imagery generated from the fabulous spectacle of large numbers of swimmers in beautiful ocean locations (enhanced now that we are selectively commissioning drone video footage) provides great tourism promotional collateral for the City's use.

The City also benefits from being seen to deliver large scale, prestigious sporting events offering accessible participation and spectator opportunities. The events offer swims of different scale to make them as accessible as possible to all ages and abilities. They also showcase some of Australia's best swimmers. It is a mix that will reinforce the City's reputation for delivering opportunities for resident participation as well as bring top class sporting competition and athletes to the doorstep.

Provide details of the planned advertising and promotional campaign; proposed media coverage and risk mitigation strategies.

Outline the tangible benefits the City will receive as part of the sponsorship agreement. *

The City will receive a range of tangible benefits as part of the sponsorship, including:

Four (4) branded banners at each event (Round), supplied by the City

Four (4) branded tear-drop signs at each Round, supplied by the City

Additional signage if required, to be supplied by the City.

Opportunity for City VIP (Mayor receiving first invitation) interview with event MC's at each Round.

Regular acknowledgement of the City's contribution and support by the MC's throughout the Rounds.

Opportunity to present medals and trophies at the concluding prize ceremonies of each Round.

Activation space and opportunity for the City at each Round - to be developed with Swimming WA if requested by the City.

Sponsor logo on OWS website and all event and OWS Series collateral.

Sponsor recognition in all digital media, including Social Media and Swimming WA's eDM 'Western Swimmer' (15,000+ subscribers), related to the Rounds.

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Acknowledgement and opportunity for comment / quotes in media releases for each Round e.g. logo on promotional materials, social media; signage at the event, program or activity; ability for a City representative to attend/speak at the event etc. Outline what is included as part of this agreement and what can be provided at an additional cost to the City.

How will the event, program or activity enhance the liveability of the City for the community and promote Joondalup as a destination of choice for visitors to the region? *

The City's livability will be enhanced by the community vibrancy that the events will generate. It is our belief that people take pride in, and are interested in experiencing well executed sporting events in their local community. These events take place on the beach and are over by midday in any case, so are not invasive for residents. They are a great spectacle and create a great vibe, activating the beach-front and adjacent cafes in a way that does not happen frequently. Furthermore, they are accessible events, open to and with something to offer people of all ages (above 9 years) and abilities. As such, they offer a great participation opportunity for people from the local community - the chance to experience ocean water swimming with a social and competitive element, depending on their motivation, in a safe and managed environment that only such an event can deliver.

The events, being part of WA's premier Open Water Swimming Series, do attract WA's best swimmers, including those such as Kyle Lee and Jack Wilson, who have both recently been selected for the Australian Dolphins team. This offers the local community the chance to see the best of the best in major sport on their doorstep.

Will the event, program or activity attract visitors from outside the region? *

Yes

No

At least 1 choice must be selected.

Provide further details about these visitors including how they will be communicated with/attracted to the event, anticipated numbers, where they will come from and/or if they will stay in the region for the event.

Visitors to the Mullaloo and Sorrento events are expected from the local community (City of Joondalup), Metropolitan Perth, Intrastate and potentially a small number from Interstate.

The events are promoted across all of Swimming WA's digital channels, including Social Media (Insta and Facebook), the SWA website and dedicated OWS Series website, our eDM newsletter 'Western Swimmer' (over 15,000 subscribers) and through direct mail to our OWS database. They will also be promoted through Nova FM 93.7, our radio partner with who we develop a Series-long campaign to attract swimmers and spectators to the event. The cornerstones of this campaign will be regular on-air promotion via Sean McManus, who is a keen open water swimmer, and geo-targeted promotion to the City and adjacent suburbs.

Expected event patrons:

Mullaloo: 650 swimmers; between 1 to 1.5 family/supporters per swimmer; 100 general spectators. Total 1,400 to 1,725

Sorrento: 550 swimmers; between 1 to 1.5 family/supporters per swimmer; 100 general spectators. Total: 1,200 to 1,475

Aggregate Total: 2,600 to 3,200. Plus 100 event management staff and volunteers in aggregate over the 2 events.

Expected combined event patrons by origin:

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Local (Coj): 30%

Metropolitan Perth: 49%

Intrastate: 20% - one third of these are estimated to stay in the City of Joondalup (.33*.20*[1200+1200 min] = 159 people)

Interstate: 1% - one third of these are estimated to stay in the City of Joondalup (.33*.01*[1200+1200 min] = 8 people)

How will the event, program or activity stimulate economic development and/or provide benefits to local businesses? *

The events in combination are expected to generate 2,600 to 3,200 participants and spectators, in aggregate. There are direct beneficiaries of event expenditure, notably the local Mullaloo and Sorrento Surf Lifesaving Clubs, plus the local swimming clubs that partner with Swimming WA, contributing remunerated 'volunteers' to deliver the events. There are also a broad range of local businesses that will benefit from the increased footfall around the beach-front locations - cafes, bars, restaurants and retailers. Finally, there will be intrastate and a few interstate visitors from amongst participants and supporters who book accommodation in the City - some for a night, given the early morning start and others who build a staycation around the event. In sum, there will be material incremental spend and economic impact generated by these events.

Will local businesses be engaged with the event, program or activity; will participants/attendees spend with local businesses?

Upload documents/materials that will support the above. e.g. advertising schedules, event plans

No files have been uploaded

Financials

* indicates a required field

Total Amount Requested

\$14,000.00

*

What is the total financial support you are requesting in this application (excluding GST)?

If successful, what expenditure item/s will the City's contribution cover?

Expenditure	\$
Site set-up contractors (50% of fee)	\$5,000.00
Water Safety (60% local Surf Lifesaving club fees)	\$6,000.00
On-water course set-up & officials' transport contractor - 50%	\$3,000.00
	\$

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	\$
	\$
	\$

Budget (excluding GST)

Please outline your project budget in the income and expenditure tables below, **including details of other funding that you are seeking and/or have applied for, whether it has been confirmed or not**. All amounts should exclude GST.

Provide clear descriptions for each budget item in the 'Income' and 'Expenditure' columns, Use the 'Notes' column for any additional information you think we should be aware of.

Please **do not add commas** to figures - e.g. type \$1000 not \$1,000 - this will ensure your figures for each table total correctly.

Income Description	Income Type	Confirmed Funding?	Income Amount (\$)	Notes
Participant Fees	Earned Income *	Unconfirmed *	\$55,800.00	1200 swimmers * ave \$46.5 ex GST
Coj sponsorship	Other Income	Unconfirmed	\$14,000.00	Subject to application
			\$	
			Must be a dollar amount.	

Expenditure Description	Expenditure Type	Expenditure Amount (\$)	Notes
Water Safety	Other Expenditure *	\$10,000.00	SLS clubs
On-water course set-up	Administrative and Infrastructure	\$6,000.00	Contractor HMP
Site set-up	Administrative and Infrastructure	\$10,000.00	Contractor RDE
Swimmer Timing Service Contractor	Project and Production	\$14,000.00	Contractor WASE; timing chips, other equipment, support
Swimmer Caps & Tattoos	Other Expenditure	\$5,700.00	Caps @ \$3.40 ex GST per swimmer
Photography	Project and Production	\$1,700.00	Salt Diaries; photo + production
Rego Commission on Entries	Administrative and Infrastructure	\$2,790.00	5% fee to Register Now

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Participant water/fruit	Other Expenditure	\$2,400.00	
Local swim club/volunteer remuneration	Other Expenditure	\$2,200.00	
Tech Officials/MC	Other Expenditure	\$1,900.00	
Swimming WA Staff/Planning	Salaries and Wages	\$8,000.00	On-day labour; attribution for planning/admin etc
Marketing & Promotion	Advertising and Promotion	\$2,000.00	Incl paid Social Media ads
Other - bins, radios, hire fees	Other Expenditure	\$2,110.00	
Contingency	Other Expenditure	\$1,000.00	

Budget Totals

Total Income Amount *	Total Expenditure Amount *	Income - Expenditure *
\$69,800.00 This number/amount is calculated.	\$69,800.00 This number/amount is calculated.	0 This number/amount is calculated.

Applicant Capacity and Experience

*** indicates a required field**

Please provide details about your organisation and/or team, and previous experience that will give us confidence that you can complete the work you've described in this application. *

Swimming WA is the State Sporting Association for swimming in WA, founded in 1902, having over 100 years' experience of running swimming events and programs in WA. We have 15 full time employees, plus 7 regular casual FTE employees and a very large number of event delivery volunteers, including over 100 Technical Officials who provide a team of up to 10 officials on the day of each event.

We run 10 OWS Series events annually at locations right across WA from Karratha to Bunbury, including both Mullaloo and Sorrento in recent times. As such, we have extensive experience of running these events, including at the locations for which we are applying for funding support.

We use expert contractors for key components of the events including local Surf Lifesaving Clubs for water safety, race timing contractors, on-water course set-up providers and event set-up contractors. We also partner with local swimming clubs for event 'volunteers'. We have the requisite equipment, know-how, experience and capability to run these events and have demonstrated this over many years of operating the OWS Series in WA.

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Include in this section information about your strategies for providing the inputs (money, staff/volunteers, time/expertise, equipment, facilities etc.) and how you will complete this event, program or activity within the proposed timelines. Provide information also about any past work that may demonstrate your organisation's capacity to undertake this work. Provide links to further explanatory material if available/relevant.

Upload any documents/materials that will support the above e.g. references, previous examples of work, staff profiles

No files have been uploaded

Certification and Feedback

*** indicates a required field**

Certification

This section must be completed by an appropriately authorised person on behalf of the applicant organisation (may be different to the contact person listed earlier in this application form).

- Submission of this application constitutes acceptance of these Terms and Conditions.
- The information provided on the application form is correct at the date of submission.
- Corporate sponsorship applications are typically assessed at the end of each month.
- Written notification of the outcome of the assessment will be issued within three months of the application being received.
- If the application is successful, following completion of any details, a sponsorship agreement will be drafted by the City outlining the terms of the sponsorship and the duties of each party, which must be signed and kept on file by both parties.
- By submitting this application, there is no guarantee that the City will sponsor the event, program or activity.
- Applications are not transferable between organisations, events, programs or activities.
- The application must outline the full details of the event, program or activity and the agreement will apply strictly for the event, program or activity listed in this application.
- Corporate Sponsorship commitments are subject to available funds within the City's budget.
- The City's assessment decision for this application is final.
- The applicant will notify the City of any changes to the details in this application as soon as they become known to the applicant.

I agree *

Yes No

Name of authorised person *

Mr Andrew Stanbury
Must be a senior staff member, board member or appropriately authorised volunteer

Position *

GM Organisational Sustainability
Position held in applicant organisation (e.g. CEO, Treasurer)

Contact phone number *

0422 042 063
Must be an Australian phone number.
We may contact you to verify that this application is authorised by the applicant organisation

**2022-2023 Corporate Sponsorship
Corporate Sponsorship Application
Application No. CS1722-23 From Swimming WA**
Form Submitted 11 Apr 2023, 2:48PM AWST

Contact Email * andrew.stanbury@wa.swimming.org.au
Must be an email address.

Date * 06/04/2023
Must be a date

Applicant Feedback

You are nearing the end of the application process. Before you review your application and click the **SUBMIT** button please take a few moments to provide some feedback.

Please indicate how you found the online application process:

Very easy Easy Neutral Difficult Very difficult

How many minutes in total did it take you to complete this application? *

480

Estimate in minutes i.e. 1 hour = 60

Please provide us with your suggestions about any improvements and/or additions to the application process/form that you think we need to consider.

Small detail, but would help to have bullet points/number list options available in the text

Also, the participant cost figure could allow for more detail. We have identified \$37.00 but this is the minimum cost per participant per event. There are a range of swimming distances available per event and the cost will range from \$37.00 (inc GST) to \$62.50 inc GST.

Master Sponsorship Assessment Matrix

Benefit	Up to \$1,000	\$1,001 - \$5,000	\$5,001 - \$10,000	\$10,001 - \$15,000	\$15,001 - \$25,000	\$25,001 - \$50,000
Logo on promotional material	.	.	.	.	.	.
Merchandise distribution e.g. City merchandise in participant packs	.	.	.	.	.	.
Opportunity to set up a promotional display	.	.	.	.	.	.
Verbal acknowledgement throughout the event, program or activity	.	.	.	.	.	.
Signage displayed at the event, program or activity	2	4	6	8	.	.
Logo on website	.	.	.			
Logo and hyperlink on website				.	.	.
Logo on local advertising		.	.	.	.	.
Opportunity for the City representative to present/speak		.	.	.	.	.
Logo on event, program or activity signage			.	.	.	.
Recognition on media releases			.	.	.	.
Recognition and link on social media forums			.	.	.	.
Logo on regional advertising				.	.	.
Digital marketing e.g. Inclusion in club newsletters, emails, on hold messages					.	.
Exclusive rights					.	.

ATTACHMENT 12.6.2

Benefit	Up to \$1,000	\$1,001 - \$5,000	\$5,001 - \$10,000	\$10,001 - \$15,000	\$15,001 - \$25,000	\$25,001 - \$50,000
Economic development e.g. will the program or event provide an opportunity for local organisations to be involved or will it bring visitors to the region who will utilise current businesses such as hospitality (dining and accommodation)					.	.
Tourism e.g. increase visitors to the region, people will travel to attend the event program					.	.
Corporate hospitality e.g. complimentary VIP tickets, invitation to event launch/finale					.	.
Opportunity to include advertisement in publication or program						.
Recognition on radio advertising						.
Naming rights to the event, program or activity						.
Logo on state advertising						.

Attendance	Up to \$1,000	\$1,001 - \$5,000	\$5,001 - \$10,000	\$10,001 - \$15,000	\$15,001 - \$25,000	\$25,001 - \$50,000
Under 500	.	.				
500 – 2,000		.	.			
2,001 – 5,000			.	.		
5,001 – 10,000				.	.	
Over 10,000					.	.

CEO's Delegated Payments List - Regulation 13(1)
Local Government (Financial Management) regulations 1996 ATTACHMENT 1
LIST OF MUNICIPAL PAYMENTS - Payment Detail for Month of May 2023

Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
Payments						
EF111278	15/05/2023	TRUSTEE FOR BBBM UNIT TRUST GROWERS AGRISHOP	T/AS			12,858.48
			183496 - HERBICIDE WEEDMASTER	VP331237	9,988.00	
			183497 - LANDSCAPING MAINTENANCE		18.48	
			183498 - WEEDING CHEMICAL		1,920.00	
			183499 - TANK CLEANER		932.00	
EF111273	15/05/2023	4PARK PTY LTD (FORPARK AUSTRALIA)				2,423.41
			60783 - PLAY EQUIPMENT		1,249.71	
			60784 - PLAY EQUIPMENT MAIN		887.48	
			60785 - PLAY EQUIPMENT MA		286.22	
EF111742	31/05/2023	4PARK PTY LTD (FORPARK AUSTRALIA)				970.42
			60782 - PLAY EQUIPMENT MTCE		970.42	
EF111740	31/05/2023	A TAYLOR & J J TAYLOR T/AS FAST FLYERS				176.00
			13797 - DISTRIBUTION OF BULK GREEN WASTE FLYERS		176.00	
EF111651	31/05/2023	A.S.B. MARKETING PTY LTD				1,617.00
			18722 - HAND SANITISER WIPES 10 PACK, WHITE		1,617.00	
EF111653	31/05/2023	A_SPACE AUSTRALIA PTY LTD				6,551.60
			22179 - HAND GRIPS		2,422.20	
			22180 - SPIDER WALL ROPE		4,129.40	
EF111590	31/05/2023	ABBY MCLEOD				100.00
			INWE23/22325 - DOG REGISTRATION REFUND		100.00	
EF111236	15/05/2023	ACCESS ICON PTY LTD (CASCADA GROUP)				33,477.40
			17496 - GRATED COVER RAISED	02722	3,900.60	
			17497 - INDUSTRIAL GRATED COVER	02722	4,666.20	
			17532 - COVER WAVE GRATE INDUSTRIAL	02722	6,221.60	
			17533 - COVER WAVE	02722	2,600.40	
			17570 - INDUSTRIAL GRATED COVER	02722	10,887.80	
			17583 - GRATED COVER RAISED	02722	5,200.80	
EF111176	15/05/2023	ACROMAT				442.07
			48479 - 4 BADMINTON NETS		442.07	
EF111629	31/05/2023	ACTION GLASS & ALUMINIUM				337.92
			54683 - HEATHRIDGE COMMUNITY CENTRE		337.92	
EF111190	15/05/2023	ADAPT-A-LIFT GROUP PTY LTD				1,355.20
			1366378 - PARTS ONLY		1,355.20	
EF111587	31/05/2023	ADRIAN HILL				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111930	31/05/2023	ADVAM PTY LTD				81.18
			C76_202302436 - AUGUST MONTHLY SUPPORT FEE - ADVAM		81.18	
EF111469	15/05/2023	ADVENTURE WORLD WA				1,067.00
			208417 - SHP AUTUMN 2023 - ADVENTURE WORLD		1,067.00	
EF111645	31/05/2023	AFGRI EQUIPMENT AUSTRALIA PTY LTD				585.93
			2715215 - FILTERS		209.86	
			2716458 - AIR FILTER		376.07	
EF111631	31/05/2023	AGE DEVELOPMENTS PTY LTD				70,618.36
			30332 - BORE CLEANING		70,618.36	
EF111531	17/05/2023	ALBERT JACOB				2,201.19

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			MAY 23 - EXPENSE REIMBURSEMENT - MAY 23		2,201.19	
EF111947	31/05/2023	ALBERT JACOB				11,668.91
			ALLOW-MAYOR-MAY 2023 - MAYORAL ALLOWANCE - MAY 2023		7,666.41	
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		4,058.66	
			MAY 2023 - MOTOR VEHICLE REMIBURSEMENT - MAY 2023		-56.16	
EF111656	31/05/2023	ALCHEMY SAUNAS PTY LTD				3,146.00
			INV-0179 - SAUNA MONTHLY RENTAL FOR MAY 23		3,146.00	
EF111133	15/05/2023	ALEX BANDUCCI				76.00
			2868416 - REFUND CRAIGIE LEISURE CENTRE		76.00	
112808	5/05/2023	ALINTA				111.30
			249999240 29/03/23 - SEACREST PARK COMMUNITY SPORTING FACILIT		53.70	
			803001185 16/03/23 - PAYMENT NO 8030011854 CALECTESIA HALL		57.60	
112824	10/05/2023	ALINTA				603.95
			802001699 05/05/23 - 8020016994 CURRAMBINE COMMUNITY GAS		570.30	
			862001320 05/04/23 - PAYMENT NO 8620013208 WARWICK RD DUNCRA		33.65	
112830	18/05/2023	ALINTA				1,192.05
			227002208 09/05/23 - BRAMSTON VISTA 1/2-3/5/23		46.70	
			642498400 08/05/23 - JOONDALUP ADMIN 31/3-5/5/23		1,100.20	
			962002342 08/05/23 - PENISTONE ST GREENWOOD		45.15	
EF111178	15/05/2023	ALL FENCE U RENT PTY LTD				9,398.95
			45964 - FENCING FOR JF HILLARYS BOAT HARBOUR		8,590.45	
			46244 - TEMPORARY SECURITY FENCE	VP324286	808.50	
EF111635	31/05/2023	ALL FENCE U RENT PTY LTD				1,499.30
			46351 - SECURITY FENCE		412.50	
			46490 - FENCING		1,086.80	
EF111169	15/05/2023	ALLMARK & ASSOCIATES				147.40
			IN0038290 - SHINY SELF INKING S-829 BLACK INK		147.40	
EF111174	15/05/2023	ALLWEST TURFING				13,647.16
			48575 - CHICHESTER PARK CAPITAL WORKS FOR HONNI	04122	5,200.80	
			48739 - GENEFF KINDY, SORRENTO	04122	3,500.20	
			48741 - ELLERSDALE PARK, WARWICK	04122	2,405.98	
			48742 - OCEAN REEF RESERVE	04122	2,540.18	
EF111628	31/05/2023	ALLWEST TURFING				26,362.05
			48740 - TURF (ROLL) - PENNISETUM CLANDESTINUM (K)	04122	4,206.40	
			48854 - CLC SUPPLY & INSTALL KIKUYU	04122	7,605.40	
			48949 - QUARRY RAMBLE EDGEWATER	04122	7,818.25	
			48962 - SUPPLY & INST KIKUYU	04122	6,732.00	
EF111181	15/05/2023	ALS LIBRARY SERVICES PTY LTD				1,037.72
			4891 - PROFILED STOCK AS SELECTED BY SUPPLIER		49.69	
			92889 - ITEMS AS SELECTED		168.20	

ATTACHMENT 12.7.1

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LIST OF MUNICIPAL PAYMENTS - Payment Detail for Month of May 2023

Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			94880 - PROFILED STOCK AS SELECTED BY SUPPLIER		227.16	
			94881 - PROFILED STOCK AS SELECTED BY SUPPLIER		24.84	
			94882 - PROFILED STOCK AS SELECTED BY SUPPLIER		53.23	
			94883 - TITLES AS SELECTED		21.29	
			94884 - PROFILED STOCK AS SELECTED BY SUPPLIER		17.74	
			94885 - ITEMS AS SELECTED		31.93	
			94886 - PROFILED STOCK AS SELECTED BY SUPPLIER		99.37	
			94887 - PROFILED STOCK AS SELECTED BY SUPPLIER		205.85	
			94888 - PROFILED STOCK AS SELECTED BY SUPPLIER		35.49	
			94889 - PROFILED STOCK AS SELECTED BY SUPPLIER		70.99	
			94890 - PROFILED STOCK AS SELECTED BY SUPPLIER		31.94	
EF111637	31/05/2023	ALS LIBRARY SERVICES PTY LTD				7,774.89
			95309 - PROFILED STOCK AS SELECTED BY SUPPLIER		543.14	
			95310 - TITLES AS SELECTED		40.44	
			95311 - VARIOUS TITLES		100.01	
			95312 - TITLES AS SELECTED		359.16	
			95313 - TITLES AS SELECTED		65.27	
			95314 - PROFILED STOCK AS SELECTED BY SUPPLIER		223.60	
			95315 - BOOKS "CLASSIC CAR"		70.13	
			95316 - BOOKS ""DATA STRUCTURES THE FUN WAY		70.99	
			95317 - VARIOUS TITLES		182.20	
			95318 - BOOKS "EARTH AND FIRE"		49.69	
			95319 - VARIOUS TITLES		212.88	
			95320 - VARIOUS TITLES		148.63	
			95321 - VARIOUS TITLES		124.21	
			95322 - VARIOUS TITLES		99.24	
			95323 - VARIOUS TITLES		226.11	
			95324 - VARIOUS TITLES		68.85	
			95325 - VARIOUS TITLES		24.84	
			95327 - VARIOUS TITLES		78.09	
			95328 - BOOKS ""THE STAGE ACTOR'S HANDBOOK"		29.10	
			95508 - VARIOUS TITLES		199.46	
			95509 - VARIOUS TITLES		159.70	
			95510 - VARIOUS TITLES		56.79	
			95511 - VARIOUS TITLES		76.66	
			95512 - TITLES AS SELECTED		210.71	
			95513 - VARIOUS TITLES		100.79	
			95514 - VARIOUS TITLES		17.74	
			95515 - VARIOUS TITLES		21.29	
			95516 - VARIOUS TITLES		152.59	
			95517 - TITLES AS SELECTED		14.19	
			95518 - TITLES AS SELECTED		10.64	
			95519 - VARIOUS TITLES		48.26	
			95520 - VARIOUS TITLES		144.79	
			95521 - VARIOUS TITLES		23.42	
			95757 - VARIOUS TITLES		230.50	
			95758 - VARIOUS TITLES		139.12	

ATTACHMENT 12.7.1

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LIST OF MUNICIPAL PAYMENTS - Payment Detail for Month of May 2023

Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			95759 - TITLES AS SELECTED		71.03	
			95760 - VARIOUS TITLES		177.46	
			95761 - PVARIOUS TITLES		127.47	
			95762 - VARIOUS TITLES		92.28	
			95763 - PROFILED STOCK AS SELECTED BY SUPPLIER		186.70	
			95764 - PROFILED STOCK AS SELECTED BY SUPPLIER		175.99	
			95765 - PROFILED STOCK AS SELECTED BY SUPPLIER		24.84	
			95766 - PROFILED STOCK AS SELECTED BY SUPPLIER		164.67	
			95767 - PROFILED STOCK AS SELECTED BY SUPPLIER		115.27	
			95768 - PROFILED STOCK AS SELECTED BY SUPPLIER		113.21	
			95769 - VARIOUS TITLES		81.63	
			95770 - VARIOUS TITLES		10.64	
			95771 - VARIOUS TITLES		25.55	
			95772 - VARIOUS TITLES		156.19	
			95773 - VARIOUS TITLES		30.52	
			9605 - PROFILED STOCK		253.92	
			96057 - PROFILED STOCK		153.33	
			96059 - PROFILED STOCK		138.25	
			96060 - PROFILED STOCK		150.99	
			96061 - PROFILED STOCK		118.82	
			96062 - PROFILED STOCK		63.81	
			96063 - PROFILED STOCK		79.25	
			96064 - PROFILED		251.49	
			96065 - ITEMS AS SELECTED		21.29	
			96066 - PROFILED STOCK		71.68	
			96067 - PROFILED STOCK		81.63	
			96068 - PROFILED STOCK		297.40	
			96069 - PROFILED STOCK		78.09	
			96070 - PROFILED STOCK		46.13	
			96071 - PROFILED STOCK		49.54	
			96072 - PROFILED STOCK		42.59	
EF111192	15/05/2023	ALSCO PTY LIMITED				195.26
			CPER2312255 - CM - CLEANING GENERAL EXT MATERIAL PURC		195.26	
EF111641	31/05/2023	ALYKA PTY LTD				163.33
			INV-36011 - CRAFTING COMPELLING CONTENT COURSE		163.33	
EF111193	15/05/2023	AMPOL AUSTRALIA PETROLEUM PTY LTD				56,192.07
			302114195 - FUEL IMPORT 01/05/2023		56,192.07	
EF111293	15/05/2023	AMY MARGARET HOWELL				1,292.36
			3 - AURORA - WATCH AND ACT		1,292.36	
EF111597	31/05/2023	ANDREW HOAR				30.00
			16/05/23 - DOG REGISTRATION REFUND		30.00	
EF111647	31/05/2023	ANIMAL CARE EQUIPMENT & SERVICES (AUSTRALIA) PTY LTD				4,672.62
			37380 - COLLAPS - A -BOWL -SKU-CAB		3,473.62	
			37448 - SHELTER TEK LEASH SKU ST-SL		1,199.00	
EF111632	31/05/2023	ANIMAL PEST MANAGEMENT SERVICES				4,317.50
			INV-04234 - RABBIT CAGE TRAPPING	VP311299	4,317.50	
EF111143	15/05/2023	ANNETTE BYRNE				50.00
			INWE23/ 19239 - REFUND FOR DOG REGISTRATION		50.00	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
EF111173	15/05/2023	APACE AID (INC)				3,111.04
			13423 - COJ VERGE PROJECT		3,111.04	
EF111627	31/05/2023	APACE AID (INC)				184.80
			13480 - REACTIVE MATERIALS - BUSH REGENERATION		184.80	
EF111470	15/05/2023	ARBOR CENTRE PTY LTD				1,485.00
			INV-30933 - BALTUSROL PARK		1,485.00	
EF111179	15/05/2023	ARBOR WEST PTY LTD (CLASSIC TREE SERVICES)				5,582.50
			INV-38581 - DAVID CRESC - HILLARYS	03520B	159.50	
			INV-38582 - ELLERSDALE AVENUE, WARWICK	03520B	159.50	
			INV-38583 - CLIFF ST, MARMION	03520B	159.50	
			INV-38585 - FROBISHER AVE, SORRENTO	03520B	159.50	
			INV-38587 - MARINE TCE, SORRENTO	03520B	1,116.50	
			INV-38588 - HOVEA AVE, SORRENTO	03520B	319.00	
			INV-38589 - NIMROD PLACE, HILLARYS	03520B	319.00	
			INV-38590 - DEBENHAM WAY, HILLARYS	03520B	319.00	
			INV-38591 - KESSELL LANE, BELDON	03520B	319.00	
			INV-38592 - NAUTILUS WAY, KALLAROO	03520B	159.50	
			INV-38593 - KILRENNY CRESCENT, GREENWOOD	03520B	159.50	
			INV-38594 - GRENPELL AVENUE, DUNCRAIG	03520B	159.50	
			INV-38595 - AUSTIN WAY, PADBURY	03520B	159.50	
			INV-38596 - WILLOW ROAD, WARWICK	03520B	159.50	
			INV-38597 - GLENBANK CRESCENT, KALLAROO	03520B	159.50	
			INV-38599 - CRIPPS COURT, DUNCRAIG	03520B	319.00	
			INV-38600 - RALEIGH ROAD, SORRENTO	03520B	159.50	
			INV-38603 - WINDSOR PLACE, KALLAROO	03520B	159.50	
			INV-38606 - SINGLE TREE - PRUNING AROUND LOW/HIGH VO	03520B	159.50	
			INV-38607 - KATISHA STREET, DUNCRAIG	03520B	478.50	
			INV-38608 - DOVERIDGE DRIVE, DUNCRAIG	03520B	159.50	
			INV-38609 - PARKFIELD PLACE, CRAIGIE	03520B	159.50	
EF111538	19/05/2023	ARBOR WEST PTY LTD (CLASSIC TREE SERVICES)				319.00
			INV-38281 - BRIDGEWATER DRIVE, KALLAROO	03520B	159.50	
			INV-38293 - DAMPIER AVENUE, KALLAROO	03520B	159.50	
EF111636	31/05/2023	ARBOR WEST PTY LTD (CLASSIC TREE SERVICES)				2,073.50
			INV-38584 - SINGLE TREE - PRUNING	03520B	478.50	
			INV-38598 - SINGLE TREE - PRUNING	03520B	319.00	
			INV-38602 - SINGLE TREE - PRUNING AROUND LOW/HIGH VO	03520B	159.50	
			INV-38790 - MISSED TREE - FACTORS BEYOND CONTROL OF	03520B	1,116.50	
EF111171	15/05/2023	ARTEIL WA PTY LTD				539.00
			84667 - MEL POOL OFFICE CHAIR		539.00	
EF111186	15/05/2023	ARTROOM				3,492.50
			2207 - GRAPHIC DESIGN ASSISTANCE		1,567.50	
			2217 - PARKING SIGNES - MOTHERS DAY		1,925.00	
EF111650	31/05/2023	ARTS EDGE PTY LTD				131.00
			I72929 - 25 YEAR STAFF PHOTO		131.00	
EF111638	31/05/2023	ARUP PTY LIMITED				1,650.00

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LIST OF MUNICIPAL PAYMENTS - Payment Detail for Month of May 2023

Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			39-230185 - DEVELOPMENT OF THE INTEGRATED TRANSPORT		1,650.00	
EF111537	19/05/2023	ASLAB PTY LTD				198.00
			24543A - SHORT PAID ON ORIGINAL INVOICE		198.00	
EF111626	31/05/2023	ASLAB PTY LTD				11,289.74
			24884 - ASPHALT TESTING -CHARACTERISTICS (MRWA 7	02622	3,374.80	
			24885 - ASPHALT TESTING -SMA CORE DENSITY (MRWA	02622	2,788.50	
			24886 - VEHICLE COSTS	02622	5,126.44	
EF111170	15/05/2023	ASPHALTECH PTY LTD				14,167.69
			17716 - REPLACEMENT OF GULLY GRATE	VP226781	2,023.96	
			17718 - REPLACEMENT OF GULLY GRATE	VP226781	4,047.91	
			17719 - REPLACEMENT OF GULLY GRATE	VP226781	4,047.91	
			17720 - REPLACEMENT OF GULLY GRATE	VP226781	4,047.91	
EF111625	31/05/2023	ASPHALTECH PTY LTD				6,540.61
			17697 - EMULSION - EXPL	VP205727	3,943.78	
			17735 - GRAVELMIX	VP205727	2,596.83	
			17759 - ASPHALT	VP205727	816.75	
			CR17759 - CREDIT NOTE FOR INVOICE 17697 ASPHALTECH		-816.75	
EF111182	15/05/2023	ASSET INFRASTRUCTURE MANAGEMENT PTY LTD				11,773.30
			INV-0681 - AUDIT FEES		11,773.30	
EF111642	31/05/2023	ASV SALES & SERVICE (WA) PTY LTD				1,755.16
			311563 - WHEEL SERVICE		665.57	
			313010 - FILTERS		909.12	
			313173 - A/C FILTER - SAKURA		180.47	
EF111621	31/05/2023	AURORA CIROLLI				10.00
			INWE23/29298 & INWE23/28694 - REFUND FOR PAYMENT FOR PARKING TICKET		10.00	
EF111633	31/05/2023	AUSCORP IT				2,632.88
			36382 - APPLE IPAD		555.01	
			36429 - TONER CARTRIDGE		566.26	
			INV-00036333 - ANTI-SHOCK TOUGH CASE TAB S8		128.15	
			INV-00036430 - BLACK TONER CART		1,383.46	
EF111184	15/05/2023	AUSRECORD PTY LTD				212.30
			95947 - 2D COLOUR DARK GREEN FLAP AND SPINE FILE		212.30	
EF111187	15/05/2023	AUSTRALASIAN EVENTS PTY LTD (ACE SECURITY AND EVENTS SERVICE				8,709.25
			9363 - JF SECURITY - CELEBRATE YELLAGONGA		4,078.25	
			9430 - SECURITY AT ANZAC DAY SWAN SERVICE 2023		4,631.00	
EF111646	31/05/2023	AUSTRALASIAN EVENTS PTY LTD (ACE SECURITY AND EVENTS SERVICE				880.00
			9357 - SECURITY OFFICER - LIBRARY		880.00	
EF111643	31/05/2023	AUSTRALASIAN REPORTING AWARDS LIMITED				485.00
			180523JCC - ARA FEEDBACK SESSION		485.00	
EF111468	15/05/2023	AUSTRALIA DAY COUNCIL OF WA				643.50
			INV-1508 - CULTURAL AWARENESS WORKSHOP		643.50	
EF111467	15/05/2023	AUSTRALIA POST				5,808.24
			1012392966 - MAILWEST P/E 30/4/23		811.14	

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			1012393733 - POSTAGE APRIL 2023		4,991.64	
			1012396659 - REPLY PAID LETTERS		5.46	
EF111175	15/05/2023	AUSTRALIAN AIRCONDITIONING SERVICES P/L				7,880.23
			67325 - ILUKA SPORTS COMPLEX BOWLING CLUB OFFICE	02822	3,976.50	
			67336 - CLC CONDITION REPORT OF COOL ROOM	02822	107.80	
			67337 - WARWICK COMMUNITY HALL	02822	161.70	
			67341 - JOONDALUP CIVIC CENTRE	02822	276.10	
			67378 - SORRENTO COMMUNITY HALL	02822	107.80	
			67419 - ADMIN BUILDING AIR CON	02822	377.30	
			67496 - SERVICE TECHNICIAN - NORMAL HOURS T1 (AT	02822	2,468.23	
			67497 - COJ WOODVALE LIBRARY	02822	161.70	
			67506 - WARWICK LEISURE CENTRE	02822	243.10	
EF111630	31/05/2023	AUSTRALIAN AIRCONDITIONING SERVICES P/L				23,074.70
			67365 - A/C SPLIT SYSTEM - FREE BLOW, WALL/CEILING	02822	22,859.10	
			67619 - COJ WORKS OPERATION CENTRE	02822	215.60	
EF111691	31/05/2023	AUSTRALIAN CONSUMERS ASSOCIATION T/AS CHOICE				1,100.00
			6317314 - RENEWAL CHOICE ONLINE SUBSCRIPTION		1,100.00	
EF111648	31/05/2023	AUSTRALIAN DANCING SOCIETY LTD				2,310.00
			2023/001 - SPONSORSHIP FOR 2023		2,310.00	
EF111466	15/05/2023	AUSTRALIAN INSTITUTE OF MANAGEMENT				7,630.00
			7149180 - SENIOR EXECUTIVE FORUM		7,630.00	
EF111535	19/05/2023	AUSTRALIAN TAXATION OFFICE				36,050.13
			551000460064234721. - FBT RETURN 2022 - 2023		36,050.13	
EF111115	15/05/2023	AVELING HOMES PTY LTD				3,098.72
			BPC23/0455 - REFUND CERTIFIED BUILDING APPLICATION		1,188.39	
			BPC23/0456 - REFUND CERTIFIED BUILDING APPLICATION		910.50	
			BPC23/0457 - REFUND CERTIFIED BUILDING APPLICATION		999.83	
EF111119	15/05/2023	AVENUE ONE PROP GROUP TRUST				924.37
			149598 - RATE REFUND		924.37	
EF111180	15/05/2023	AXIENT PTY LTD				4,641.12
			1357 - RIGHTFAX MAINTENANCE RENEWAL		4,641.12	
EF111185	15/05/2023	AXIIS CONTRACTING PTY LTD				16,830.29
			7460 - BLUE MOUNTAIN DR JOONDALUP	02121	9,578.75	
			7462 - QUARRY RAMBLE EDGEWATER	02121	775.97	
			7463 - RIDGE CLOSE EDGEWATER	02121	704.84	
			7464 - EMERALD PARK EDGEWATER	02121	4,373.28	
			7488 - CHICHESTER PARK WOODVALE	02121	1,397.45	
EF111539	19/05/2023	AXIIS CONTRACTING PTY LTD				1,501.20
			7226 - CROSSOVERS - CROSSOVER APRON 600MM WIDTH	02121	1,501.20	
EF111640	31/05/2023	AXIIS CONTRACTING PTY LTD				63,867.37
			7461 - GREY CONCRETE - DUAL USE PATH (1.8 TO 2.	02121	6,557.00	
			7465 - INSTALL PATH MACDONALD PARK, PADBURY	02121	4,841.99	

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			7502 - CROSSOVERS - CROSSOVER APRON 600MM WIDTH	02121	690.73	
			7503 - GREY CONCRETE - PRAM RAMP 2500MM WIDE	02121	1,984.71	
			7505 - RAPID HARDENER	02121	924.19	
			7506 - GREY CONCRETE - PRAM RAMP 2500MM WIDE	02121	3,815.15	
			7507 - REPAIR (REMOVE, REPLACE AND BACKFILL) EX	02121	3,763.47	
			7508 - GREY CONCRETE - PRAM RAMP 2500MM WIDE	02121	2,112.32	
			7509 - GREY CONCRETE - PRAM RAMP 2500MM WIDE	02121	6,414.97	
			7510 - REPAIR (REMOVE, REPLACE AND BACKFILL) EX	02121	2,570.67	
			7511 - GREY CONCRETE - DUAL USE PATH (1.8 TO 2.	02121	7,197.04	
			7512 - GREY CONCRETE - PRAM RAMP 2500MM WIDE	02121	5,754.84	
			7538 - MAWSON CRESCENT HILLARYS	02121	11,396.22	
			7549 - CASTLECRAG PARK KALLAROO	02121	2,547.01	
			7552 - SEACREST DR SORRENTO	02121	3,297.06	
EF111177	15/05/2023	AZAWAY				3,080.00
			2498 - REACTIVE CONTRACTORS - WASTE DISPOSAL CO		2,420.00	
			2512 - REMOVE AND DISPOSE OF ASBESTOS		660.00	
EF111476	15/05/2023	BAYCORP (WA) PTY LIMITED				37.45
			0223-011 - POUNDAGE		7.65	
			0323-008 - POUNDAGE		2.50	
			0323-009 - POUNDAGE		19.80	
			0323-010 - POUNDAGE		7.50	
EF111932	31/05/2023	BAYCORP (WA) PTY LIMITED				13.20
			523-052 - POUNDAGE		13.20	
EF111543	19/05/2023	BCE SURVEYING PTY LTD				10,484.65
			14440 - DEPOSITED PLAN - DUFFY HOUSE - JOONDALUP		10,484.65	
EF111666	31/05/2023	BCE SURVEYING PTY LTD				764.50
			14549 - DUFFY HOUSE, JOONDALUP		764.50	
EF111675	31/05/2023	BE PROJECTS (WA) PTY LTD				83,784.26
			100843 - CLC CLAIM NO 34	00421A	83,784.26	
EF111831	31/05/2023	BENSEMAN FAMILY TRUST (PROTECTOR FIRE SERVICES)				431.20
			10077687 - CHIEF FIRE WARDEN TRAINING		431.20	
EF111202	15/05/2023	BG & E PTY LIMITED				7,631.25
			A01000034835 - VISUAL INSPECTION & MAINTENANCE PROGRAM		7,631.25	
EF111205	15/05/2023	BIBLIOTHECA RFID LIBRARY SYSTEMS AUSTRALIA PTY LTD				2,020.74
			INV-AU04829 - TITLES AS SELECTED		2,020.74	
EF111670	31/05/2023	BIBLIOTHECA RFID LIBRARY SYSTEMS AUSTRALIA PTY LTD				4,689.88
			INV-AU04815 - RFID WORKSTATION SHIELDED W/O PSU		4,689.88	
EF111206	15/05/2023	BIDFOOD WA PTY LIMITED (BIDVEST PERTH)				364.88
			C6216118 - SHORTCRUST PASTRY REF INV I58439497		-19.30	
			I58866110,PER - BAKELS ANZAC COOKIES		384.18	
EF111199	15/05/2023	BIG W				126.00

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			TI-018D7-1108F4 - LSC EQUIPMENT		126.00	
EF111542	19/05/2023	BIG W				38.50
			TI-018D7-1469D8 - REPAIR EQUIPMENT		38.50	
EF111661	31/05/2023	BIG W				882.40
			TI-018D7-1388FD - CHOCOLATES AND STATIONARY AS SELECTED.		37.00	
			TI-018D7-13C61D - CHOCOLATES AND STATIONARY AS SELECTED.		9.00	
			TI-018D7-140892 - CATERING ITEMS AS SELECTED.		15.00	
			TI-018D7-1469D3 - ACCESSORIES		78.00	
			TI-018D7-149AD4 - CHOCOLATE		78.00	
			TI-018D7-14BBB1 - LOLLIES AS SELECTED		32.00	
			TI-018D7-153A6C - LITTLE SWIMMER NAPPIES		462.00	
			TI-018D7-15516B - CATERING ITEMS AND CANDY		146.40	
			TI-018D7-156938 - CRECHE ART AND CRAFT		25.00	
EF111210	15/05/2023	BIZFURN EXPRESS AUSTRALIA PTY LTD				3,439.00
			WAE88144/01 - PURCHASE AND DELIVERY 9 CHAIRS		3,439.00	
EF111208	15/05/2023	BLACK COCKATOO PRESERVATION OF AUSTRALIA SOCIETY				440.00
			10407 - PRESENTER FOR SCHOOL HOLIDAY EVENT		440.00	
EF111196	15/05/2023	BOC LIMITED				45.31
			4033587726 - CLC - MEDICAL OXYGEN 2022/2023		45.31	
EF111659	31/05/2023	BOC LIMITED				120.08
			4033824618 - RENTAL - IND. CYLINDERS		76.23	
			4033832284 - MEDICAL OXYGEN 2022/2023		43.85	
EF111492	15/05/2023	BOROVINA FAMILY TRUST T/AS IMPACT PANEL & PAINT				2,000.00
			14569 - VEHICLE 1EQC818 EXCESS		1,000.00	
			14599 - EXCESS FOR VEHICLE 1EXC523		1,000.00	
EF111945	31/05/2023	BOROVINA FAMILY TRUST T/AS IMPACT PANEL & PAINT				1,000.00
			14605 - NISSAN NAVARA		1,000.00	
EF111227	15/05/2023	BORRELLO FAMILY TRUST T/AS CARRAMAR RESOURCE INDUSTRIES				3,960.22
			INV-73832 - CONSTRUCTION WASTE		461.23	
			INV-73982 - RECEIPT OF CONSTRUCTION WASTE	VP297220	2,765.07	
			INV-73992 - BRICKIES YELLOW SAND	VP294005	733.92	
EF111695	31/05/2023	BORRELLO FAMILY TRUST T/AS CARRAMAR RESOURCE INDUSTRIES				13,406.58
			INV-73983 - CONSTRUCTION WASTE	VP297220	2,355.43	
			INV-73984 - COJ LAWN TOP DRESSING	VP294005	1,387.32	
			INV-74317 - LAWN TOP DRESSING	VP294005	990.00	
			INV-74332 - CONSTRUCTION WASTE	VP297220	5,858.93	
			INV-74333 - ZONE 2 DEPOT	VP294005	726.00	
			INV-74334 - COJ SAND FILLING	VP294005	742.50	
			INV-74335 - TOP LAWN TOP DRESSING	VP294005	594.00	
			INV-74570 - LAWN/TOP DRESSING	VP294005	752.40	
EF111172	15/05/2023	BORVEK PTY LTD ABL WESTCHEM				704.57
			570102 - CLC - SANOPINE 20L		704.57	
EF111204	15/05/2023	BOULT NOMINEES PTY LTD (BOULTS WHITE LIGHT)	BLACK &			1,838.32
			2037 - SUPPLY TEMPORARY EVENT POWER		1,838.32	

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EF111667	31/05/2023	BOULT NOMINEES PTY LTD (BOULTS WHITE LIGHT)	BLACK & 2043 - POWER & LIGHTING AURORA TENT		33,645.03	33,645.03
EF111111	15/05/2023	BOUNCE AUSTRALIA PTY LTD	JP886384152641 25/04/23 - AUTUMN SHP - BOUNCE 17.04.23		195.00	195.00
EF111197	15/05/2023	BP AUSTRALIA LIMITED	12590637 - DIESEL FOR MONTH ENDED 30/04		7,534.40	7,534.40
EF111124	15/05/2023	BRADLEY JAMES RICHARDS	149938 - RATES REFUND		527.58	527.58
EF111396	15/05/2023	BRADY AUSTRALIA PTY LTD T/AS SETON AUSTRALIA PTY LTD	9352906373 - CLC - GASEOUS CHLOINE PK10		116.58	291.45
			9352922392 - CLC - CHLORINE SOLUTION PK10		174.87	
EF111864	31/05/2023	BRADY AUSTRALIA PTY LTD T/AS SETON AUSTRALIA PTY LTD	9353051386 - COVERS NO EDGE		812.35	1,179.75
			9353136986 - MISC		367.40	
EF111671	31/05/2023	BRIGHTMARK GROUP PTY LTD	2261 - CLC-MONTHLY CLEANING SERVICES FOR MAY 23	02920	30,201.60	30,201.60
EF111589	31/05/2023	BROLLY AUSTRALASIA PTY LTD	INV-2023237 - RECORDS		9,226.80	9,226.80
EF111669	31/05/2023	BRONSON SAFETY PTY LTD	104417 - 2X NO ENTRY SIGNS		339.57	339.57
EF111262	15/05/2023	BROOKLAND CORPORATION PTY LTD (PLATINUM REALTY GROUP)	11680 - CONSTELLATION DRIVE, OCEAN REEF		300.00	300.00
EF111209	15/05/2023	BROWNES FOODS OPERATIONS PTY LIMITED	17093552 - MILK AS REQUIRED WEEKLY		122.18	550.67
			17112251 - MILK AS REQUIRED WEEKLY		203.63	
			17124020 - MILK AS REQUIRED WEEKLY		203.63	
			17124021 - MILK FOR JOONDALUP LIBRARY		21.23	
EF111672	31/05/2023	BROWNES FOODS OPERATIONS PTY LIMITED	17137494 - MILK FOR JOONDALUP LIBRARY		21.23	312.64
			17152588 - MILK FOR JOONDALUP LIBRARY		23.15	
			17168699 - MILK AS REQUIRED WEEKLY		221.96	
			17168709 - MILK FOR JOONDALUP LIBRARY		23.15	
			17186382 - MILK FOR JOONDALUP LIBRARY		23.15	
EF111673	31/05/2023	BRP WEST PTY LTD (WA SEADOO)	108658 - OL & AIR FILTER		137.81	137.81
EF111668	31/05/2023	BUGGY BUDDYS PTY LTD	6771 - SOCIAL MEDIA ADVERTISING		621.50	621.50
EF111475	15/05/2023	BUILDING & CONSTRUCTION INDUSTRY	APR-23 - BCITF APRIL 2023 7 LEVY PAYMENTS		2,705.27	2,705.27
EF111679	31/05/2023	BULLANT EVENTS PTY LTD (BULLANT CO)	INV-0353 - HILLARIE'S ARENA FINGER JETTY		2,695.00	2,695.00
EF111212	15/05/2023	BUNNINGS GROUP LIMITED (TOOL DEPOT)	2435/01446306 - MOVING CARTONS		386.26	1,421.26
			SI202776 - REACTIVE MATERIALS - CONCRETING MAINTENA		36.00	

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			SI202777 - REACTIVE MATERIALS - LANDSCAPING MAINTEN		72.00	
			SI202868 - ATM18FSX-0 MILWAUKEE M18 FUEL SUPER SAW		509.00	
			SI203227 - FUEL		418.00	
EF111677	31/05/2023	BUNNINGS GROUP LIMITED (TOOL DEPOT)	KIT			770.36
			SI203807 - SPOT LIGHT		428.00	
			SI203859 - REACTIVE MATERIALS - LANDSCAPING MAINTEN		67.45	
			SI204059 - SPANNER		58.91	
			SI204060 - REACTIVE MATERIALS - LANDSCAPING MAINTEN		171.00	
			SI204502 - HANDSAW		30.00	
			SI204674 - LANDSCAPING MAINTENANCE		15.00	
EF111198	15/05/2023	BUNNINGS PTY LTD				2,369.94
			2010/01267243 - ITEMS FOR AQUATICS		160.81	
			2435/01179119 - POTTING MIX AND HERB SEEDINGS FOR MOBILE		17.92	
			2435/01181290 - HARDWARE ITEMS		88.34	
			2435/01230745 - REACTIVE CONTRACTORS - SIGN MAINTENANCE		96.70	
			2435/01236873 - STORAGE ITEMS AS SELECTED		220.08	
			2435/0142496 - HARDWARE ITEMS		36.37	
			2435/01446306 - HARDWARE ITEMS		386.26	
			2435/01453918 - HARDWARE ITEMS		154.63	
			2435/01476938 - HARDWARE ITEMS		45.19	
			2435/01478568 - TOOLS		95.88	
			2435/01478731 - HARDWARE ITEMS		20.65	
			2435/01479030 - TOOLS		11.86	
			2435/01479977 - HARDWARE ITEMS		4.39	
			2435/01480316 - HARDWARE ITEMS		77.88	
			2435/01481193 - HARDWARE ITEMS		52.61	
			2435/01481353 - TOOLS		81.61	
			2435/01482204 - WHEELBARROW		378.10	
			2435/01512629 - HARDWARE ITEMS		162.20	
			2435/01514356 - HARDWARE ITEMS		24.43	
			2435/01515962 - BUNNINGS		17.18	
			2435/01516359 - HARDWARE ITEMS		24.72	
			2435/01517361 - TOOLS		125.02	
			2435/01518544 - TOOLS		39.96	
			2435/01518565 - HARDWARE ITEMS		47.15	
EF111660	31/05/2023	BUNNINGS PTY LTD				4,642.84
			01215839 - REFUND ON RYOBI FOLDING BENCH		-65.55	
			01223632 - ORDER P2435800		-17.05	
			2010/00125210 - ITEMS FOR AQUATICS		291.34	
			2435/00155159 - 150 X CHAIRS FOR AURORA TENT		233.49	
			2435/00206760 - ITEMS FOR AQUATICS		555.00	
			2435/00222195 - DUST MASKS & CANVAS BOARDS		73.58	
			2435/00291555 - BUCKET AND MOP		17.01	
			2435/01159411 - MISCELLANEOUS EQUIPMENT		36.97	
			2435/01189081 - CLC: CLOCKS, HDMI CABLE, STICKY TAPE		140.03	
			2435/01189933 - CLOCKS, HDMI CABLE, STICKY TAPE		52.74	

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			2435/01248122 - DYNABREEZE 450MM OSCILLATING FLOOR FAN		271.70	
			2435/01485424 - LAWN SEEDS & CONTAINER		73.37	
			2435/01486136 - DRILL		8.56	
			2435/01487247 - HARDWARE ITEMS		144.31	
			2435/01487627 - HARDWARE ITEMS		98.21	
			2435/01487772 - SPRAY PAINT		24.73	
			2435/01488122 - HARDWARE ITEMS		8.19	
			2435/01488130 - BOLTS & NUTS		1.77	
			2435/01488206 - HARDWARE ITEMS		62.88	
			2435/01488218 - TOOLS		26.37	
			2435/01488661 - HARDWARE ITEMS		88.74	
			2435/01488940 - PLIER		13.25	
			2435/01490064 - SPRAY PAINT		33.67	
			2435/01518831 - HARDWARE ITEMS		56.51	
			2435/01518944 - HARDWARE ITEMS		260.14	
			2435/01519237 - VARIOUS HARDWARE ITEMS		125.76	
			2435/01519682 - TOOLS		68.97	
			2435/01519722 - VARIOUS TOOLS		22.20	
			2435/01519819 - ROLLERS AND PAINT BRUSHES		161.96	
			2435/01521913 - HARDWARE ITEMS		8.73	
			2435/01522810 - OUTDOOR STORAGE		329.00	
			2435/01523679 - PLIERS		32.28	
			2435/01525576 - HARDWARE ITEMS		86.32	
			2435/1485226 - TURPENTINE, BIKE LOCK & STORAGE CONTAINER		126.32	
			2435/99848504 - RAPIDMESH FENCE 0419220 (X7)		831.85	
			2443/00183010 - 150 X CHAIRS FOR AURORA TENT		150.53	
			2443/00185170 - MATERIALS FOR URBAN COUTURE EVENTS		49.99	
			2443/01392459 - 150 X CHAIRS FOR AURORA TENT		158.97	
EF111674	31/05/2023	BURSON AUTOMOTIVE PTY. LTD. (BURSON AUTO PARTS)				40.70
			131956532 - NGK SPARK PLUG		40.70	
EF111474	15/05/2023	BUSINESS NEWS				295.00
			INV-2049144 - ONE TICKET TO 23 40UNDER40 AWARDS DINNER		295.00	
EF111098	15/05/2023	C A DESIGN & DRAFTING				40.50
			BPC14/1437 - REFUND BUILDING SERVICES LEVY FOR CANCELLED APPLICATION		40.50	
EF111140	15/05/2023	C F & D M FISHER				70.98
			109456 - RATES REFUND		70.98	
EF111228	15/05/2023	CALIBRE PROFESSIONAL SERVICES LTD	ONE PTY			8,514.00
			CPS1-SINV013011 - CCTV REACTIVE MAINTENANCE WORKS		594.00	
			CPS1-SINV013012 - REID CAR PARK CCTV		7,920.00	
EF111697	31/05/2023	CALIBRE PROFESSIONAL SERVICES LTD	ONE PTY			462.00
			CPS1-SINV013356 - INVESTIGATE WIRELESS CONNECTION ISSUES		264.00	
			CPS1-SINV013357 - CCTV REACTIVE MAINTENANCE WORKS		198.00	
EF111769	31/05/2023	CALL ASSOCIATES PTY LTD (CONNECT CENTRE SERVICES)	CONNECT CALL			2,815.18

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			114266 - OVERCALLS FEE APRIL 2023		2,815.18	
EF111233	15/05/2023	CAMERON CHISHOLM & NICOL (W.A.) PTY LTD T/AS CAMERON CHISHOLM				400.00
			03/05/23 - ATTENDANCE AT JOONDALUP DESIGN REVIEW PANEL 27/04/23		400.00	
EF111102	15/05/2023	CANON FINANCE				246.19
			541588 - A3 SCANNER		246.19	
EF111351	15/05/2023	CANON PRODUCTION PRINTING AUSTRALIA PTY LTD (OCE-AUSTRALIA)				111.78
			INV-56744 - 2022-23 MAINTENANCE OF OCE TSC4 DIGITAL		111.78	
EF111341	15/05/2023	CAPITARY NO. 3 PTY LTD (MIDLAND BRICK)				2,056.92
			1938638 - RED BRICK PAVING MAINTENANCE		2,056.92	
EF111222	15/05/2023	CARCARE MOTOR COMPANY PTY LTD CARCARE JOONDALUP				5,287.60
			30,904 - PLATE SPARE WHEEL		554.15	
			30,940 - LABOUR		1,100.00	
			31,095 - TYRE FITMENT AND BALANCING		284.45	
			31,903 - TYRE FITMENT AND BALANCING		1,100.00	
			31,919 - TYRE FITMENT AND BALANCING		440.00	
			31,999 - PARTS & REPAIR		249.00	
			32,025 - PARTS & REPAIR		1,120.00	
			32,054 - TYRE FITMENT AND BALANCING		440.00	
EF111689	31/05/2023	CARCARE MOTOR COMPANY PTY LTD CARCARE JOONDALUP				543.90
			32,124 - NEW HEAVY DUTY BATTERY 1GUK 639 FORD T		493.90	
			32,147 - WIPER BLADE REPLACEMENT 1GRY 350		50.00	
EF111829	31/05/2023	CAROLYN JOY FAMILY TRUST T/AS PLUS JOONDALUP				614.25
			209560 - CLC 100 BALLOONS WHITE &ORANGE		230.25	
			209714 - CLC BALLOON ARCH		384.00	
EF111457	15/05/2023	CARROL WANNELL				344.00
			1 06/04/2023 - SALE OF ARTWORK LESS COMMISSION		344.00	
EF111690	31/05/2023	CAT WELFARE SOCIETY INC (CAT HAVEN)				495.00
			CH230431 - MONTHLY CAT ADOPTION ADVICE		495.00	
EF111596	31/05/2023	CHAITALI BHATT				229.20
			31019 - REFUND HALL HIRE DUNCRAIG 07/05/23		229.20	
EF111583	31/05/2023	CHALLENGE BRASS BAND				1,650.00
			COJ20523 - PERFORMANCE FEES		1,650.00	
EF111706	31/05/2023	CHALLENGE BRASS BAND				4,014.00
			23052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT		4,014.00	
EF111407	15/05/2023	CHELLEW HAWLEY PTY LTD (SIFTING SANDS)				24,157.08
			INV-1318 - SOFTFALL CLEANING VARIOUS LOCATIONS	VP214807	10,812.73	
			INV-1401 - SOFTFALL CLEANING VARIOUS LOCATIONS	VP214807	11,477.32	
			INV-1559 - REVITALISE PARK		1,540.00	
			INV-1559 - REVITALISE PARK	VP214807	327.03	
EF111876	31/05/2023	CHELLEW HAWLEY PTY LTD (SIFTING SANDS)				11,322.00
			INV-1591 - COMPREHENSIVE CLEAN (REFER CLAUSE 2.4.2)	VP214807	11,322.00	

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EF111478	15/05/2023	CHERRY'S CATERING				4,291.00
			10396 - ATERING FOR CAE OPENING NIGHT VIP FUNCT		4,102.00	
			10434 - CATERING - 6 MAY		189.00	
EF111934	31/05/2023	CHILD EDUCATION SERVICES				762.40
			CE25495 - TITLES AS SELECTED		331.83	
			CE25500 - TITLES AS SELECTED		430.57	
EF111331	15/05/2023	CHIVAS ENTERPRISES PTY LTD (MAYDAY EARTHMOVING)				63,190.60
			83773 - TRACK SKID STEER	03420	1,815.00	
			83794 - 8 WHEEL TIP TRUCK	03420	1,452.00	
			83795 - 5 TONNE EXCAVATOR (MIN 4 HOURS)	03420	56,656.60	
			83821 - 8 WHEEL TIP TRUCK	03420	3,267.00	
EF111551	19/05/2023	CHIVAS ENTERPRISES PTY LTD (MAYDAY EARTHMOVING)				18,727.50
			83628 - POSI TRACK SKID STEER LOADER MINIMUM 4 H	03420	2,057.00	
			83629 - SKID STEER LOADER WITH TRUCK CRAIGIE BUSHLAND	03420	5,082.00	
			83731 - WET HIRE WHEEL LOADER WITH RAKE SORRENTO/MULLALOO	03420	11,588.50	
EF111798	31/05/2023	CHIVAS ENTERPRISES PTY LTD (MAYDAY EARTHMOVING)				14,124.00
			83656 - SAND FOR OPENING NIGHT		4,983.00	
			83774 - 8 WHEEL TIP TRUCK	03420	1,210.00	
			83777 - ROLLER WITH OPERATOR	03420	792.00	
			83891 - WET HIRE SKID STEER	03420	6,534.00	
			83894 - PERCY DOYLE PARK, DUNCRAIG	03420	605.00	
EF111237	15/05/2023	CHLOE MARGUERITE CONNOLLY				1,675.00
			3 - SITE MANAGEMENT - HILLARYS JOONDALUP FESTIVAL 2023		1,675.00	
EF111130	15/05/2023	CHRISTEL MAGORIAN				441.00
			2749717 - SUMMER SEASON CREDIT		441.00	
EF111652	31/05/2023	CHRISTINE AILEEN KENNEDY ("ART AID")				2,403.42
			56 - EXHIBITION ATTENDANT SERVICES		1,869.33	
			57 - EXHIBITION ATTENDANT SERVICES		534.09	
EF111577	31/05/2023	CHRISTINE HAMILTON-PRIME				2,705.83
			MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111956	31/05/2023	CHRISTOPHER MAY				2,867.29
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
			MAY 2023 - EXPENSE REIMBURSEMENT - MAY 2023		161.46	
EF111684	31/05/2023	CHRYSTAL & CO PTY LTD (CATERLINK)				18,156.60
			725219 - MACDONALD PARK KITCHEN ITEMS		18,156.60	
EF111165	15/05/2023	CIELO PALOMA				92.00
			04/05/23 - REFUND OF HIRE FEES		92.00	
EF111477	15/05/2023	CITY OF WANNEROO				46,529.54
			198973 - HIRE OF WASTE TRUCK 2022/23		3,742.20	
			198992 - CONTRIBUTION TO OPERATION COSTS AT SITE		21,393.67	
			198993 - CONTRIBUTION TO OPERATION COSTS AT SITE		21,393.67	
EF111933	31/05/2023	CITY OF WANNEROO				21,393.67
			199110 - CONTRIBUTION TO OPERATION COSTS AT SITE		21,393.67	

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112834	25/05/2023	CIVIC FUNCTIONS PETTY CASH				597.65
			PETTY CASH W/E 26/05/23 - PETTY CASH REIMBURSEMENT		597.65	
EF111686	31/05/2023	CIVICA PTY LTD				220.00
			C/LA031211 - SPYDUS HOME SERVICES TRAINING		220.00	
EF111874	31/05/2023	CLAIRE MICHELLE LANSDOWN (SAGE COPYWRITING)				577.50
			INV-0110 - IPAA LEADER OF THE YEAR 2023 AWARD		577.50	
EF111593	31/05/2023	CLASS 2 PTY LTD				453.00
			206151 - RATES REFUND		453.00	
EF111219	15/05/2023	CLEANAWAY PTY LTD T/AS CLEANAWAY				259,579.03
			21729255 - HARD BULK DEC 22		39,189.84	
			21731379 - PROCESSING OF COMMINGLED RECYCLABLES APR 23	00919	59,836.78	
			21733101 - BULK HARD WASTE COLLECTIONS DEC 22 INV 21729255		-39,189.84	
			21734022 - BULK HARD WASTE COLLECT APR 23	VP316731	128,544.48	
			21734436 - SORTING, RECOVERY / PROCESSING OF RECYCL BULK HARD WASTE APR 23	VP316731	71,197.77	
EF111264	15/05/2023	CLUB FED PTY LTD (EVOLVE EVENTS)				4,405.50
			INV-1568 - 9XDISABILITY ACCESS & INCLUSOIN WORKSHOP		4,405.50	
EF111234	15/05/2023	CMAK TECHNOLOGIES PTY LTD (CMAKTECH)				675.09
			2187 - DOME CAMERA		675.09	
EF111863	31/05/2023	COHESION GROUP PTY LTD (COHESION LABELS & LABELLING)				562.10
			130449 - 4 ROLLS BOOK CLUB STICKERS		562.10	
EF111220	15/05/2023	COMMERCIAL AQUATICS AUSTRALIA				366.77
			29415 - CRAIGIE LEISURE CENTR	02820	366.77	
EF111687	31/05/2023	COMMERCIAL AQUATICS AUSTRALIA				995.50
			29577 - CLC BUTTERFLY VALVE 25M POOL FILTER	02820	995.50	
EF111935	31/05/2023	COMMITTEE FOR ECONOMIC DEVELOPMENT AUSTRALIA				1,990.00
			INV-16476-C0D4N8 - STATE OF THE NATION SINGLE REGISTRATION		1,990.00	
EF111225	15/05/2023	COMMON GROUND TRAILS PTY LTD				107,602.00
			INV-18992 - QUARRY RAMBLE PARK		107,602.00	
EF111693	31/05/2023	COMMON GROUND TRAILS PTY LTD				4,499.00
			INV-18981 - CHICHESTER PARK PUMP TRACK DESIGN		4,499.00	
EF111232	15/05/2023	COMMUNITY GREENWASTE RECYCLING PTY LTD				331.32
			INV-2492 - GREEN WASTE DISPOSAL		331.32	
EF111217	15/05/2023	COMPAC MARKETING (AUSTRALIA) PTY LTD				5,571.50
			62063 - REPLACEMENT FLOOR PRINT D3		423.50	
			62098 - SANTIAGO PARK, OCEAN REEF		1,540.00	
			62132 - SUPPLY & INSTALL 5 X TEMPORARY SIGNS		748.00	
			62156 - PATH SIGNS - BURNS BEACH		2,860.00	
EF111683	31/05/2023	COMPAC MARKETING (AUSTRALIA) PTY LTD				1,287.00
			62148 - MARRI ROAD, DUNCRAIG		495.00	
			62155 - DUFFY HOUSE, DUFFY TCE, WOODVALE		792.00	
EF111235	15/05/2023	CONSTRUCT PAVING SERVICES PTY LTD				59,442.24

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			193 - GLENGARRY DVE DUNCRAIG		220.00	
			193 - GLENGARRY DVE DUNCRAIG	01422	7,931.00	
			199 - TURRAMURRA WAY GREENWOOD	01422	6,949.36	
			201 - PAVING - MAPLE STREET GREENWOOD	01422	1,507.88	
			202 - NIMROD PL HILLARYS	01422	1,999.58	
			203 - BUCHAN PL HILLARYS	01422	1,278.42	
			204 - CENTRAL PARK JOONDALUP	01422	1,639.00	
			205 - EAFY CITY HARDSTANDS TO GURONRD DUNCRAIG	01422	3,580.50	
			206 - JUNO CRT KALLAROO	01422	1,901.24	
			207 - MAWSON CR HILLARYS	01422	3,146.88	
			208 - ALDGATE PARK JOONDALUP	01422	4,785.88	
			209 - MCLARTY AVE JOONDALUP	01422	983.40	
			210 - LEAFY CITY HARDSTAND DUNCRAIG		55.00	
			210 - LEAFY CITY HARDSTAND DUNCRAIG	01422	17,517.50	
			211 - GRANDADILLA RD EAST DUNCRAIG	01422	3,652.00	
			212 - NATURALISTE BLVD ILUKA	01422	655.60	
			213 - GOLDFINCH LOOP WOODVALE	01422	983.40	
			214 - CRINUM CT WOODVALE	01422	655.60	
EF111702	31/05/2023	CONSTRUCT PAVING SERVICES PTY LTD				41,529.62
			215 - REMOVE EXISTING BRICKPAVERS AND RELAY IN	01422	3,179.66	
			216 - REMOVE EXISTING BRICKPAVERS AND RELAY IN	01422	983.40	
			217 - REMOVE EXISTING BRICKPAVERS AND RELAY IN	01422	1,868.46	
			218 - REMOVE EXISTING BRICKPAVERS AND RELAY IN	01422	2,950.20	
			219 - REMOVE EXISTING BRICKPAVERS AND RELAY IN	01422	655.60	
			220 - REMOVE EXISTING BRICKPAVERS AND RELAY IN	01422	655.60	
			221 - REMOVE EXISTING BRICKPAVERS	01422	655.60	
			223 - LEAFY CITY HARDSTANDS DUNCRAIG	01422	13,079.00	
			224 - KYLIE WAY KINGSLEY	01422	4,753.10	
			225 - CHESSELL DV DUNCRAIG	01422	12,749.00	
EF111698	31/05/2023	COOL BREEZE RENTALS UNIT TRUST T/AS A ACOOOL BREEZE RENTALS				14,072.15
			64036 - AIR-CONDITIONING TO AURORA TENT		14,072.15	
112809	5/05/2023	CORPORATE SERVICES PETTY CASH				983.40
			PETTY CASH P/E 02/05/23 - PETTY CASH REIMBURSEMENT P/E 02/05/23		983.40	
112825	10/05/2023	CORPORATE SERVICES PETTY CASH				765.45
			10/05/23 - PETTY CASH REIMBURSEMENT		765.45	
112831	18/05/2023	CORPORATE SERVICES PETTY CASH				725.90
			17/05/23 - PETTY CASH RIMBURSEMENT		725.90	
EF111226	15/05/2023	CORSIGN WA PTY LTD				6,672.60
			74492 - SUPPLY AND DELIVER 40 CORFLUTE SIGNS		4,576.00	
			74745 - ST NAME PLATES		1,801.80	
			74902 - SIGNAGE FOR ADMIRAL PARK		294.80	
EF111694	31/05/2023	CORSIGN WA PTY LTD				5,285.23
			74528 - REACTIVE MATERIALS - PAVEMENT MAINTENANC		4,180.00	
			74533 - MAWSON CRES, HILLARYS	VP254465	865.43	

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			74957 - REACTIVE MATERIALS - SIGN MAINTENANCE		202.40	
			75295 - REACTIVE MATERIALS - SIGN MAINTENANCE		37.40	
EF111320	15/05/2023	CR JOHN LOGAN				268.77
			MAY 2023 - EXPENSE REIMBURSEMENT - MAY 2023		268.77	
EF111789	31/05/2023	CR JOHN LOGAN				4,622.41
			ALLOW-DM-MAY 2023 - DEPUTY MAYOR ALLOWANCE - MAY 2023		1,916.58	
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111309	15/05/2023	CR NIGEL JONES				304.71
			MAY 2023 - EXPENSE REIMBURSEMENT - MAY 2023		304.71	
EF111776	31/05/2023	CR NIGEL JONES				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111360	15/05/2023	CR RUSSELL POLIWKA				2,259.80
			02/05/23 - AIR FLIGHT CONFERENCE 9-11/5/23		2,259.80	
EF111827	31/05/2023	CR RUSSELL POLIWKA				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111889	31/05/2023	CROMAG PTY LTD (TELFORD INDUSTRIES)				11,396.88
			679080 - CLC SUITS, TILED, VINYL PAINTED SURFACES		11,396.88	
EF111218	15/05/2023	CSP GROUP PTY LTD T/AS STIHL SHOP				4,317.10
			76149#3 - PARTS ONLY		650.80	
			76256#7 - PARTS ONLY		153.00	
			76383 #3 - PURCHASES OF MINOR PLANT		679.15	
			76384 #3 - PURCHASES OF MINOR PLANT		765.15	
			76385 #3 - PURCHASES OF MINOR PLANT		976.65	
			76386 #3 - DRIVE SHAFT		82.60	
			76387 #3 - PARTS ONLY		120.00	
			76404 #3 - PURCHASES OF MINOR PLANT		386.65	
			76406 #3 - PARTS ONLY		429.55	
			76408 #3 - PARTS ONLY		73.55	
EF111685	31/05/2023	CSP GROUP PTY LTD T/AS STIHL SHOP				4,381.00
			74683#3 - HARNESS - ADV UNIVERSAL - FS 55-560		600.00	
			76524 #7 - DRIVE TUBE ASSEMBLY		880.00	
			76549 #7 - PARTS ONLY		972.00	
			76551 #7 - HELMET KIT		572.00	
			76598 #7 - PARTS		872.00	
			76644 #7 - BG 86-Z BLOWER		381.00	
			76659 #7 - PARTS ONLY		104.00	
EF111229	15/05/2023	CTI5 PTY LTD (CTI RISK MANAGEMENT)				4,026.00
			1070874 - CALE TM COLLECTIONS APRIL 23	02420	3,762.00	
			1070875 - CSC COLLECTIONS APRIL		132.00	
			1070877 - JOONDALUP LIBRARY - PROGRAMMED CASH AND	02420	132.00	
EF111699	31/05/2023	CTI5 PTY LTD (CTI RISK MANAGEMENT)				132.00
			1070876 - CRAIGIE LEISURE COLLECTIONS ON APRIL		132.00	
EF111923	31/05/2023	CUBEX PTY LTD (WESTPOINT BUILDING CONSULTANTS)				1,375.00

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			INV-0525 - MULLALOO SURF LIFE SAVING CLUB		1,375.00	
EF111723	31/05/2023	CUTTING CART PTY LTD (DARDANUP BUTCHERING CO)				1,459.67
			BL737681 - MEAT FOR BUFFET MEALS		1,459.67	
EF111221	15/05/2023	CYCLUS PTY LTD				2,610.59
			INV-3139 - SITE CREW MITP 3		1,083.79	
			INV-3252 - SITE CREW		668.80	
			INV-3260 - SITE CREW		858.00	
EF111688	31/05/2023	CYCLUS PTY LTD				17,397.37
			INV-3149 - SITE CREW AURORA BUILD & DISMANTLE		2,349.60	
			INV-3157 - SITE CREW AURORA BUILD & DISMANTLE		2,764.89	
			INV-3159 - SITE CREW AURORA BUILD & DISMANTLE		727.38	
			INV-3223 - AGENCY STAFF - 27/03-02/04		657.80	
			INV-3236 - SITE CREW AURORA BUILD & DISMANTLE		411.40	
			INV-3242 - SITE CREW AURORA BUILD & DISMANTLE		2,636.70	
			INV-3253 - GREASE IN GALAXY DRIVE IN		253.00	
			INV-3264 - SITE CREW AURORA BUILD & DISMANTLE		7,293.00	
			INV-3272 - SITE CREW AURORA BUILD & DISMANTLE		303.60	
EF111135	15/05/2023	D & L BARRON				252.00
			2720510 - REFUND CRAIGIE LEIS CTR		252.00	
EF111601	31/05/2023	D M IRVINE				568.72
			105427 - RATES REFUND - ST ANDREWS WAY, DUNCRAIG		568.72	
EF111886	31/05/2023	DAMOWEST PLASTIC (AUST) PTY LTD	D T/A THE			787.60
			62840 - 4 X GLASSES RECYCLING UNITS		787.60	
EF111588	31/05/2023	DANIEL KINGSTON				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111388	15/05/2023	DANIELS HEALTH SERVICES PTY LTD	D T/AS			652.71
			2176638 - CLINICAL WASTE		652.71	
EF111244	15/05/2023	DATA #3				42,484.33
			SIN000105629 - FIBER CHANNEL SWITCHES SUPPORT		8,834.27	
			SIN000105849 - MICROSOFT CSP 26/02-25/03/23		15,595.95	
			SIN000106260 - KOFAX POWER PDF LICENCE		238.58	
			SIN000108723 - ADOBE CREATIVE CLOUD FOR TEAMS		1,733.93	
			SIN000110758 - KOFAX ADDITIONAL LICENCES		485.65	
			SIN000112972 - POWER APPS/ENTERPRISE MONTHLY		15,595.95	
EF111711	31/05/2023	DATA #3				49,183.29
			SIN000108166 - SKETCHUP PRO ANNUAL SUBSCRIPTION		430.43	
			SIN000111123 - SUBSCRIPTION		1,535.64	
			SIN000111451 - KOFAX ADDITIONAL LICENCE		242.83	
			SIN000115186 - KOFAX POWER PDF LICENCES		2,446.73	

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			SIN000115665 - PHOTOSHOP TEAER LVL 12		320.39	
			SIN000116936 - KOFAX POWER PDF		244.67	
			SIN000119125 - VISUAL STUDIO		43,962.60	
EF111245	15/05/2023	DATABASE CONSULTANTS AUSTRALIA				14,559.60
			INV39383 - PF ANNUAL SOFTWARE SUPPORT/MAINTENANCE MAY 23 - APRIL 24		14,559.60	
EF111215	15/05/2023	DAVID BLAIR				320.00
			61 - SALE OF ARTWORK		320.00	
EF111281	15/05/2023	DAVID JONATHAN OWEN BYRNE T/A WET POND AND AQUARIUMS	AS GET			715.00
			3130 - REACTIVE CONTRACTORS - LAKES & WATER FEA		715.00	
EF111678	31/05/2023	DAW HOLDINGS (WA) PTY LTD (BATTERY WORLD JOONDALUP)	BATTERY			129.00
			IN6060273149 - BATTERY DRYPOWER 12V		129.00	
EF111707	31/05/2023	DAWSON'S GARDEN WORLD				250.00
			48886 - 5 X \$50 VOUCHERS		250.00	
EF111760	31/05/2023	DCR NOMINEES PTY LTD T/AS HYGENE CONCEPTS	ENE			1,098.35
			30414 - NEW AMENDMENT FROM MAY		1,098.35	
EF111721	31/05/2023	DE NADA SURVEYS PTY LTD				1,056.00
			INV-7204 - KANANGRA PARK SITE SURVEY		1,056.00	
EF111924	31/05/2023	DEANNA CAROL WARD				300.00
			230013 - EVENT - MASTERING YOUR HABITS		300.00	
EF111575	31/05/2023	DEBORAH DONEGAN				542.19
			442928 - STAFF CONFERENCE FRUIT		147.54	
			79286189901 - STAFF CONFERENCE MORNING TEA		394.65	
EF111243	15/05/2023	DECIPHA PTY LTD				1,975.30
			7770142333 - MONTHLY MAILROOM CONTRACT FEE APRIL 2023		1,975.30	
EF111739	31/05/2023	DELTA ECHO PTY LTD (FAR LANE)				15,256.32
			INV-701 - ECONOMIC DEVELOPMENT STRATEGY PROPOSAL		15,256.32	
EF111252	15/05/2023	DELTA T TECHNOLOGIES (WA) PTY LTD				1,375.00
			4755 - CLC - RELOCATION OF PHES		1,375.00	
EF111931	31/05/2023	DEO VOLENTE MARKETING AUSTRALIA (DVMA) PTY LTD				895.75
			INV-0317 - 1 X FRAMED VALENTINE'S POSTER		895.75	
EF111471	15/05/2023	DEPARTMENT OF FIRE & EMERGENCY SERVICES				1,796.63
			64403 - CLC - CALL OUT COST FOR FIRE PANEL ALARM		1,796.63	
EF111735	31/05/2023	DEPARTMENT OF FIRE & EMERGENCY SERVICES				1,337.00
			61859101 - DFES FALSE FIRE ALARM ATTENDANCE		1,337.00	
EF111480	15/05/2023	DEPARTMENT OF MINES, INDUSTRY REGULATION AND SAFETY				50,424.95
			APR-23 - BSL APRIL 2023 199 LEVIES		50,424.95	
EF111713	31/05/2023	DEPARTMENT OF PRIMARY INDUSTRIES & REGIONAL DEVELOPMENT				682.00
			8339001 - WEED INSPECTION		682.00	
EF111855	31/05/2023	DEPARTMENT OF THE PREMIER AND CABINET				93.60
			1003578 - GOVT GAZETTE ADVERTISING		93.60	
EF111479	15/05/2023	DEPARTMENT OF TRANSPORT				57.35

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			8040974 - DISCLOSURE OF INFORMATION FEES		57.35	
EF111712	31/05/2023	DEPARTMENT OF TRANSPORT - VEHICLE SEARCH				789.85
			8043382 - DISCLOSURE OF INFORMATION FEE		746.15	
			LM2766 - JETTY LICENCE RENEWAL FEE		43.70	
EF111720	31/05/2023	DEPUTEC PTY LTD				2,816.00
			INV01924292 - ONGOING SOFTWARE MONTHLY FEES (36 MONTH)		2,816.00	
EF111253	15/05/2023	DIAMOND LOCKSMITHS PTY LTD (DIAMOND LOCK & KEY)				4,109.46
			271817 - CYLINDERS KEYED FOR BBQ UNITS	VP243063	1,140.00	
			271822 - WARRANDYTE PARK CLUB	VP243063	61.96	
			271891 - COJ ADMINISTRATION	VP243063	7.35	
			271918 - COJ ADMINISTRATION BULIDING	VP243063	30.98	
			271919 - CHICHESTER PARK CLUBROOMS KEYS	VP243063	123.92	
			271922 - WARWICK COMMUNITY CENTRE	VP243063	1,213.50	
			271976 - CITY OF JOONDALUP, ADMINISTRATION	VP243063	172.73	
			271978 - ABUS 83/45 PADLOCK WITH 25MM SPECIAL ALL	VP243063	325.50	
			271980 - KABA BAP L6S 1242%9 CUT KEY	VP243063	216.86	
			271981 - CITY OF JOONDALUP, ADMINISTRATION	VP243063	30.98	
			272034 - WARWICK LEISURE CENTRE - PADLOCKS	VP243063	290.00	
			272084 - KABA BAP L6S 1242%9 CUT KEY	VP243063	464.70	
			272085 - KABA BAP L6S 1242%9 CUT KEY	VP243063	30.98	
EF111719	31/05/2023	DIAMOND LOCKSMITHS PTY LTD (DIAMOND LOCK & KEY)				2,163.60
			271823 - SANTIAGO PARK	VP243063	92.94	
			272112 - FLEUR FREAME PAVILION	VP243063	189.00	
			272117 - CITY OF JOONDALUP, ADMINISTRATION	VP243063	250.00	
			272163 - FLAKLAND PARK FALKLAND WAY, KINROSS	VP243063	61.96	
			272164 - HEATHRIDGE FOOTBALL CLUB	VP243063	203.71	
			272192 - CLC SUPPLY AND INSTALL LOCKS	VP243063	1,062.50	
			272212 - HEATHRIDGE FOOTBALL CLUB	VP243063	162.75	
			272216 - PENISTONE PARK CLUBROOMS	VP243063	61.96	
			272217 - WHITFORDS LIBRARY	VP243063	78.78	
EF111248	15/05/2023	DIGNON, JOSEPH MATTHEW T/AS JOSEPH DIGNON				828.00
			11 09/03/23 - FACILTATOR FOR MUSIC EDGE		276.00	
			12 22/03/23 - FACILTATOR FOR MUSIC EDGE		552.00	
EF111255	15/05/2023	DIPLOMATIK PTY LTD (DIPLOMEDIK)				21,472.68
			INV-11542 - MOWING OPERATOR		1,570.62	
			INV-11543 - SERVICING PARTS & REPAIRS		1,686.37	
			INV-11544 - LITTER COLLECTORS		1,322.28	
			INV-11545 - SERVICING PARTS & REPAIRS		562.12	
			INV-11546 - GENERAL HAND PARKS		1,813.15	
			INV-11607 - MECHANIC		1,124.24	
			INV-11608 - MECHANIC		1,124.24	
			INV-11609 - MOWING OPERATOR WE 23/04/23		1,227.05	
			INV-11611 - MOWING OPERATOR		1,786.49	

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			INV-11612 - GENERAL HAND WE 09/04/23		1,813.15	
			INV-11724 - SERVICING PARTS & REPAIRS 24/04-30/04/23		1,934.36	
			INV-11725 - SERVICING PARTS & REPAIRS 24/04-30/04/23		595.19	
			INV-11726 - TEMP STAFF 24/4/23 TO 28/4/23		1,359.86	
			INV-11727 - MOWING OPERATOR W/E 30/04/23		1,349.76	
			INV-11728 - LITTER COLLECTORS 17/4/23 TO 21/4/23		881.52	
			INV-11729 - LITTER COLLECTORS 24/4/23 TO 28/4/23		1,322.28	
EF111722	31/05/2023	DIPLOMATIK PTY LTD (DIPLOMEDIK)				6,959.80
			INV-11806 - TEMP STAFF 24-30/4/23		1,813.15	
			INV-11847 - BENJAMIN SIMMS 1/5/23 TO 5/5/23		1,786.49	
			INV-11848 - 01/05/23 - 05/05/23 WE 07/05/23		1,227.05	
			INV-11849 - NINA WELZ 1/5/23 TO 5/5/23		881.52	
			INV-11964 - MOWING OPERATOR WE 14/05/23		1,251.59	
EF111368	15/05/2023	DISMAS PTY LTD (PASTA IN THE VALLEY)				630.00
			INV-0245 - AUTUMN SHP 2023 - PASTA IN THE VALLEY		630.00	
EF111724	31/05/2023	DISPOSABLE MEDICAL SUPPLIES PTY LTD				121.66
			DMS115946 - HYPODERMIC NEEDLES		121.66	
EF111246	15/05/2023	DONEGAN ENTERPRISES PTY LTD				70,464.35
			6713 - LIMESTONE REPAIRS		1,331.00	
			6714 - CHICHESTER PARK KERB		2,728.00	
			6715 - INSTALLING RETAINING WALL 3M 240X350X500		1,485.00	
			6717 - LANDSCAPE - OCEAN REEF PARK		9,707.50	
			6718 - LANDSCAPE - EXT CONT		49,052.85	
			6722 - EDGEWATER PARK		4,840.00	
			6723 - EDGEWATER PARK ENTRY STATEMENT		1,320.00	
EF111715	31/05/2023	DONEGAN ENTERPRISES PTY LTD				59,272.62
			6746 - REACTIVE CONTRACTORS - LANDSCAPING MAINT		5,365.80	
			6759 - QUARRY RAMBLE PARK FENCING RELOCATION		352.00	
			6770 - GLENMERE PARK		53,554.82	
EF111149	15/05/2023	DONNA HUGHES				484.33
			174523 - RATES REFUND		484.33	
EF111145	15/05/2023	DONNA MICHELLE WELLINGTON				30.00
			18/04/23 - DOG REGISTRATION REFUND		30.00	
EF111730	31/05/2023	DOUBLE TROUBLE (WA) PTY LTD (EURO POLES & TEXTILE DISPLAYS)				6,155.60
			11536-88522 - VARIO V24 GATE SKIN PLUS INSTALL		4,067.80	
			11536-88522/2 - BIG DAY OUT - FLOAT AND GATE		2,087.80	
EF111241	15/05/2023	DOUGLAS PARTNERS PTY LTD				5,068.80
			258178 - GEOTECHNICAL SURVEY AND REPORT		5,068.80	
EF111708	31/05/2023	DOUGLAS PARTNERS PTY LTD				5,379.00
			259779 - GEOTECHNICAL SURVEY PERCY DOYLE		5,379.00	
EF111250	15/05/2023	DOWNER EDI WORKS PTY LTD				409,799.38
			6014846 - WARWICK RD	01920	149,920.87	

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			6014850 - PULLAN PL	01920	39,172.01	
			6014858 - SEACRETS DR	01920	55,068.50	
			6014865 - SMA7 50 MARSHALL BLOW - 201-300 TONNE -	01920	59,285.06	
			6014874 - SMA7 50 MARSHALL BLOW - 101-200 TONNE -	01920	38,219.50	
			6014875 - SMA7 50 MARSHALL BLOW - 301-400 TONNE -	01920	68,133.44	
EF111718	31/05/2023	DOWNER EDI WORKS PTY LTD				286,812.59
			6014904 - SMA7 50 MARSHALL BLOW - 51-100 TONNE - S	01920	23,882.19	
			6014905 - SMA7 50 MARSHALL BLOW - 101-200 TONNE -	01920	40,468.54	
			6014906 - SMA7 50 MARSHALL BLOW - 101-200 TONNE -	01920	28,174.73	
			6014907 - PIMELIA ST	01920	20,528.12	
			6014908 - TURRAMURRA WAY	01920	75,001.47	
			6014909 - LAMBERTIA ST	01920	40,350.77	
			6014912 - MAWSON CRES	01920	42,574.53	
			6014913 - BAINBRIDGE MEWS	01920	11,176.96	
			735000-A - BURNS BEACH RD	03522	2,470.64	
			P246374 - KENNEDYA DR - PARH RECONSTRUCTION	03522	2,184.64	
EF111249	15/05/2023	DOWSING GROUP PTY LTD				154,967.51
			20204 - WIRILDA CR GREENWOOD	01921	33,058.22	
			20205 - TURRAMURRA WAY GREENWOOD	01921	27,584.59	
			20206 - MAPLE ST GREENWOOD - BLACKBUTT TO TINGLE	01921	8,296.34	
			20241 - MELALEUCA DRIVE, GREENWOOD	02120	15,208.96	
			20244 - COJ-SEACREST DR, SORRENTO	02120	14,462.46	
			20295 - REMOVAL AND DISPOSAL OF KERBING NORMAL W	01921	17,915.11	
			20296 - REMOVAL AND DISPOSAL OF KERBING NORMAL W	01921	7,599.90	
			20327 - SEACREST DR MARMION AVE	01921	8,106.44	
			20343 - BUCHAN PL HILLARYS	01921	10,586.80	
			20347 - JUNO COURT KALLAROO	01921	5,221.23	
			20348 - EDITH CLOSE KINGSLEY COJ	01921	6,927.46	
EF111717	31/05/2023	DOWSING GROUP PTY LTD				74,933.38
			20143 - PROFILE AREA KURRAJONG PLC GREENWOOD		16,163.14	
			20193 - CREDIT FOR INVOICE 20143		-16,163.14	
			20195 - KURRAJONG PLACE, GREENWOOD	02120	17,134.91	
			20375 - REMOVAL AND DISPOSAL OF KERBING	01921	7,687.90	
			20380 - REMOVAL AND DISPOSAL OF KERBING	01921	11,542.26	
			20396 - SKID STEER SWEEPER INCLUSIVE OF DISPOSAL	02120	11,275.63	
			20401 - TURRAMURRA WAY, GREENWOOD	02120	15,585.96	
			20403 - LAMBERTIA ST, GREENWOOD	02120	11,706.72	
EF111247	15/05/2023	DRAINFLOW SERVICES PTY LTD				10,527.00
			13573 - JETTING OCEAN REEF, DUNCRAIG, JOONDALUP	02520	1,122.00	
			13574 - HIGH PRESSURE JETTING AND CLEANING OF DR	02520	3,366.00	

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			13575 - HIGH PRESSURE JETTING AND CLEANING OF DR	02520	3,410.00	
			13596 - GROSS POLLUTANT TRAP	02520	1,155.00	
			13669 - WEST COAST DRIVE / MARMION ANGLING CLUB	02520	1,474.00	
EF111716	31/05/2023	DRAINFLOW SERVICES PTY LTD				2,932.60
			13780 - POLLUTANT TRAPS	02520	385.00	
			13869 - GRATED GULLY PIT	02520	528.00	
			13872 - KURRAJONG PLACE, DUNCRAIG	02520	528.00	
			13882 - GRATED GULLY PIT	02520	528.00	
			13899 - GRATED GULLY PIT	02520	633.60	
			9771 - DAVIDSON TERRACE CARPARK	02520	330.00	
EF111710	31/05/2023	DUNBAR SERVICES (WA) PTY LTD				23.10
			74373 - EXCHANGE OF KITCHEN VENTS			23.10
EF111726	31/05/2023	DUNCRAIG SENIOR CITIZENS CLUB INC				2,575.00
			29052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT			2,575.00
EF111242	15/05/2023	DYMOCKS JOONDALUP				386.63
			5438034 - BOOK CLUB SELECTIONS			140.45
			5438039 - ILLS ITEMS AS REQUESTED			183.54
			5438042 - ILLS ITEMS AS REQUESTED			62.64
EF111709	31/05/2023	DYMOCKS JOONDALUP				1,114.70
			5438052 - ILLS ITEMS AS REQUESTED			71.99
			5438061 - ILLS ITEMS AS REQUESTED			144.86
			5438073 - ILLS ITEMS AS REQUESTED			117.82
			5438079 - ILLS ITEMS AS REQUESTED			114.28
			5438086 - ILLS ITEMS AS REQUESTED			50.38
			5438087 - ILLS ITEMS			149.27
			5438088 - ILLS ITEMS			124.19
			5438095 - ILLS ITEMS			202.45
			5438117 - ILLS ITEMS			139.46
EF111544	19/05/2023	DYNAMIC AUDIO VISUAL SOLUTIONS PTY LTD (PRO AV SOLUTIONS)				4,400.00
			8456 - CUSTOM TIMBER PODS			4,400.00
EF111714	31/05/2023	DYNAMIC AUDIO VISUAL SOLUTIONS PTY LTD (PRO AV SOLUTIONS)				8,138.91
			8547 - CONF RM 1 3RD HDMI INPUT			4,145.66
			8548 - 3RD CAMERA POSITION			3,993.25
EF111377	15/05/2023	E & M J ROSHER				492.80
			1454824 - PARTS ONLY			492.80
EF111265	15/05/2023	E GROUP HOLDINGS PTY LTD (E FIRE & SAFETY)				4,221.80
			581631 - MAINTENANCE OF A HINGE/PIVOT FIRE DOOR -	01922	453.20	
			581632 - MAINTENANCE OF A HINGE/PIVOT FIRE DOOR -	01922	519.20	
			581635 - MAINTENANCE OF A HINGE/PIVOT FIRE DOOR -	01922	466.40	
			583765 - 19MM X 36M FIRE HOSE REEL	01922	687.50	
			583875 - FIRE PUMP-SET SERVICING - MONTHLY	01922	132.00	
			584550 - CRAIGIE LEISURE CENTRE	01922	1,243.00	
			585154 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585155 - FIRE PUMP-SET SERVICING - MONTHLY	01922	71.50	

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			585186 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585323 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585387 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585391 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585392 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585393 - DELUGE & WATER SPRAY SYST - MONTHLY	01922	27.50	
			585398 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585412 - JACKING PUMP SERVICING - MONTHLY	01922	71.50	
			585414 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585415 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
			585417 - FIRE DETECTION AND ALARM SYSTEMS AS 1851	01922	55.00	
EF111546	19/05/2023	E GROUP HOLDINGS PTY LTD (E FIRE & SAFETY)				743.60
			581573 - MAINTENANCE OF A HINGE/PIVOT FIRE DOOR -	01922	567.60	
			581636 - MAINTENANCE OF A HINGE/PIVOT FIRE DOOR -	01922	545.60	
			582217 - PART CREDIT FOR INV 581631			-237.60
			582219 - PART CREDIT RE INV 581573			-52.80
			582220 - PART CREDIT RE INV 581636			-52.80
			582222 - PART CREDIT RE INV 581635			-26.40
EF111731	31/05/2023	E GROUP HOLDINGS PTY LTD (E FIRE & SAFETY)				734.80
			585574 - CRAIGIE LEISURE CENTRE	01922	55.00	
			585584 - PASSIVE FIRE TECHNICIAN - NORMAL HOURS T	01922	522.50	
			586108 - JOONDALUP LIBRARY	01922	104.50	
			586228 - MAINTENANCE OF A HINGE/PIVOT FIRE DOOR	01922	52.80	
EF111260	15/05/2023	E W C S UNIT TRUST (ENVIRO SWEEP)				27,671.87
			106306 - HIRE OF ROAD SWEEPER WITH OPERATOR - AFT	02221	2,673.01	
			108677 - KURRAJONG PL, GREENWOOD	02221	948.75	
			108904 - SORRENTO BEACH STH AND MARMION ANGLING	02221	3,734.50	
			108906 - SWEEPING OF ARTERIAL ROADS - OCEAN REEF	02221	2,042.85	
			108909 - HAWKER AVE & WARWICK RD, WARWICK	02221	1,974.51	
			108910 - PULLAN PL, GREENWOOD	02221	1,170.13	
			108911 - MELALEUCA DR, GREENWOOD	02221	948.75	
			108913 - WIRILDA DR, GREENWOOD	02221	284.63	
			108914 - TURRAMURRA WY, GREENWOOD	02221	284.63	
			108915 - MAWSON CRES, HILLARYS	02221	253.00	
			108916 - SWEEPING OF SANTIAGO PARK	02221	143.00	
			108917 - COJ-MONTHLY BILL FOR SWEEPING APRIL 2023	02221	4,870.30	
			109095 - DUAL USE PATHS - SORRENTO SURF LIFE CLUB	02221	2,032.80	

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			109253 - BUCHAN PL, HILLARYS	02221	411.13	
			109255 - SEACREST DR, SORRENTO	02221	1,156.38	
			109256 - HILLARYS FOOTPATHS	02221	484.00	
			109363 - SWEEPING OF DUAL USE PATHS	02221	1,887.60	
			109364 - MELALEUCA DR, GREENWOOD	02221	790.63	
			109463 - NIMROD PL, HILLARYS	02221	411.13	
			109464 - WEST COAST DRIVE, MARMION	02221	316.25	
			109498 - GILMERTON WAY, GREENWOOD	02221	632.51	
			109505 - MAWSON CR, HILLARYS	02221	221.38	
EF111545	19/05/2023	E W C S UNIT TRUST (ENVIRO SWEEP)				2,645.50
			107165 - SWEEPING OF CAR PARKS	02221	2,645.50	
EF111729	31/05/2023	E W C S UNIT TRUST (ENVIRO SWEEP)				16,006.93
			109362 - SWEEPING OF CAR PARKS - CAR PARK OPPOSIT	02221	4,449.50	
			109365 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	1,328.26	
			109465 - HIRE OF PATHWAY SWEEPER WITH OPERATOR -	02221	907.50	
			109466 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	440.00	
			109487 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	1,486.40	
			109492 - SHOULD BE INVOICE 109496	02221	143.00	
			109503 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	600.88	
			109725 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	376.76	
			109726 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	1,356.35	
			109727 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	719.28	
			109729 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	205.51	
			110099 - AREA SWEEP CONNOLLY	02221	2,212.41	
			110177 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	171.26	
			110178 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	171.26	
			110179 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	445.27	
			110180 - HIRE OF ROAD SWEEPER WITH OPERATOR - NOR	02221	171.26	
			110181 - SWEEPING OF CHARLESLEY CR, MARMION	02221	822.03	
EF111259	15/05/2023	EASISALARY PTY LTD				2,482.19
			APRIL 23 - GST ADJUSTMENT APRIL 23		2,482.19	
EF111727	31/05/2023	ECONOMIC DEVELOPMENT AUSTRALIA				346.50
			INV-977 - EDA ECONOMIC DEVELOPMENT MODULES		148.50	
			INV-978 - EDA ECONOMIC DEVELOPMENT MODULES		198.00	
EF111937	31/05/2023	EDGEWATER LIQUOR STORE				73.99
			142944-2 - LC CATERING		73.99	
EF111481	15/05/2023	EDITH COWAN UNIVERSITY				3,575.00
			900016541 - QUENDA MONITORING IN SPRING 2022		3,575.00	
EF111936	31/05/2023	EDITH COWAN UNIVERSITY				23,751.88

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			10044178 - BRONZE SPONSORSHIP CYBER WEST SUMMIT		8,250.00	
			900016562 - YELLAGONGA WETLANDS		15,501.88	
EF111617	31/05/2023	ELEANOR ALPORT				126.00
			472505 - REFUND TEAM WITHDRAWN		126.00	
EF111509	15/05/2023	ELECTRICITY GENERATION AND RE SYNERGY ELECTRONIC BIL	TAIL T/A			95,228.33
			1001074071 - LLOYD DR, WARWICK A/C 386 793 210		1,466.70	
			2009795571 - GEDDES CL, DUNCRAIG		307.19	
			2045791013 - 5145884713 SANTA ANA PARK		559.37	
			2061780157 - FINCHLEY TCE, JOONDALUP		553.11	
			2069792455 - LOT 502 BARRON PDE, JOONDALUP		305.03	
			3000199082 - A/C 645592300		92,036.93	
EF111968	31/05/2023	ELECTRICITY GENERATION AND RE SYNERGY ELECTRONIC BIL	TAIL T/A			302,233.59
			1001082133 19/05/23 - LLOYD DR, WARWICK		819.40	
			2021836510 16/05/23 - GIBSON AVE, PADBURY		549.18	
			2037823932 16/05/23 - BRAMSTON VSTA, BURNS BEACH		923.02	
			2049811336 - A/C 756 899 130 STREETLIGHTS 25.02-24.04		297,187.87	
			2057820511 - 346547680		594.39	
			3000198163 14/04/23 - BANKS AVE, HILLARYS		1,164.57	
			3000199831 15/05/23 - WHITFORDS SENIORS POWER		921.94	
			9003325522 15/05/23 - WEST VIEW BVD MULLALOO		73.22	
EF111603	31/05/2023	ELIO RUSSO				375.00
			RIM79752 - CROSS OVER SUBSIDY		375.00	
EF111482	15/05/2023	ELLIOTTS IRRIGATION PTY LTD (ELLIOTTS FILTRATION)				9,430.30
			F28041 - CHICHESTER PARK IRON FILTER	00820	726.00	
			F28111 - WARWICK OPEN SPACE	00820	6,031.30	
			F28128 - BLACKTHORN PARK	00820	2,673.00	
EF111254	15/05/2023	EMILY DUTTON				750.00
			1/2 - CAE WINNER: STUDENT AWARD		750.00	
EF111732	31/05/2023	ENCHANTED CHARACTERS PTY LTD (ENCHANTED STILTWALKING)				1,562.00
			INV-0462 - STILT DUO AT CRAIGIE LEISURE CENTRE		1,562.00	
EF111258	15/05/2023	ENGAGING EDUCATION PTY LTD				1,782.00
			EMPRWS/COJ - EMP REPORTS AND WORKSHOP		1,782.00	
EF111728	31/05/2023	ENVIRONMENTAL INDUSTRIES PTY LTD				11,645.39
			C30568 - 1M2 TO 5,000M2 - SCHEDULED - MOWING OF E	00423	6,882.59	
			C30569 - COLLECT ALL CLIPPINGS - DUNCRAIG COMMUNI	VP195858	2,029.40	
			C30570 - COLLECT ALL CLIPPINGS - DUNCRAIG COMMUNI		154.00	
			C30570 - COLLECT ALL CLIPPINGS - DUNCRAIG COMMUNI	VP195858	2,579.40	
EF111857	31/05/2023	ENVIROPATH PTY LTD T/AS SPOTS SURFACE CLEANING	ALL			104.50
			3513 - ST THOMAS LOOP, ILUKA	VP215140	104.50	
EF111105	15/05/2023	ERIKA EVERITT				16.83

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			01/05/23 - REIMBURSEMENT FOR PURCHASE OF ACCESSIBLE EVENTS RESOURCE		16.83	
EF111159	15/05/2023	ERIN WOOLLARD				409.07
			2726342 - REFUND FOR CRAIGIE LEIS CTR		409.07	
EF111600	31/05/2023	ESTHER DEMUTH				17.50
			040523 - UNABLE TO HEAR THE JF PERFORMANCE		17.50	
EF111263	15/05/2023	ESTIMATING & CIVILS AUSTRALIA PTY LTD				302,925.73
			INV-0299 - EDDYSTONE AVENUE		155,229.62	
			INV-0300 - SUPERINTENDANT - EXT CONT		13,254.62	
			INV-0301 - KINGSLEY WHITFORDS INTERSECTION		78,366.56	
			INV-0302 - JOONDALUP DRIVE SHARED PATH		56,074.93	
EF111266	15/05/2023	EVE AUSTRALIA PTY LTD (EVSE AUSTRALIA)				1,155.00
			INV-11596 - WALGA ARENA GRANT APPLICATION		1,155.00	
EF111736	31/05/2023	F E TECHNOLOGIES PTY LTD				7,322.70
			1012273 - LIVE SCANNING WAND		7,322.70	
EF111333	15/05/2023	FEED THE TIGER PTY LTD (MACKAY DESIGN)				500.00
			03/05/23 - ATTENDANCE JOONDALUP DESIGN REVIEW PANEL 27/04/23		500.00	
EF111484	15/05/2023	FILTER DISCOUNTERS PTY LTD				686.40
			232843 - PARTS ONLY		686.40	
EF111938	31/05/2023	FILTER DISCOUNTERS PTY LTD				313.50
			234208 - PARTS - FUEL FILTER		313.50	
EF111268	15/05/2023	FIND WISE LOCATION SERVICES				2,340.80
			5907 - MANO PARK, GREENWOOD		1,060.40	
			5915 - HOOD TERRACE, SORRENTO		382.80	
			5916 - HAWKINS AVENUE, SORRENTO		382.80	
			5920 - SHENTON AVE NEAR GRAND BLVD, JOONDALUP		514.80	
EF111734	31/05/2023	FIND WISE LOCATION SERVICES				3,188.90
			5922 - IRRIGATION - EXT CONT		382.80	
			5923 - IRRIGATION - EXT CONT		749.10	
			5925 - REACTIVE MATERIALS - IRRIGATION MAINTENA		2,057.00	
EF111573	31/05/2023	FIONA GAMBLE				228.00
			31 - STAFF CATERING		228.00	
EF111272	15/05/2023	FLEXI STAFF GROUP PTY LTD (FLEXI STAFF)				50,820.41
			7665 - AGENCY STAFF - LABOURER RD CONSTRUCTION		469.84	
			7876 - 20/03/23 - 24/03/23 WEND 26/03/23		1,980.33	
			8055 - 27/03/23 - 31/03/23 WEND 02/04/23		2,402.61	
			8249 - 03/04/23 - 07/04/23 WEND 09/04/23		1,485.25	
			8343 - MACHINE OPERATOR		1,590.44	
			8344 - BRICK PAVER		1,485.25	
			8345 - DAY LABOUR HIRE - CONSTRUCTION		1,485.25	
			8346 - LABOURER CONSTRUCTION		1,409.51	
			8347 - DAY LABOUR HIRE - CONSTRUCTION		1,980.33	
			8376 - 10/04/23 - 14/04/23 WEND 16/04/23		1,980.33	
			8379 - WE 14/04/23 25.5HRS		1,409.51	
			8415 - AGENCY STAFF - LABOURER		1,409.51	
			8503 - AGENCY STAFF - MACHINE OPERATOR		2,089.40	
			8505 - DAY LABOUR CONSTRUCTION		1,892.96	

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			8506 - AGENCY HIRE - CONSTRUCTION		1,824.08	
			8507 - DAY LABOUR HIRE		2,475.41	
			8533 - MOWER OPERATOR		1,951.21	
			8534 - TEMP STAFF W/E 21/4/23		2,321.55	
			8535 - MOWER		1,851.71	
			8570 - PGENCY STAFF - LABOURER		1,851.71	
			8581 - LANDSCAPE GARDENER 17/4/23 TO 21/4/23		1,381.88	
			8668 - AGENCY STAFF		1,590.44	
			8669 - AGENCY STAFF - CONCRETER		1,485.25	
			8670 - AGENCY STAFF - LABOURER CONSTRUCTION		1,485.25	
			8671 - AGENCY STAFF		939.68	
			8672 - AGENCY STAFF- LABOURER ROAD CONSTRUCTION		2,013.99	
			8673 - AGENCY STAFF - LABOURER W/E 30/4/23		1,409.52	
			8712 - LABOURER PARKS		1,879.35	
			8713 - AGENCY STAFF 24/4/23 TO 28/4/23		1,879.35	
			8714 - AGENCY STAFF W/E 21/04/23		1,409.51	
EF111741	31/05/2023	FLEXI STAFF GROUP PTY LTD (FLEXI STAFF)				35,418.67
			8711 - MOWER 24/04/23 - 28/04/23		1,485.25	
			8844 - AGENCY STAFF		2,058.21	
			8845 - CONCRETER		2,446.29	
			8846 - LABOURER ROAD CONSTRUCTION		2,446.29	
			8847 - LABOURER ROAD CONSTRUCTION		2,529.45	
			8848 - LIAM TWIGLEY WEEK ENDING 7/5/23		1,602.98	
			8880 - 01/05/23 - 05/05/23 WEND 07/05/23		990.17	
			8881 - TEMP STAFF 1/5/23 TO 5/5/23		1,851.71	
			8882 - TEMP STAFF 1/5/23 TO 5/5/23		1,851.71	
			9005 - AGENCY STAFF		1,933.47	
			9006 - LABOURER - ROAD CONSTRUCTION		1,980.33	
			9007 - LABOURER - ROAD CONSTRUCTION		1,535.74	
			9008 - LABOURER WEEK ENDING 14/5/23		1,409.51	
			9009 - CONCRETER		1,980.33	
			9038 - MOWER 08/05/23 - 12/05/23		1,485.25	
			9040 - MWER W/E 14/05/23		2,321.55	
			9111 - LIAM TWIGLEY .WEEK ENDING 21/5/23		939.68	
			9113 - AGENCY STAFF		2,619.54	
			9143 - MOWER WE 21/05/23		1,951.21	
EF111269	15/05/2023	FLORAL IMAGE				276.44
			FIP73609 - MAYOR OFFICE RENTAL FLORAL ARRANGEMENTS		69.11	
			FIP73994 - MAYOR OFFICE RENTAL FLORAL ARRANGEMENTS		69.11	
			FIP74383 - MAYOR OFFICE RENTAL FLORAL ARRANGEMENTS		69.11	
			FIP74759 - MAYOR OFFICE RENTAL FLORAL ARRANGEMENTS		69.11	
EF111271	15/05/2023	FOCUS CONSULTING WA PTY LTD				12,100.00
			2223-061-1 - ELECTRICAL CONSULTING PINNAROO POINT		8,800.00	
			2223-061-3 - ELECTRICAL CONSULTING PINNAROO POINT		3,300.00	
EF111737	31/05/2023	FOCUS CONSULTING WA PTY LTD				550.00
			2122-153-4 - ELECTRICAL - OCEAN REEF PARK CLUBROOMS		550.00	
EF111738	31/05/2023	FORESTVALE TREES PTY LTD				4,598.00

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			16236 - TREE PLANTING		4,598.00	
EF111939	31/05/2023	FOXTEL CABLE TELEVISION PTY LTD				6,119.24
			438922672 -		6,119.24	
EF111644	31/05/2023	FRANK & CHRISTINE CARRALES T/A ENGINEERING & FABRICAT	AS ALLOY			242.00
			3231 - FABRICATION OF 10 BACKLIGHT SHIELDS		242.00	
EF111160	15/05/2023	FRANZL H SHANNON				391.85
			30228 - REFUND OF HIRE FEES		391.85	
112833	25/05/2023	FRIENDS OF ROBIN PARK				2,350.00
			09/05/23 - SPECIAL PURPOSE GRANT		2,350.00	
EF111584	31/05/2023	FRIENDS OF SORRENTO BEACH & FORESHORE	MARMION			395.39
			23052023 - ADMINISTRATION REIMBURSEMENT COSTS		395.39	
EF111267	15/05/2023	FUJIFILM BUSINESS INNOVATION AUSTRALIA PTY LTD	AUSTRALIA			2,344.69
			CV531017 - IMPRESSIONS ONLY CONTRACT REFERENCE NO.:		199.29	
			CV574136 - 2022-23 PRINT ROOM PHOTOCOPIERS		2,145.40	
EF111733	31/05/2023	FUJIFILM BUSINESS INNOVATION AUSTRALIA PTY LTD	AUSTRALIA			1,211.50
			CV574012 - CONTRACT REFERENCE NO. X642841		127.88	
			CV574130 - LIBRARY ADMIN PHOTOCOPIER USAGE COSTS		128.82	
			QH332606 - PRINTROOM BASEMENT, BOAS AVENUE		477.40	
			QH332706 - PRINTROOM BASEMENT, BOAS AVENUE		477.40	
EF111748	31/05/2023	GALAXY 42 PTY. LTD. (ATTURRA BUSINESS APPLICATIONS)	BUSINESS			32,395.00
			FTIG42004428 - CUSTOMER SUPPORT SERVICE-APRIL 2023		16,197.50	
			FTIG42004602 - CUSTOMER SUPPORT SERVICE - MAY 2023		16,197.50	
EF111279	15/05/2023	GALAXY DRIVE-IN THEATRE PTY LTD				11,550.00
			202 - HIRE OF GALAXY DRIVE FOR JF		11,550.00	
EF111746	31/05/2023	GARRARDS PTY LTD				208.65
			1063127 - RACUMIN BLOCKS 5KG		208.65	
EF111282	15/05/2023	GAS ASSETS PTY LTD (GECKO CONTRACTING TURF AND				195,744.44
			6372 - SHENTON AVENUE LANDSCAPE		195,744.44	
EF111154	15/05/2023	GAVIN NOTT				189.00
			2737299 - REFUND CRAIGIE LEIS CTR		189.00	
EF111747	31/05/2023	GEARED CONSTRUCTION PTY LTD				33,051.95
			INV-0574 - CHICHESTER PARK COMMUNITY SPORTING F	01421	33,051.95	
EF111473	15/05/2023	GEOFF C AMPHLETT				1,500.00
			134 - CAE WINNER: CELEBRATING JOONDALUP AWARD		1,500.00	
EF111750	31/05/2023	GEOGRAFIA PTY LTD				26,730.00
			INV-1409 - SPENDMAPP ANNUAL SUBSCRIPTION		26,730.00	
EF111704	31/05/2023	GERARD JOHN DUGGAN (COMMERCIAL KITCHEN SERVICES WA)				2,100.00
			CKS-2750 - RM - GAS APPLIANCES		2,100.00	
EF111755	31/05/2023	GLENGARRY PROBUS CLUB MIXED INCORPORATED				1,926.00

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			23052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT		1,926.00	
EF111580	31/05/2023	GOOD DOOGS PTY LTD (XTR MULTISPORTS)				4,950.00
			INV-0130 - SPONSORSHIP OF COJ COASTAL QUEST		4,950.00	
EF111200	15/05/2023	GOODYEAR & DUNLOP TYRES (AUST) PTY LTD (BEAUREPAIRES)				6,693.88
			6413029551 - 1GNM109 - TORO 360 - F98384 FM43850 P		25.00	
			6413029632 - 1GDL520 - ISUZU- NNR 45 - F95429 FM4387		550.89	
			6413029717 - 1ELP781 - ISUZU NQR450 - F95367 FM43648		466.70	
			6413029718 - BEAUREPAIRES - GROUNDMASTER TORO 360 - F		25.00	
			6413029794 - EYF498 - ISUZU NH NQR 87-190 - F95399		466.70	
			6413029796 - 1TSS965 - F98365 TRAILER FM43304 BEAUR		94.50	
			6413029797 - BEAUREPAIRES -1GNE037- TORO GROUNDMASTE		25.00	
			6413029798 - BEAUREPAIRES - 1GNE037- TORO - F98382 -		25.00	
			6413029799 - 1GNE038 - TORO- F98383 FM43563 BEAUREP		25.00	
			6413029800 - 1GKG594 - TORO 360 - F98369 FM43558 BE		25.00	
			6413035017 - BEAUREPAIRS KEWDALE - TYRES & TUBES		1,714.80	
			6413044122 - BEAUREPAIRS KEWDALE - TYRES & TUBES		2,026.72	
			6413047890 - BEAUREPAIRS KEWDALE - LARGE TRUCK TYRES		928.31	
			6413047891 - BEAUREPAIRS KEWDALE		29.76	
			U509551145 - BEAUREPAIRS KEWDALE - TYRES & TUBES		265.50	
EF111662	31/05/2023	GOODYEAR & DUNLOP TYRES (AUST) PTY LTD (BEAUREPAIRES)				6,687.95
			1TSS965 - SHOULD BE INV 6413074178 1GAQ376 TYRES		49.70	
			6413056050 - TYRES & TUBES FM044237		311.27	
			6413056075 - 1TSV414- MOWING TRAILER TYRES & TUBES		237.85	
			6413056076 - 1HAF268 TYRES & TUBES		928.31	
			6413056077 - 1EUV979 TYRES & TUBES		640.51	
			6413056078 - 1TNF886 TYRES & TUBES		475.70	
			6413058193 - 1TVO671 TYRES & TUBES		276.23	
			6413058194 - 1TVK472 TYRES & TUBES		138.13	
			6413058195 - 1EQX796 TYRES & TUBES		466.70	
			6413058196 - 1TXM380 TYRES & TUBES		261.44	
			6413066846 - TYRES & TUBES - PUNCTURE MOWER TROLLEY		186.20	
			6413074174 - 1GXA947 - TYRES & TUBES		1,295.81	
			6413074175 - TYRE LEVY LARGE TRUCK 1GLQ010		637.25	
			6413074176 - 1TVI422 TYRES		84.06	
			6413074177 - 1TVK472 TYRES		84.06	
			6413074179 - 1EEI225 TYRES FITTING & BALANCING		301.26	
			6413074247 - 1TSS965 - TYRES		313.47	
EF111605	31/05/2023	GORDON & PETRA SALVAGE				375.00
			RIM7945 - CROSSOVER SUBSIDY		375.00	

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EF111350	15/05/2023	GPC ASIA PACIFIC PTY LTD (NAPA)				980.66
			1950052294 - PARTS ONLY 1950052289		55.00	
			1950052303 - PARTS ONLY		381.15	
			1950052323 - PARTS ONLY		327.81	
			1950052404 - PARTS ONLY		84.70	
			1950052453 - PARTS ONLY		132.00	
EF111816	31/05/2023	GPC ASIA PACIFIC PTY LTD (NAPA)				194.70
			1950052294. - PARTS ONLY		29.70	
			1950055627 - PARTS		165.00	
EF111376	15/05/2023	GPC ASIA PACIFIC PTY LTD T/AS REP	PCO			126.65
			4770455919 - EXITRAX - RECOVERY SET 1110MM GREEN		126.65	
EF111284	15/05/2023	GREEN OPTIONS PTY LIMITED				2,453.00
			92751 - PERCY DOYLE		2,453.00	
EF111753	31/05/2023	GREEN OPTIONS PTY LIMITED				3,492.50
			93692 - REACTIVE MATERIALS - TURF RENOVATION		2,255.00	
			93870 - REACTIVE MATERIALS - TURF RENOVATION		1,237.50	
EF111941	31/05/2023	GREEN SKILLS INC				7,390.24
			P3353 - MULLALOO COASTAL SHARED PATH		5,491.20	
			P3360 - LABOUR HIRE		1,899.04	
EF111792	31/05/2023	GREENSHED PTY LIMITED (LIVING TURF)				4,527.60
			85811/04 - REACTIVE MATERIALS - IRRIGATION MAINTENA		4,527.60	
EF111283	15/05/2023	GREENSTEAM AUSTRALIA PTY LTD				53,193.14
			GSA-3204 - ALFERTON PARK DUNCRAIG	00622	2,450.25	
			GSA-3205 - FINNEY PARK MARMION	00622	2,450.25	
			GSA-3210 - NON CHEMICAL WEED CONTROL	01822	48,292.64	
EF111752	31/05/2023	GREENSTEAM AUSTRALIA PTY LTD				3,624.23
			GSA-3151 - NON CHEMICAL WEED CONTROL	01822	357.23	
			GSA-3224 - CADOGAN PARK KINGSLEY HAND WEEDING	00622	3,267.00	
EF111565	31/05/2023	GREENWOOD LITTLE ATHLETICS CLUB				9.15
			20553 - CASUAL HIRE REFUND		9.15	
EF111275	15/05/2023	GREENWOOD PARTY HIRE				3,074.00
			B20781 - HIRE OF FURNITURE		861.00	
			B22143 - VARIOUS FURNITURE/EQUIPMENT		2,213.00	
EF111277	15/05/2023	GREENWORX COMMERCIAL MAINTENANCE PTY LTD				13,387.54
			100109 - PROVISION OF LANDSCAPE MAINTENANCE SERVI	01120	7,823.56	
			100112 - LANDSCAPING MAINT		1,549.15	
			100116 - PINNACLE, ORIENT, BRAMSTON PRKS,VIVE EST		781.00	
			100118 - LANDSCAPE MTCE SERV VARIOUS AREAS APR 23		962.14	
			99248 - IRRIGATION MTCE SERV HARBOUR RISE EST MARCH 23	VP177052	1,100.00	
			99252 - PROVISION OF IRRIGATION MAINTENANCE SERV WOODVALE WATERS MARCH 23	VP177052	202.59	
			99321 - WOODVALE WATERS	VP177052	605.00	
			99797 - IRRIGATION TECHNICIAN	VP177052	74.80	
			99798 - IRRIGATION TECHNICIAN	VP177052	93.50	

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			99801 - IRRIGATION TECHNICIAN	VP177052	121.00	
			99805 - IRRIGATION TECHNICIAN	VP177052	74.80	
EF111745	31/05/2023	GREENWORX COMMERCIAL MAINTENANCE PTY LTD				1,660.09
			100110 - IRRIGATION MAINTENANCE	VP177052	1,100.00	
			100114 - IRRIGATION MAINTENANCE APR23	VP177052	202.59	
			100117 - SCHEDULE CONTRACTORS - LANDSCAPING MAINT		357.50	
EF111280	15/05/2023	GUNNEBO AUSTRALIA PTY LTD				1,832.60
			1433676 - CLC - RELOCATION OF GYM SCANNER		1,832.60	
EF111292	15/05/2023	HARBOUR SOFTWARE PTY LTD				15,400.00
			2183 - AUTOMATED AGENDA AND MINUTES SOFTWARE		15,400.00	
EF111286	15/05/2023	HART SPORT				464.00
			10173537 - SWIM EQUIPMENT		464.00	
EF111758	31/05/2023	HARTAC SALES & DISTRIBUTION PTY LTD				5,362.50
			317341 - 6MONTH CHARGE OF ANNUAL LICENCE FEE		5,362.50	
EF111486	15/05/2023	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED				16,965.89
			51414661 - WE 15/1/23 - 42 HRS		2,077.96	
			51483528 - AGENCY STAFF W/E 02/04/23		1,630.24	
			51496502 - AGENCY STAFF WE 05/03/23		1,654.58	
			51509541 - AGENCY STAFF WE 12/03/23		1,630.24	
			51509542 - AGENCY STAFF W/E 12/03/23		906.76	
			51538498 - AGENCY STAFF W/E 26/03/23		1,654.58	
			51551538 - AGENCY STAFF W/E 02/04/23		1,654.58	
			51565059 - AGENCY STAFF WE 09/04/23		1,654.58	
			51577606 - AGENCY STAFF WE 26/03/23		1,231.20	
			51592623 - AGENCY STAFF WE 23/04/23		1,630.24	
			51605683 - AGENCY STAFF WE 02/04/23		1,240.93	
EF111942	31/05/2023	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED				3,698.47
			51619486 - AGENCY STAFF WE 14/05/23		2,043.89	
			51645805 - AGENCY STAFF WE 21/05/23		1,654.58	
EF111763	31/05/2023	HAZ ENVIRO SOLUTIONS PTY LTD				654.50
			205074 - COLLECTION AND DISPOSAL OF ASBESTOS		654.50	
EF111766	31/05/2023	HCL AUSTRALIA SERVICES PTY LIMITED				85,804.40
			7000193054 - EBP IMPLEMENTATION CONSULTANCY SERVICES	00322A	85,804.40	
EF111327	15/05/2023	HELENE PTY LTD (LOGO APPOINTMENTS)				8,585.53
			H2387 - EXPENDITURE SERVICES OFFICER 27MAR-15OCT		2,429.00	
			H2388 - MOWER OPERATOR - WE 23/04/23		1,873.83	
			H2412 - EXPENDITURE SERVICES OFFICER		1,933.61	
			H2437 - EXPENDITURE SERVICES OFFICER 27MAR-15OCT		2,349.09	
EF111794	31/05/2023	HELENE PTY LTD (LOGO APPOINTMENTS)				6,108.74
			H2293 - MOWER OPERATOR W/E 07/05/23		1,873.83	
			H2413 - LABOUR IHIRE W/E 29/04/23 DEPOT		1,901.79	
			H2490 - EXPENDITURE SERVICES OFFICER 27MAR-15OCT		2,333.12	
EF111624	31/05/2023	HELGA ESZTER BALOGH				61.65
			BPU23/0131 - REFUND BUILDING SERVICES LEVY		61.65	
EF111290	15/05/2023	HICKEY CONSTRUCTIONS PTY LTD				45,133.45

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			3260 - V12 - ADD 2 OUTLET DUCTS AS PER MECHANIC	01122	2,480.50	
			3301 - CHICHESTER PARK	01021	343.75	
			3302 - WINTON ROAD MENS SHED	01021	1,585.10	
			3304 - WHITFORDS NODES REPAIRS	01021	3,716.17	
			3305 - COJ CIVIC CENTRE-CIVIC PLANT ROOM	01021	1,489.51	
			3310 - SORRENTO SURF CLUB REPAIRS	01021	10,327.79	
			3311 - NEIL HAWKINS PARK FENCE PANELS	01021	2,010.25	
			3312 - JOONDALUP ADMINISTRATION BUILDING	01021	2,664.77	
			3313 - COJ RECEPTION CENTRE REFURBISHMENT	01021	17,300.97	
			3317 - CRAIGIE LEISURE CENTRE CAFE LIFE	01021	2,427.69	
			3324 - CEO OFFICE	01021	302.50	
			3331 - SIR JAMES MCCUSKER PARK	01021	360.70	
			3333 - NEIL HAWKINS PARK - JETTY REPAIRS	01021	123.75	
EF111761	31/05/2023	HICKEY CONSTRUCTIONS PTY LTD				52,217.23
			3299 - QUALIFIED CARPENTER NORMAL WORKING HOURS	01021	262.24	
			3316 - AFTER HOURS CARPENTER	01021	419.65	
			3319 - CLC ROOF LEAKS	01021	1,374.18	
			3320 - CLC INDOOR POOL MALE CHANGEROOM	01021	371.67	
			3321 - CLC - REPAIR SPA ENTRY DOOR	01021	892.42	
			3322 - OTAGO PARK - REPAIR VANDAL DAMAGED DOOR	01021	532.24	
			3323 - JOONDALUP LIBRARY	01021	123.75	
			3325 - CLC - COURT 4 CORRIDOR	01021	1,775.24	
			3326 - ADMIN BUILDING L2 COMMUNITY SAFETY	01021	548.34	
			3327 - JOONDALUP ADMINISTRATION MANAGERS OFFICE	01021	197.73	
			3328 - FORREST PARK CLUBROOMS	01021	545.05	
			3329 - OCEAN REEF BOAT RAMP	01021	651.75	
			3330 - ELLERSDALE PARK STORAGE DOOR	01021	211.64	
			3332 - CRAIGIE LEISURE WINDSOCK	01021	260.98	
			3334 - DUNCRAIG LC REPAIRS	01021	1,246.60	
			3335 - WORKS DEPOT MISSING LOUVERS	01021	123.75	
			3336 - CLC REPLACE EXTERNAL CAFE CORRIDOR DOOR	01021	8,413.12	
			3337 - CLC-PAINTING OF EMERGENCY EXIT DOOR	01021	2,080.89	
			3344 - CURRAMBINE COMMUNITY CENTRE	01021	178.75	
			3345 - DUFFY HOUSE	01021	517.00	
			3346 - HEATHRIDGE COMMUNITY CENTRE	01021	349.80	
			3347 - CLC OUTDOOR FEMALE CHANGEROOMS	01021	422.49	
			3348 - CLC PROJECT ADMINISTRATION	01021	441.28	
			3350 - QUALIFIED CARPENTER NORMAL WORKING HOURS	01021	979.00	
			3351 - SEACREST PARK COMMUNITY HALL	01021	210.38	
			3352 - SEACREST PARK COMMUNITY HALL	01021	6,611.00	
			3353 - SUB CONTRACTOR NEW WORKS - \$0 - \$10,000	01021	784.30	

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			3354 - CRAIGIE LEISURE CENTRE - SHELIVING UNITS		3,312.80	
			3355 - CONCRETING OF AQUATIC SERV COMPOUND AREA	01021	7,168.54	
			3356 - AFTER HOURS CARPENTER	01021	63.25	
			3357 - CLC ADJUSTMENT OF THE CAFE HOARDING	01021	973.50	
			3358 - TIMBERLANE PARK CLUBROOMS	01021	5,305.85	
			3359 - CLC BROKEN DOOR ARM IN MEETING ROOM	01021	230.81	
			3360 - CLC IN/ OUT GATE	01021	136.40	
			3361 - JOONDALUP ADMIN L1 INFRASTRUCTURE	01021	1,092.30	
			3362 - CLC INDOOR POOL HALL	01021	123.75	
			3363 - SORRENTO SURF LIFESAVING CLUB	01021	309.17	
			3366 - CLC OUTDOOR POOL FEMALE CHANGEROOMS	01021	235.10	
			3368 - JOONDALUP ADMIN- DIR CORPORATE SERVICES	01021	2,000.35	
			3370 - AFTER HOURS STANDBY CARPENTER	01021	92.95	
			3372 - WHITFORDS NODES TOILETS	01021	123.75	
			3374 - JOONDALUP ADMINISTRATION	01021	343.75	
			3375 - CLC REPAIR EMERGENCY EXIT DOORS	01021	27.50	
			3378 - BARRIDALE PARK TOILETS	01021	152.22	
EF111943	31/05/2023	HODGE COLLARD PRESTON UNIT T/T/AS HODGE COLLARD PRESTON	RUST			9,817.50
			032303 - HEATHRIDGE PARK MASTERPLAN PROJECT		8,800.00	
			672035 - ALFRESCO DESIGN AND DOCUMENTATION	00620	1,017.50	
EF111285	15/05/2023	HOLCIM (AUSTRALIA) PTY LTD T/AS	HUMES			16,141.69
			9408547269 - 1092MM LINER 1.2M LONG		116.20	
			9408547269 - 1092MM LINER 1.2M LONG	02722	2,481.08	
			9408609641 - GRATED COVER RE INV 9408547269		-116.20	
			9408623218 - GRATED COVER	02722	8,134.59	
			9408641558 - WELSHPOOL WA HUMES	02722	3,845.86	
			9408642578 - MANHOLE BASE CIRCULAR	02722	1,680.16	
EF111756	31/05/2023	HOLCIM (AUSTRALIA) PTY LTD T/AS	HUMES			25,088.15
			9408642587 - CIRCULAR COVER 1200X150	02722	167.86	
			9408642589 - GRATED COVER RAISED/FLUSH 25MM WITH LOCK		987.74	
			9408642589 - GRATED COVER RAISED/FLUSH 25MM WITH LOCK	02722	9,877.71	
			9408656466 - SOAKWELL LINER	02722	1,122.00	
			9408656467 - SOAKWELL LINER 1800X1200	02722	1,122.00	
			9408663582 - GRATED COVER RAISED WITH LOCK	02722	1,743.13	
			9408663583 - INDUSTRIAL GRATED COVER RAISED/FLUSH	02722	11,055.44	
			9408663875 - CREDIT FOR INVOICE 9408642589		-987.73	
EF111100	15/05/2023	HONNI JACOBS				188.95
			607181394 - PRINTER INK CARTRIDGES		188.95	
EF111757	31/05/2023	HOST CORPORATION PTY LTD				392.70
			1322009 - 48HR CHAFING FUEL		392.70	

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EF111092	15/05/2023	HOUSING INDUSTRY ASSOCIATION	LTD			463.00
			312030232 - NATIONAL CONSTRUCTION CODE VOL 1 AND 2		463.00	
EF111487	15/05/2023	HYDROQUIP PUMPS				77,698.50
			INV-44024 - PUMP UNIT - NORMAL WORKING HOURS - ON-SI	04222	4,400.00	
			INV-44130 - OCTAVE WATER METERS & METAL COVER	03419	18,810.00	
			INV-44142 - MARINE & ST PATRICK PUMP 1	04222	7,118.10	
			INV-44143 - PERCY DOYLE FLOOD PUMP 1	04222	15,888.40	
			INV-44144 - MARINE & PARNELL FLOOD PUMP 1	04222	9,795.50	
			INV-44145 - HIGH STREET FLOOD PUMP	04222	10,960.40	
			INV-44146 - MACDONALD PARK SOUTH	04222	10,726.10	
EF111623	31/05/2023	IAN AND SUSAN ABRAHAM				818.00
			204283 - RATES REFUND		818.00	
EF111296	15/05/2023	ID CONSULTING PTY LTD				32,791.00
			14739 - YEARLY SUBSCRIPTION FEE FROM MARCH 2023		32,791.00	
EF111578	31/05/2023	ILUKA HOMEOWNERS ASSOCIATION				3,119.00
			23052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT		3,119.00	
EF111491	15/05/2023	INFORM COMMUNICATE MOTIVATE INTERNATIONAL (AUSTRALIA) PTY LTD				39,928.90
			35688Z - CASEY BEROS - MC		15,728.90	
			35689Z - PROFESSOR FIONA WOOD - SPEAKER		24,200.00	
EF111297	15/05/2023	INSTANT PRODUCTS HIRE				6,063.23
			135615 - CELEBRATE YELLAGONGA TOILETS		6,063.23	
EF111770	31/05/2023	INSTANT PRODUCTS HIRE				14,908.02
			153922 - AURORA TOILETS AND SITE OFFICE		12,218.11	
			153923 - GALAXY DRIVE-IN MOVIE THEATRE, KINGSLEY		218.81	
			155325 - AURORA TOILETS AND SITE OFFICE		1,550.97	
			155578 - LED 5 STAR EVENT DISBLD PJ COMFRT INN		920.13	
EF111295	15/05/2023	INSTITUTE OF PUBLIC WORKS ENGINEERS (WA)	AUST LTD			2,310.00
			54NDHW3GCCZ - IPWEA - 2023 STATE CONFERENCE		1,470.00	
			BLN8B5523KM - IPWEA - 2023 STATE CONFERENCE		840.00	
EF111522	17/05/2023	INSTITUTE OF PUBLIC WORKS ENGINEERS (WA)	AUST LTD			1,680.00
			5ZNBHQ7B3XL - IPWEA - 2023 STATE CONFERENCE		840.00	
			QBNVSHDKHDT - IPWEA - 2023 STATE CONFERENCE		840.00	
EF111548	19/05/2023	INSTITUTE OF PUBLIC WORKS ENGINEERS (WA)	AUST LTD			3,360.00
			3KNRPTQDHVN - IPWEA - 2023 STATE CONFERENCE		840.00	
			5DN37DW7M8L - IPWEA - 2023 STATE CONFERENCE		840.00	
			FQNPFBGHSRG - IPWEA - 2023 STATE CONFERENCE		840.00	
			GKNCLY3SXS8 - IPWEA - 2023 STATE CONFERENCE		840.00	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
EF111768	31/05/2023	INSTITUTE OF PUBLIC WORKS ENG (WA)	AUST LTD			150.00
			52023-0415-0380 - PETER ROSS- IPWEA LUNCH FORUM		75.00	
			52023-0416-0381 - MICHAEL GREEN - IPWEA LUNCH FORUM		75.00	
EF111095	15/05/2023	INSTITUTE OF PUBLIC WORKS ENG AUSTRALASIA LIMITED	ENGINEERING			5,629.80
			83813-EB0523 - E-BOOK SUBSCRIPTION FEE		5,629.80	
EF111571	31/05/2023	INSTITUTE OF PUBLIC WORKS ENG AUSTRALASIA LIMITED	ENGINEERING			3,054.70
			83813-NP0523 - NAMS+ SUBSCRIPTION		3,054.70	
EF111489	15/05/2023	INTECHNOLOGY DISTRIBUTION PTY LTD				5,210.29
			21-01096 - MAINTENANCE & SUPPORT CONTRACT		5,210.29	
EF111298	15/05/2023	INTELIFE GROUP				12,080.20
			CIT007-B0423A - BARRIDALE PARK KINGSLEY - 1 PLATE	02322	12,080.20	
EF111549	19/05/2023	INTELIFE GROUP				13,888.05
			CIT007-B0323BBQ - BARRIDALE PARK KINGSLEY	02322	13,888.05	
EF111771	31/05/2023	INTELIFE GROUP				47,747.05
			CIT007-B0323-1 - LITTER PICK UP MARCH 2023	VP283228	27,852.44	
			CIT007-B0423-1 - LITTER PICK UP	VP283228	19,894.61	
EF111128	15/05/2023	IOANA MAJDIK				435.75
			98286 - DOMINOS AND PIZZA HUT		435.75	
EF111168	15/05/2023	IRENE WARD				13.00
			INWE23/25206 & 25208 - CAR PARK REFUND		13.00	
EF111305	15/05/2023	IRON MEN HENDERSON PTY LTD				1,280.00
			INV-0023 - DOG BITE PREVENTION PROJECT		1,280.00	
EF111299	15/05/2023	IRON MOUNTAIN AUSTRALIA GROUP PTY LTD				2,383.34
			AUD272766 - 2022-23 STOREAGE AND RETRIEVE OF RECORDS		110.00	
			AUD276417 - STORAGE, BUSINESS CARTON		2,273.34	
EF111304	15/05/2023	IRP PTY LTD (INDUSTRIAL RECRUITMENT PARTNERS)				4,864.82
			22345 - AGENCY STAFF 21 FEB TO 24 FEB 2023		1,326.77	
			22508 - AGENCY STAFF 21 MAR TO 24 MAR 2022		1,326.77	
			22708 - AGENCY STAFF WE 07/05/ 23		884.51	
			C INV 22668 - LUCA VILLARAGGIA 18 APR TO 21 APRIL 2023		1,326.77	
EF111523	17/05/2023	IRP PTY LTD (INDUSTRIAL RECRUITMENT PARTNERS)				11,914.88
			C INV 22265 - AGENCY STAFF		1,769.02	
			C INV 22303 - AGENCY STAFF		1,326.77	
			C INV 22304 - AGENCY STAFF		884.51	
			C INV 22346 - AGENCY STAFF		884.51	
			C INV 22390 - AGENCY STAFF		1,326.77	
			C INV 22429 - AGENCY STAFF		1,769.02	
			C INV 22470 - AGENCY STAFF		442.26	
			C INV 22507 - AGENCY STAFF		2,185.26	
			C INV 22548 - AGENCY STAFF		1,326.77	
			C INV 22587 - AGENCY STAFF		884.51	
			C INV 22627 - AGENCY STAFF		1,769.02	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			C22345 CR - AGENCY STAFF DUPLICATE PAYMENT		-1,326.77	
			C22508 CR - AGENCY STAFF DUPLICATE PAYMENT		-1,326.77	
EF111302	15/05/2023	ITR PACIFIC PTY. LTD. (ITR WESTERN AUSTRALIA)				2,032.78
			591761 - PARTS 1GYG391			2,032.78
EF111773	31/05/2023	IVE DISTRIBUTION PTY LTD				2,098.40
			INDI0019705 - DISTRIBUTION OF DL FLYER			2,098.40
EF111692	31/05/2023	IXOM OPERATIONS PTY LTD				3,823.52
			6664372 - SUPPLY OF CHLORINE GAS CITY OF JOONDALUP			331.64
			6664814 - SUPPLY OF CHLORINE GAS CITY OF JOONDALUP			3,491.88
EF111612	31/05/2023	J & S CREATIVE POOLS PTY LTD				61.65
			76101 - REFUND CANCELLED APPLICATION			61.65
EF111201	15/05/2023	J BLACKWOOD & SON LTD				3,411.06
			SI04441902 - 0882 7612 EXTRA HEAVY DUTY BLACK TAPE			430.32
			SI04455282 - REACTIVE MATERIALS - CONCRETING MAINTENA			294.34
			SI04491323 - TOOLS			776.80
			SI04521005 - BARRIER CREAM			56.89
			SI04545536 - CABLE TIES			108.90
			SI04547189 - SAW PRUNING			309.61
			SI04547207 - PRUNING SAW			516.01
			SI04572517 - ANSELL ALPHATEC CHEMICAL & LIQUID	VP253695		574.99
			SL03760822 - PARTS & REPAIRS			343.20
EF111663	31/05/2023	J BLACKWOOD & SON LTD				5,297.44
			SI04601147 - 0279 9738 MULTI GRIPS			74.54
			SI04608126 - GENERAL PURPOSE GLOVES	VP253695		134.64
			SI04617367 - TRAFFIC CONE			1,543.08
			SI04657005 - BYPASS LOPERS			205.00
			SI04659165 - RAMP CONTAINER FORKLIFT			1,703.63
			SI04660713 - BARRIER MESH			300.56
			SI04665506 - WD 40			761.35
			SI04677938 - GLASSES SAFETY UVEX WARRIOR DARK	VP253695		574.64
EF111916	31/05/2023	J.D CAFFEY & CAFFEY FAMILY TRUST WESTBOOKS	T/AS			578.44
			335311 - TITLES AS SELECTED			365.33
			335710 - TITLES AS SELECTED			26.32
			335711 - TITLES AS SELECTED			20.99
			335712 - TITLES AS SELECTED			53.16
			335713 - TITLES AS SELECTED			98.65
			335714 - TITLES AS SELECTED			13.99
EF111109	15/05/2023	JABIN HERD				409.95
			62102663562 - REIMBURSEMENT FOR LAWN STYLE GRAMES FOR VENUE LAUNCH ON 20/05/23			409.95
EF111096	15/05/2023	JACKSON MCDONALD				1,084.60
			530700 - LEASE OF PINNAROO POINT CAFÉ			1,084.60
EF111534	19/05/2023	JACKSON MCDONALD				7,692.30
			529073 - OCEAN REEF MARINA			7,692.30
EF111609	31/05/2023	JACQUELINE STONE				150.00
			124694 - REFUND ANIMAL STERILISED			150.00
EF111606	31/05/2023	JAMES & SANDRA PICKARD				141.19

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			197361 - RATES REFUND		141.19	
EF111203	15/05/2023	JAMES BENNETT PTY LTD				750.70
			4794753 - ITEMS AS SELECTED		67.99	
			4794796 - WHIA - DISCRETIONARY		25.19	
			4794882 - DUNA - DISCRETIONARY		20.00	
			4794883 - WODA - DISCRETIONARY		32.36	
			4794884 - WHIA - DISCRETIONARY		88.64	
			4794885 - WHIJ - DISCRETIONARY		23.96	
			4794886 - ITEMS AS SELECTED		17.00	
			4794887 - JOOA - DISCRETIONARY		88.00	
			4794888 - ITEMS AS SELECTED		33.96	
			4794889 - ITEMS AS SELECTED		82.28	
			4794890 - IN DEMAND		23.56	
			4794891 - JOOA - DISCRETIONARY		247.76	
EF111665	31/05/2023	JAMES BENNETT PTY LTD				2,169.57
			4795493 - VARIOUS TITLES		84.64	
			4795506 - WHITFORD PUBLIC LIBRARY		45.11	
			4795509 - VARIOUS BOOKS		43.56	
			4795510 - JOONDALUP PUBLIC LIBRARY		39.60	
			4795511 - VARIOUS TITLES		40.77	
			4795512 - VARIOUS BOOKS		118.83	
			4795982 - DUNA - BOOKS		44.00	
			4795983 - BOOKS		21.58	
			4795985 - BOOKS		50.39	
			4795986 - BOOKS		99.18	
			4796872 - ITEMS AS SELECTED		29.96	
			4796873 - JOONDALUP PUBLIC LIBRARY		59.95	
			4796874 - JOONDALUP PUBLIC LIBRARY VARIOUS TITLES		83.38	
			4796875 - JOONDALUP PUBLIC LIBRARY		109.09	
			4796884 - JOONDALUP PUBLIC LIBRARY		43.00	
			4796885 - WHITFORD PUBLIC LIBRARY		72.19	
			4796890 - DUNA - DISCRETIONARY		502.10	
			4797232 - JOONDALUP PUBLIC LIBRARY		71.56	
			4797233 - JOONDALUP PUBLIC LIBRARY		56.60	
			4797234 - VARIOUS TITLES		44.20	
			4797235 - VARIOUS BOOKS		21.59	
			4797236 - VARIOUS TITLES		44.64	
			4797237 - WHITFORD PUBLIC LIBRARY		175.66	
			P234357 - BOOKS		267.99	
EF111301	15/05/2023	JANE MARIE TETLEY (INTUITIVE BABY MASSAGE)				120.00
			159 - EVENT - BABY MASSAGE		120.00	
EF111113	15/05/2023	JANET COATES				152.00
			2902957 - REFUND CRAIGIE LEISURE CENTRE		152.00	
EF111121	15/05/2023	JANICE MARY BAK				280.00
			130394 - RATES REFUND		280.00	
EF111814	31/05/2023	JANIS RUDOLFS NEDELA				3,542.00
			30/04/23 - ART COLLECTION VALUATION		3,542.00	
EF111347	15/05/2023	JASON BURKE NEWBY (MADE FURNITURE)				5,494.50
			INV-0045 - JOONDALUP LIBRARY - ARMCHAIRS		5,494.50	
EF111306	15/05/2023	JASON SIGNMAKERS				398.71
			29150 - SIGN MAINTENANCE		398.71	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
EF111287	15/05/2023	JAYPOINT NOMINEES PTY LTD T/AS FIRE	HECS			147.40
			87411 - ESSENTIAL LOG BOOK CABINET		147.40	
EF111310	15/05/2023	JB HI-FI GROUP PTY LTD T/AS JB HI-FI COMMERCIAL				8,518.78
			BD1105198 - DELL 27" MONITORS		719.84	
			BD1108766 - DELL LATITUDE 3330 LAPTOP		1,811.78	
			BD1110557 - DELL 3330 LAPTOP		1,811.78	
			BD1114839 - DELL MONITORS		1,771.50	
			BD1122173 - DELL LATITUDE LAPTOP		1,811.78	
			BD1126691 - SONY MDR-XZ110B HEADPHONES		268.44	
			BD1127029 - DELL PREMIUM ACTIVE PEN PN579X		256.66	
			BD1129056 - DELL ACTIVE PEN PN350M		67.00	
EF111777	31/05/2023	JB HI-FI GROUP PTY LTD T/AS JB HI-FI COMMERCIAL				6,723.59
			BD1103403 - WD-19S DELL DOCKING STATION		275.00	
			BD1103449 - DELL WD-19S DOCKING STATION		275.00	
			BD1125641 - APPLE MMX62FE/A ADAPTOR		72.49	
			BD1127992 - DELL P2422H 24" MONITORS		865.50	
			BD1128171 - DELL DOCK WD-19S		550.00	
			BD1130424 - LOGITECH PRO STREAM WEBCAM		168.00	
			BD1131199 - DELL LATITUDE 3420 CTO LAPTOP		1,983.80	
			BD1131205 - DELL LATITUDE 3420 CTO		1,983.80	
			BD1135753 - DELL WD-19S DOCKING STATION		550.00	
EF111307	15/05/2023	JB HI-FI JOONDALUP				3,469.91
			304389870-98 - APPLE AIRPODS PRO WITH MAGSAFE CHARGING		457.00	
			404381713-98 - DATA COMMUNICATION LINKS		248.90	
			404384641-98 - JABRA - EVOLVE 20 UC STEREO		89.00	
			404386374-98 - PLAYSTATION 5 BUNDLE		1,334.01	
			404386579-98 - PLAYSTATION 5, GAMES & ACCESSORIES		1,341.00	
EF111775	31/05/2023	JB HI-FI JOONDALUP				150.00
			404382765-98 - \$150 GIFT CARD		150.00	
EF111311	15/05/2023	JCDECAUX AUSTRALIA TRADING PTY LTD				2,328.85
			131426-MI-MAR-23 - TRANSPERTH BUSES		2,328.85	
EF111104	15/05/2023	JENNIFER NEBEL				461.62
			27/04/23 - REIMBURSEMENT CULTURAL SERVICES TEAM LUNCH & STAFF RECOGNITION FOR JOONDALUP FESTIVAL		461.62	
EF111591	31/05/2023	JESSICA BROWNE				88.20
			DA22/0648 - DEVELOPMENT APPLICATION FEE		88.20	
EF111308	15/05/2023	JOBFIT HEALTH GROUP PTY LTD				4,470.08
			FTIO00001 159 - MONTHLY VACCINATION BABY CLINIC APRIL 23	VP218177	4,470.08	
EF111654	31/05/2023	JOEL HEYWOOD (AUGUST MANAGEMENT)				800.00
			CH250423 - NATIONAL ANTHEM SINGER ANZAC DAWN SERVIC		800.00	
EF111141	15/05/2023	JOHN A MERL				225.00

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			DA23/0160 - REFUND OF DEVELOPMENT APPLICATION FEE		225.00	
EF111576	31/05/2023	JOHN CHESTER				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111778	31/05/2023	JOHN DANIEL LANE (JOHN LANE EMERGENCY MANAGEMENT SERVICES)				6,000.00
			COJ01/2023 - NMLG EVACUATION CENTRE TRAINING EXERCISE		6,000.00	
EF111496	15/05/2023	JOHN MCARDLE				190.00
			11/05/23 - BUS DUTIES REIMBURSEMENT		190.00	
EF111965	31/05/2023	JOHN ROBERT RAFTIS				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111919	31/05/2023	JOHN SHEPHEARD T/AS WA EMERGENCY MANAGEMENT				1,298.00
			1045 - PROFILE INSPECTION & MARK UP		1,298.00	
EF111568	31/05/2023	JOONDALUP COMMUNITY COAST CARE FORUM INC.				235.77
			23052023 - ADMINISTRATION REIMBURSEMENT COSTS		235.77	
EF111566	31/05/2023	JOONDALUP ENCORE THEATRE SOCIETY				9,380.00
			23052023 - 2022-23 COMMUNITY FUNDING PROGRAM		9,380.00	
EF111093	15/05/2023	JOONDALUP MUSIC CENTRE				500.00
			23-00003948 - COJ \$500 JMC CONTRIBUTION		500.00	
EF111493	15/05/2023	JOONDALUP PLUMBING SERVICES				23,358.79
			4601/22 - BEACHSIDE PARK CARTRIDGE	00621	123.31	
			5178/23 - NORMAL WORKING HOURS QUALIFIED PLUMBING	00621	120.34	
			5216/23 - PENISTONE PARK REPAIRS	00621	137.61	
			5319/23 - EXCAVATE SAND FROM GROVNE SHOWER PIT	00621	240.68	
			5377/23 - FLINDERS PARK	00621	87.45	
			5379/23 - PINNAROO POINT REPAIRS	00621	774.79	
			5383/23 - HILLARYS NORTH LEAKS	00621	837.82	
			5391/23 - CRAIGIE LEISURE	00621	370.92	
			5393/23 - PINNAROO POINT	00621	328.35	
			5394/23 - SORRENTO SOUTH	00621	559.63	
			5397/23 - CHICHESTER PARK	00621	528.44	
			5399/23 - KEY WEST	00621	2,158.42	
			5401/23 - GIBSON C/ROOMS VANDAL DAMAGE	00621	216.48	
			5403/23 - CURRAMBINE COMMUNITY	00621	731.78	
			5408/23 - MARRI PARK	00621	99.99	
			5410/23 - CHICHESTER PARK DISCONNECT WATER	00621	559.02	
			5411/23 - JOONDALUP ADMIN URIMATS	00621	816.75	
			5412/23 - SANTIAGO PARK TOILET SEATS	00621	139.81	
			5413/23 - PINNAROO POINT REPLACE SEAT	00621	119.24	
			5414/23 - MULLALOO NORTH SPINDLE	00621	74.03	
			5415/23 - BLACKALL PARK VANDAL DAMAGE	00621	340.07	
			5418/23 - NEIL HAWKINS PARK WORKS	00621	11,548.64	
			5419/23 - MULLALOO NORTH TOILET SEAT	00621	60.17	
			5420/23 - BLACKBOY PARK TOILET PAN	00621	201.47	
			5422/23 - CALEDONIA PARK INLET VALUE	00621	144.21	

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			5423/23 - NEIL HAWKINS PARK TOILETS	00621	513.10	
			5438/23 - HILLARYS ANIMAL BEACH	00621	247.01	
			5440/23 - HILLARYS BEACH	00621	108.74	
			5450/23 - MELENE PARK	00621	161.54	
			5475/23 - OCEAN REEF BOAT HARBOUR	00621	96.47	
			5482/23 - SANTIAGO PARK	00621	88.33	
			5486/23 - JUNIPER PARK	00621	183.92	
			5487/23 - CHICHESTER PARK	00621	164.01	
			5501/23 - SIR JAMES MCCUCKER PARK	00621	60.17	
			5502/23 - PRINCE REGENT PARK	00621	416.08	
EF111530	17/05/2023	JOONDALUP PLUMBING SERVICES				32,188.34
			4409/22-2 - GATIC COVERS ANNUAL SERVICE	00621	1,314.72	
			5417/23 - WOC	00621	8,238.89	
			5424/23 - OCEAN REEF BOAT RAMP	00621	60.17	
			5425/23 - KEY WEST	00621	90.26	
			5426/23 - MULLALOO SURF	00621	240.68	
			5427/2 - MULLALOO KINDY	00621	349.80	
			5428/23 - WOC	00621	252.78	
			5429/23 - PINNAROO POINT	00621	314.11	
			5430/23 - TOM SIMPSON PARK	00621	71.83	
			5431/23 - HILLARYS ANIMAL BEACH	00621	177.65	
			5432/2 - BLACKALL PARK	00621	99.99	
			5433/23 - CHARONIA PARK	00621	135.69	
			5435/23 - CRAIGIE LEISURE CENTER	00621	144.71	
			5436/23 - EMERALD SCHOOL CARE	00621	60.17	
			5437/23 - DELAMERE PARK	00621	90.26	
			5441/23 - CRAIGIE LEISURE CENTRE	00621	120.34	
			5442/23 - KINGSLEY MEMORIAL CLUBROOMS	00621	208.40	
			5446/23 - HILLARYS PARK	00621	60.17	
			5447/23 - CRAIGIE LEISURE CENTRE	00621	60.17	
			5448/23 - NEIL HAWKINS PARK	00621	131.01	
			5449/23 - JOONDALUP LIBRARAY	00621	300.10	
			5452/23 - PINNAROO POINT	00621	109.01	
			5453/23 - MULLALOO SURF	00621	1,246.41	
			5454/23 - MOOLANDA PARK	00621	60.17	
			5457/23 - SORRENTO HALL	00621	105.60	
			5458/23 - DUNCRAIG HALL	00621	96.47	
			5459/23 - SORRENTO HALL	00621	117.76	
			5461/23 - DUNCRAIG LIBRARY	00621	68.86	
			5462/23 - PRINCE REGENT PARK	00621	1,025.37	
			5463/23 - CRAIGIE LEIUSRE	00621	2,456.19	
			5464/23 - BLACKALL PARK	00621	393.25	
			5465/23 - GUY DANIELS	00621	103.24	
			5466/23 - CRAIGIE LEISURE CENTRE REPAIRS	00621	96.47	
			5467/23 - SORRENTO SOCCER	00621	91.96	
			5468/23 - JOONDALUP ADMIN	00621	137.72	
			5469/23 - DELAMERE PARK	00621	60.17	
			5470/23 - PERCY DOYLE TBALL	00621	147.02	
			5471/23 - GROVE CHILD CARE CTR REPAIRS	00621	1,901.35	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			5472/23 - JOONDALUP RECEPTION CENTRE REPAIRS	00621	7,152.64	
			5473/23 - MIRROR PARK TOILETS REPAIRS	00621	222.42	
			5476/23 - SANTIAGO PARK TOILETS REPAIRS	00621	124.63	
			5477/23 - ROBIN PARK TOILETS REPAIR	00621	301.79	
			5478/23 - ILUKA FORESHORE REPAIRS	00621	180.51	
			5479/23 - JOONDALUP ADMIN REPAIRS	00621	297.77	
			5480/23 - MULLALOO NORTH TOILETS REPAIRS	00621	60.17	
			5481/23 - SORRENTO SURF LIFESAVING CLUB REPAIRS	00621	1,070.52	
			5484/23 - GLENGARRY PARK TOILETS REPAIRS	00621	60.17	
			5485/23 - CRAIGIE LEISURE CENTRE REPAIRS	00621	144.71	
			5488/23 - HEATHRIDGE PARK CLUBROOMS REPAIRS	00621	501.38	
			5491/23 - FLEUR FREAME PAVILION REPAIRS	00621	108.13	
			5492/23 - CRAIGIE LEIDURE CENTRE	00621	60.17	
			5493/23 - BURNS BEACH CLEAR URINALS	00621	400.02	
			5494/23 - OTAGO PARK	00621	209.88	
			5495/23 - PENISTONE PARK	00621	65.23	
			5498/23 - WHITFORD NODES	00621	87.67	
			5499/23 - JOONDALUP ADMIN	00621	60.17	
			5500/23 - CHRISTCHURCH PARK	00621	341.44	
EF111558	19/05/2023	JOONDALUP PLUMBING SERVICES				1,867.75
			4486/22 - SORRENTO SOUTH NO WATER	00621	181.94	
			4496/22 - PINNAROO POINT VANDLE DAMAGE	00621	198.88	
			4788/22 - MACDONALD PARK WATER PIPE	00621	926.04	
			5122/22 - WHITFORDS NODES DRINK FOUNTAIN	00621	120.34	
			5124/22 - SORRENTO FORESHORE SHOWER	00621	180.51	
			5131/22 - WHITFORDS NODES DRINK FOUNTAIN	00621	260.04	
EF111946	31/05/2023	JOONDALUP PLUMBING SERVICES				55,609.90
			241/23 - JUNIPER PARK	00621	164.23	
			4585/22 - EMERALD CLUBROOMS	00621	117.43	
			4609/22 - BEACHSIDE PARK	00621	153.40	
			4618/22 - EMERALD PARK	00621	88.44	
			4645/22 - ADMIRAL PARK	00621	79.75	
			4995/22 - NORMAL WORKING HOURS QUALIFIED PLUMBING	00621	72.16	
			5337/23 - PINNAROO POINT	00621	120.34	
			5359/23 - SORRENTO SURF DRINK FOUNTAIN	00621	166.93	
			5434/23 - MARRI PARK DRINK FOUNTAIN	00621	90.26	
			5439/23 - WHITFORDS NODES PARK BLOCKAGE	00621	120.34	
			5443/23 - FORREST C/ROOMS DRINK FOUNTAIN	00621	344.36	
			5444/23 - CRAIGIE LEISURE CTR	00621	436.56	
			5445/23 - BEAUMARIS COMMUNITY	00621	48.18	
			5451/23 - PADBURY CHILD HEALTH	00621	94.16	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			5456/23 - GROVE CHILD CARE	00621	1,657.48	
			5460/23 - JOONDALUP LIBRARY	00621	3,588.75	
			5496/23 - ANCHORS YOUTH CENTRE KITCHEN OUTLET TAP	00621	164.95	
			5497/23 - ILUKA DISTRICT OPEN SPACE	00621	228.47	
			5503/23 - JOONDALUP MARKUP	00621	6,467.73	
			5504/23 - JOONDALUP RECEPTION	00621	21,181.60	
			5506/23 - CLIFFORD COLEMAN PARK	00621	20,224.38	
EF111610	31/05/2023	JORDAN ROWE				80.00
			P422706 - REFUND PARKING INFRINGEMENT		80.00	
EF111521	17/05/2023	JULIE WINDLEY				30.00
			INWE23/24810 - DOG REGISTRATION REFUND		30.00	
EF111122	15/05/2023	K & S GRAINDORGE				100.00
			INWE23/20948 - STERILISATION REFUND		100.00	
EF111123	15/05/2023	K L TOWLER				512.00
			148861 - RATE REFUND		512.00	
EF111354	15/05/2023	KADESJADA TRUST (ONE 20 PRODUCTIONS)				55,386.98
			15670 - PRODUCTION FOR GREASE EXPERIENCE		4,381.30	
			15671 - AUDIO, VISION & LIGHTING HILLARYS MARINA JOONDALUP FESTIVAL 23		51,005.68	
EF111107	15/05/2023	KAPISH SERVICES PTY LTD				924.63
			KAPX.INV001790 - ANNUAL MAINTENANCE RENEWAL		924.63	
EF111156	15/05/2023	KAREN WAITHMAN				100.00
			INWE23/22304 - DOG REGISTRATION REFUND		100.00	
EF111315	15/05/2023	KEEPPAD INTERACTIVE AUSTRALIA PTY LTD				220.00
			20231175 - PERFORMED AT TAYLOR ROOM		220.00	
EF111214	15/05/2023	KELLY ROBERTSON-KAY (THE BAKING EDGE)				240.00
			TBE00241 - 15 PACKS OF EASTER COOKIES		240.00	
EF111680	31/05/2023	KELLY ROBERTSON-KAY (THE BAKING EDGE)				116.40
			TBE00251 - COMMUNITY ENGAGEMENT EVENTS 12 CUPCAKES		116.40	
EF111780	31/05/2023	KENNARDS HIRE				1,718.20
			24998472 - LED MESSAGE BOARD WHITFORDS AVE)		1,445.00	
			25009314 - LED MESSAGE BOARD DELIVERY & PICK UP WHITFORDS AVE		273.20	
EF111839	31/05/2023	KGO INVESTMENTS PTY LTD (PERTH BOUNCY CASTLE HIRE)				8,172.78
			31754 - BIG DAY OUT EVENT		8,172.78	
EF111316	15/05/2023	KIDS CAMPS INC				1,040.00
			11307 - THE CLIMB ZONE 13.04.23 - AUTUMN SHP		1,040.00	
EF111785	31/05/2023	KILARNY PTY LTD (PRESSURE CLEANING PERTH)				10,997.80
			INV-1795 - PRESSURE CLEAN OUTDOOR AREA		10,997.80	
EF111622	31/05/2023	KINETIC LANDSCAPING				147.00
			DA23/0208 - REFUND DEVELOPMENT APPLICATION		147.00	
EF111495	15/05/2023	KINROSS SUPA IGA				248.13
			05/7798 - NON GST ITEMS FOR PROGRAM ACTIVITIES		43.51	

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			06/8690 - PROGRAM ACTIVITIES		54.46	
			243496 - RESOURCES MA15+ PROGRAM		40.65	
			243496 05/04/23 - RESOURCES MA15 T1		51.30	
			247398 - SLIME & COOKIE DOUGH		58.21	
EF111532	17/05/2023	KINROSS SUPA IGA				217.50
			03/2023 - SOFT DRINKS		74.55	
			05/1287 - CONSUMABLE ITEMS FOR YOUTH TRUCK		142.95	
EF111950	31/05/2023	KINROSS SUPA IGA				216.26
			248353 - YOUTH TRUCK		216.26	
EF111820	31/05/2023	KLAUS WERNER (OBJEKT 2)				4,301.00
			23447 - BLACK MATT TOPS-IS OFFICE REFURBISHMENT		4,301.00	
EF111494	15/05/2023	KLEENIT PTY LTD				12,050.67
			158106 - HIGH PRESSURE WASH - INCLUDING PAVEMENT	02922	242.00	
			158867 - CENTRAL PARK AND NEAL HAWKINS PARK		2,090.00	
			159435 - HIGH PRESSURE WASH - INCLUDING PAVEMENT	02922	1,441.44	
			159447 - GRAFFITI PAINT OUT - WATERBASED PAINT -	02922	863.17	
			159472 - CENTRAL PARK PRESSURE CLEAN		2,090.00	
			159473 - PRESSURE CLEAN TENNIS TABLES	02719	330.00	
			159634 - GRAFFITI PAINT OUT - WATERBASED PAINT -	02922	4,994.06	
EF111949	31/05/2023	KLEENIT PTY LTD				6,390.51
			159433 - REMOVE OF OIL / INK / STAINS - NORMAL HO	02922	486.75	
			159897 - VARIOUS LOCATIONS COJ	02719	4,609.00	
			159957 - GRAFFITI PAINT OUT VARIOUS LOCATIONS	02922	1,294.76	
EF111314	15/05/2023	KL MEDIA PTY LTD (ALL ACCESS AUSTRALASIA)				675.62
			1158886 - ADULT FICTION PROFILED DVDS		556.82	
			1158887 - ITEMS AS SELECTIED		25.30	
			1158889 - IN DEMAND TITLES AS REQUIRED		93.50	
EF111782	31/05/2023	KL MEDIA PTY LTD (ALL ACCESS AUSTRALASIA)				1,861.50
			1158945 - ADULT FICTION PROFILED DVDS		744.92	
			1158946 - IN DEMAND TITLES AS REQUIRED		103.72	
			1159066 - JUNIOR PROFILED DVDS		924.83	
			1159067 - ADULT NON-FICTION PROFILED DVDS		29.30	
			1159068 - CHRISTMAS CONTEST DVD VIDEO		32.88	
			1159069 - DVD VIDEO		25.85	
EF111148	15/05/2023	KODI DENNISON				199.20
			19/04/23 - SALE OF ARTWORK		199.20	
EF111586	31/05/2023	KYLIE SORGIOVANNI				63.00
			2761911 - JUNIOR SPORTS SOCCER TEAM WITHDRAWN		63.00	
EF111313	15/05/2023	KYOCERA DOCUMENT SOLUTIONS AUSTRALIA PTY LTD				23,323.08
			90695034 - TASKALFA 4054CI MFC		6,136.22	
			90695702 - TASKALFA 3554CI MFC WITH OPTION KIT 2		4,643.96	
			90695703 - IT COLOUR PRINTER		3,413.12	

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			90695704 - TASKALFA COLOUR PRINTER		3,413.12	
			90695705 - CUSTOMER CARE COPIER CHARGES		3,413.12	
			90695847 - COJ COPY COST		65.57	
			90695850 - COJ COPY COST		105.34	
			90695855 - COJ IT DPT COPYCOST		29.36	
			90695856 - RECORDS DEPT COPIER CHARGES		20.64	
			90695857 - WOC - COPY COST		279.99	
			90695858 - CUSTOMER SERVICE COPIER CHARGES		28.44	
			90695862 - ECOSYS P2040DN PRINTER		18.94	
			90695865 - WOC - COPY COST		28.33	
			90695866 - RATES DEPT COPIER CHARGE		23.54	
			90695867 - REF PHOTOCOPY USAGE		18.90	
			90695870 - RATES DEPT COPIER CHARGES		37.52	
			90695871 - PLANNING COPIER CHARGES		120.76	
			90695872 - PHOTOCOPIER PCD ADMIN		17.26	
			90695874 - FINANCE DEPT COPIER CHARGES		17.67	
			90695877 - WOC - COPY COST		37.06	
			90695878 - CUSTOMER SERVICE COPIER CHARGES		36.54	
			90695882 - COMPLIANCE COPIER CHARGES		16.28	
			90695883 - WOC - COPY COST		27.75	
			90695884 - BUILDING SERVICES COPIER CHARGES		16.95	
			90695885 - COJ COPY COST		179.17	
			90695887 - ENVIRO HEALTH COPIER CHARGES		158.02	
			90695889 - ECOSYSP6230CDN		15.79	
			90695892 - COPY COST - OFFICE OF MAYOR		14.58	
			90695894 - RANGERS COPIER CHARGES		175.74	
			90695895 - APRIL 2023 - OFFICE OF THE MAYOR		20.87	
			90695898 - COJ DIMS PA COPY COST		392.13	
			90706541 - ECOSYS P6230CDN PRINTER		400.40	
EF111524	17/05/2023	KYOCERA DOCUMENT SOLUTIONS AUSTRALIA PTY LTD				170.49
			90656057 - PHOTOCOPYING FOR STRATEGIC JAN - FEB 23		170.49	
EF111550	19/05/2023	KYOCERA DOCUMENT SOLUTIONS AUSTRALIA PTY LTD				932.67
			90656084 - COJ COUNCIL SUPPORT		287.31	
			90678616 - COJ HR DPT		161.59	
			90678627 - COJ COPY COST		435.27	
			90678628 - COJ BUILDING SERVICES		48.50	
EF111781	31/05/2023	KYOCERA DOCUMENT SOLUTIONS AUSTRALIA PTY LTD				1,431.86
			90678621 - PHOTPCOPIER- COJ ADM CUSTOMER SERVICES		36.01	
			90695848 - ECOSYS P6230CDN RCC2802196		29.89	
			90695849 - STRATEGIC DEV COPIER CHARGES		232.03	
			90695851 - USAGE COSTS FOR WHITFORD LIIBRARY		13.85	
			90695852 - KYOCERA PRINTER INTERNAL AUDITOR		14.29	
			90695853 - PHOTOCOPYING CHARGE FOR DUNCRAIG		29.77	

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			90695854 - COJ ECONOMIC DEVELOPMENT & ADVOCACY		83.71	
			90695859 - PHOTOCOPYING CHARGE FOR DUNCRAIG		15.28	
			90695860 - USAGE COSTS FOR WHITFORD LIIBRARY		65.84	
			90695861 - USAGE COSTS FOR WOODVALE LIIBRARY		45.06	
			90695863 - LENDING PHOTOCOPY USAGE		61.77	
			90695864 - WORKS DEPOT COPIER CHARGES		24.64	
			90695868 - CRAIGIE LEISURE CENTRE		113.92	
			90695869 - USAGE COSTS FOR WHITFORD LIIBRARY		11.78	
			90695873 - CITY OF JOONDALUP CDLS & LCS		90.89	
			90695875 - USAGE COSTS FOR WHITFORD LIIBRARY		80.99	
			90695879 - PHOTOCOPYING CHARGE FOR DUNCRAIG		55.28	
			90695880 - REF PHOTOCOPY USAGE		11.58	
			90695881 - CRAIGIE LEISURE CENTRE - GYM APPRAISALS		82.82	
			90695888 - CONTRACT FEE FOR PRINTERS		40.18	
			90695890 - KYOCERA PRINTER LARGE OFFICE PRINTER		58.67	
			90695891 - COJ - CRAIGIE LEISUR CENTRE		11.97	
			90695896 - USAGE COSTS FOR WOODVALE LIIBRARY		45.82	
			90695897 - CITY OF JOONDALUP CDLS & LCS		175.82	
EF111428	15/05/2023	L.P AIKEN & D.J BEER & T.D BOYCE AND OTHERS (THOMSON GEER)				2,260.50
			1137818 - SORRENTO BEACH		2,260.50	
EF111899	31/05/2023	L.P AIKEN & D.J BEER & T.D BOYCE AND OTHERS (THOMSON GEER)				14,499.65
			1166628 - ECO SHARK BARRIER COSTS		14,499.65	
EF111324	15/05/2023	LA FORTUNA PTY LTD (AUSTRALIAN AND PATROLS)	GUARDS			1,718.64
			22202 - REACTIVE CONTRACTORS - FENCING, BOLLARDS		1,718.64	
EF111326	15/05/2023	LACTALIS AUSTRALIA PTY LTD				99.76
			235872542 - MILK TO THE WOC		99.76	
EF111793	31/05/2023	LACTALIS AUSTRALIA PTY LTD				299.28
			236000019 - MILK TO THE WOC 09/05/23		99.76	
			236054919 - MILK TO THE WOC 19/9/22 TO		99.76	
			236110169 - MILK TO THE WOC 19/9/22		99.76	
EF111317	15/05/2023	LANDGATE MIDLAND				3,057.97
			1280817 - GEOSPATIAL DATA		661.00	
			383218 - VG SCHEDULE G2023/7		875.64	
			383463 - VG SCHEDULE G2023/8		859.74	
			383862 - VG SCHEDULE G2023/9		661.59	
EF111786	31/05/2023	LANDGATE MIDLAND				1,483.93
			384376 - VG SCHEDULE G2023/10		1,483.93	
EF111318	15/05/2023	LAUNDRY EXPRESS				303.02
			21384 - LAUNDRY		303.02	
EF111787	31/05/2023	LAUNDRY EXPRESS				179.61
			21247 - LAUNDRY AS REQUIRED		179.61	
EF111216	15/05/2023	LAURA BURTON				312.00
			100 - SALE OF ARTWORK		312.00	

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EF111194	15/05/2023	LAURA EMILY KENNEDY (AQUA KREARTZ)	1 - SALE OF ARTWORK LESS COMMISSION		20.00	20.00
EF111163	15/05/2023	LEE ROEBUCK	10/05/23 - BIN WASTE REFUND		159.00	159.00
EF111257	15/05/2023	LEIGH MCDONALD T/AS ENVISION PRODUCTIONS	1484 - FILMING OF ANZAC DAWN SERVICE		616.00	616.00
EF111321	15/05/2023	LEND LEASE PROPERTY MANAGEMENT (AUSTRALIA) PTY LIMITED	611641042710 APRIL PAYMENT - VENUE HIRE FOR CAE 2023 EXHIBITION		6,325.00	6,325.00
EF111790	31/05/2023	LEND LEASE PROPERTY MANAGEMENT (AUSTRALIA) PTY LIMITED	611641043784 - VENUE SECURITY FOR CAE 2023		4,342.75	4,342.75
EF111097	15/05/2023	LEONIE CECICH	7090 - EVENT - KIDS'N'MUSIC		275.00	275.00
EF111373	15/05/2023	LEONIE HELEN THOMPSON (THE POSTER GIRLS)	15252 - WA TREE FESTIVAL DISTRIBUTION		125.00	125.00
EF111951	31/05/2023	LES MILLS AUSTRALIA	1222807 - LES MILLS LICENCES		1,685.11	1,685.11
EF111788	31/05/2023	LG PROFESSIONALS AUSTRALIA T/AS GOVERNMENT MANAGERS	35569 - WHAT'S UP IPR SEMINAR		30.00	30.00
			35570 - COUNCIL PLANNING NETWORK EVENT		940.00	940.00
			35592 - GRANT WRITING AND BUSINESS CASE DEVELOPM		398.15	398.15
112835	25/05/2023	LIBRARY ADMIN PETTY CASH	PETTY CASH W/E 26/05/23 - PETTY CASH REIMBURSEMENT W/E 26/05/23		1,240.00	1,240.00
EF111195	15/05/2023	LISA J ALLSOPP	21/04/23 - SALE OF ARTWORK		809.25	809.25
EF111138	15/05/2023	LM ANDERSON, AM ANDERSON, JR ANDERSON	198671 - RATES REFUND		1,240.00	1,240.00
EF111948	31/05/2023	LNLC PTY LTD T/AS KELYN TRAINING SERVICES	32068 - WORK SAFELY & TRAFFIC MANAGEMENT		620.00	620.00
			32069 - WORK SAFELY & TRAFFIC CONTROL TRAINING		910.00	910.00
EF111519	17/05/2023	LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA WA	35240 - CONTRACT MANAGEMENT WORKSHOP		50.00	50.00
EF111582	31/05/2023	LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA WA	35606 - MONTHLY WEBINAR SERIES WITH DLGSC (MAY 2)		8,081.15	8,081.15
EF111322	15/05/2023	LOCHNESS UNIT TRUST T/AS LOCHLANDSCAPE SERVICES	87940 - MOWING SERVICES APRIL 2023	00423	8,081.15	8,081.15
EF111791	31/05/2023	LOCHNESS UNIT TRUST T/AS LOCHLANDSCAPE SERVICES	88082 - CENTRAL ZONE VARIOUS SITES	VP316614	6,054.13	6,054.13
			88083 - MOWING PUBLIC OPEN SPACE SOUTH ZONE	VP316682	5,852.00	5,852.00
EF111445	15/05/2023	LOTHIAN TRUST (IRON TECH INDUSTRIES)			5,087.50	5,087.50

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			7075 - NORMAL WORKING HOURS - WORKSHOP	03122	5,087.50	
EF111912	31/05/2023	LOTHIAN TRUST (IRON TECH INDUSTRIES)				2,452.45
			7074 - NORMAL WORKING HOURS - WORKSHOP	03122	591.25	
			7079 - PINNACLE PARK CRAIGIE	03122	1,861.20	
EF111164	15/05/2023	LYNNETTE PARRISH				100.00
			INWE23/24319 - DOG REGISTRATION REFUND		100.00	
EF111132	15/05/2023	LYNSEY BAKER				189.00
			2761882 - SUMMER SEASON REFUND		189.00	
EF111337	15/05/2023	M D AND D M WATER BORING CONTRACTORS				13,750.00
			350 - BORE DECOMMISSIONS VARIOUS AREAS	02021	13,750.00	
EF111802	31/05/2023	M D AND D M WATER BORING CONTRACTORS				5,913.82
			351 - MATERIALS/PARTS 20% MARK-UP FOR REACTIVE	02021	5,913.82	
EF111378	15/05/2023	M P ROGERS & ASSOCIATES PTY LTD				5,533.63
			23505 - PROFESSIONAL COASTAL ENGINEERING	VP287323	5,533.63	
EF111846	31/05/2023	M P ROGERS & ASSOCIATES PTY LTD				7,826.33
			23542 - VALUATION & CONDITION ASSESSMENT OF	VP287323	2,315.06	
			23563 - PROVISION OF MARINE AND COASTAL ENGINEER	VP287323	4,150.23	
			23568 - PROFESSIONAL COASTAL ENGINEERING SERVICE	VP287323	1,361.04	
EF111602	31/05/2023	M T BURSEY				268.30
			171225 - RATES REFUND - SEACREAST DR, SORRENTO		268.30	
EF111527	17/05/2023	M.J CLARK & C.E TRUSLOVE				900.00
			INV-3336 - COJ SPONSORSHIP AGREEMENT		900.00	
EF111556	19/05/2023	MAHAVIR HOLDINGS PTY LTD (THE CHEESECAKE SHOP WARWICK)				407.00
			W 4301 - 150 CUPCAKES FRIDAY 19 MAY		407.00	
EF111901	31/05/2023	MAHAVIR HOLDINGS PTY LTD (THE CHEESECAKE SHOP WARWICK)				571.73
			W 4302 - PURCHASE 116 CUPAKES FOR CRAIGIE		571.73	
EF111799	31/05/2023	MAIN ROADS WESTERN AUSTRALIA				7,652.19
			8021613 - LINE MARKING - EXT CONT		6,289.84	
			8021617 - LINE MARKING - EXT CONT		1,362.35	
EF111329	15/05/2023	MAJOR MOTORS				4,457.17
			1353097 - PARTS & REPAIRS		1,458.33	
			1358512 - PARTS ONLY		2,998.84	
EF111796	31/05/2023	MAJOR MOTORS				1,384.10
			1362339 - HEAVY VEHICLE INSPECTION		232.00	
			1363565 - SCHEDULED SERVICING 1GXA947		620.40	
			1364174 - PARTS & REPAIRS BUS 1HGO247		232.00	
			1364458 - PARTS FOR ISUZU TRUCK		110.65	
			1365036 - PARTS ISUZU TRUCK 1GUD414		189.05	
EF111442	15/05/2023	MAMMOTH SECURITY PTY LTD				847.00
			V00304825 - MONTHLY MONITORING FEE		847.00	
EF111497	15/05/2023	MANHEIM PTY LTD				256.30
			5509206054 - DAMAGED MOTOR VEHICLE SALE		256.30	
EF111955	31/05/2023	MARC ASH PHOTOGRAPHY				9,900.00

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			1713 - CLC REFURB AND REBRAND PHOTO AND VIDEO		4,950.00	
			1723 - CLC REFURB AND REBRAND PHOTO AND VIDEO		4,950.00	
EF111251	15/05/2023	MARGARET DOROTHY DAVIES				300.00
			23042502 - EVENT - WONDERFUL WORLD OF WORMS		300.00	
EF111581	31/05/2023	MARIO JAMES BORDIN				126.09
			177550 - RATES REFUND		126.09	
EF111106	15/05/2023	MARK PETER & SHYRELLE JEAN DELLA-VEDOVA				2,000.00
			187969. - RATES REFUND		2,000.00	
EF111335	15/05/2023	MARK'S RETICULATION				242.00
			7087 - COJ KERBING MAINTENANANCE		242.00	
EF111144	15/05/2023	MARLENE T ASHLEY				277.00
			181818 - RATES REFUND		277.00	
EF111567	31/05/2023	MARMION PRIMARY SCHOOL P&C ASSN				7,946.00
			23052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT		7,946.00	
EF111620	31/05/2023	MARNIE DALWOOD				126.00
			15708 - REFUND OF ANNUAL UNUSED INSPECTION FEE		126.00	
EF111616	31/05/2023	MARTIN WATTS				375.00
			RIM79832 - CROSS OVER SUBSIDY		375.00	
EF111101	15/05/2023	MARY DANZI				75.00
			INWE23/23420 - DOG REGISTRATION REFUND		75.00	
EF111108	15/05/2023	MARY O'BYRNE				280.00
			COJ-001 - SALE OF ARTWORK		280.00	
EF111288	15/05/2023	MASTER HOSE PTY LTD T/AS HOSE MART				190.03
			525163 - WEEDING CHEMICAL		44.81	
			525388 - PARTS ONLY		145.22	
EF111498	15/05/2023	MEGA VISION AUSTRALIA PTY LTD				7,125.80
			24663 - ANZAC DAY 2023		7,125.80	
EF111808	31/05/2023	MELCHOR MEP PTY LTD				68,397.78
			2579 - CLC GEOTHERMAL REFURBISHMENT	01222	68,397.78	
EF111703	31/05/2023	MELLANIE BERNICE CULHANE				6,072.00
			BRM-2023-001 - BUSHFIRE RISK MANAGEMENT TRAINING		6,072.00	
EF111339	15/05/2023	MERCHANDISING LIBRARIES PTY LTD				296.12
			INV-10610 - SUPPLY OF 16 SHELFs - COJ LIBRARY		296.12	
EF111952	31/05/2023	MESSAGES ON HOLD AUSTRALIA PTY LTD				546.00
			INV341411 - PROVISION OF AUDIO PRODUCTIONS		546.00	
EF111334	15/05/2023	METRO HARDWARE PTY LTD				1,276.00
			47263 - CEMENT GP GREY - 20KG		1,276.00	
EF111801	31/05/2023	METRO HARDWARE PTY LTD				616.00
			47489 - GREY CEMENT		616.00	
EF111238	15/05/2023	MG & C MANAGEMENT PTY LIMITED (CHEMRON AUSTRALIA)				329.95
			INV-0814 - CRAIGIE LEISURE CENTRE		329.95	
EF111103	15/05/2023	MICHAEL HAMLING				134.00
			PDA3D51WBVL - LOGITECH G535 HEADSET		134.00	
EF111153	15/05/2023	MICHELLE RICHARDSON				75.00

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			INWE23/20593 - DOG REGISTRATION REFUND		75.00	
EF111705	31/05/2023	MILTOM PTY LTD (CLASSIC HIRE)				4,063.40
			271762-6 - OCEAN REEF TOILETS		1,022.27	
			271762A-6 - OTHER BUILDINGS BUDGET		1,579.05	
			271762B-6 - OTHER BUILDING		1,462.08	
EF111526	17/05/2023	MILTON GREEN PTY LTD T/AS BEYOND SKATEBOARDING				2,099.88
			23-00000961 - SKATE COMP PRIZES 2023		2,099.88	
EF111332	15/05/2023	MINDARIE REGIONAL COUNCIL				361,308.95
			SCR-03827 - DOUBLE UP OF CORRECTION 4/5/23		-571.01	
			SINV-046929 - DISPOSAL OF MIXED GREEN WASTE		5,458.90	
			SINV-047002 - DOMESTIC TIPPING		1,775.27	
			SINV-047023 - DOMESTIC TIPPING		95,792.72	
			SINV-047031 - LITTER TEAM 21-27/4/23		1,829.48	
			SINV-047052 - DOMESTIC WASTE 21-27/4/23		92,039.71	
			SINV-047061 - LITTER TEAM 28-30/4/23		472.13	
			SINV-047075 - DOMESTIC WASTE 28/4/23		21,058.83	
			SINV-047081 - MRC MEMBER S ADMIN FEE 2/12X SHARE		64,468.32	
			SINV-047092 - LITTER TEAM 1-4/5/23		1,314.30	
			SINV-047113 - DOMESTIC WASTE 1-4/5/23		77,670.30	
EF111800	31/05/2023	MINDARIE REGIONAL COUNCIL				186,715.96
			SINV-047126 - LITTER TIPPING		1,389.27	
			SINV-047146 - DOMESTIC TIPPING		91,715.92	
			SINV-047153 - LITTER TIPPING		1,631.71	
			SINV-047173 - DOMESTIC TIPPING		91,979.06	
EF111134	15/05/2023	MITCHELL CUMMINS				76.00
			2867837 - REFUND CRAIGIE LEIS CTR		76.00	
EF111765	31/05/2023	MKI GROUP PTY LTD (HUMANNESS)				990.00
			INV-H0523005 - WEBSITE REDEVELOPMENT		990.00	
EF111805	31/05/2023	MMTD WA PTY LTD (UNIFY DIGITAL)				2,200.00
			INV-1486 - DISPLAY ADVERTISING CAMPAIGN (BDO)		2,200.00	
EF111330	15/05/2023	MODERN TEACHING AIDS PTY LTD				2,040.06
			45380106 - WHITFORDS LIBRARY		2,040.06	
EF111797	31/05/2023	MODERN TEACHING AIDS PTY LTD				750.04
			45427273 - VARIOUS RESOURCES FOR CHILDRENS PROGRAMS		628.27	
			45431036 - DMLEG - CASTOR		121.77	
EF111342	15/05/2023	MODUS COMPLIANCE PTY LTD				2,029.00
			C6996 - INSPECTION FOR CERTIFICATE OF BUILDING C		1,485.00	
			DA23/0252 - DEVELOPMENT APPLICATION REFUND		544.00	
EF111592	31/05/2023	MONIQUE KEMP				126.00
			2737256 - TEAM SPORTS REFUND		126.00	
EF111336	15/05/2023	MOORE AUSTRALIA (WA) PTY LTD				2,090.00
			S AGENT			
			3493 - FINANCIAL REPORTING WORKSHOP - C WALIA		2,090.00	
EF111136	15/05/2023	MOOSE ROBINSON				184.40
			31002 - REFUND OF HIRE FEES CANCELLED BOOKING		184.40	
EF111954	31/05/2023	MOVIES BY BURSWOOD				3,300.00

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			753 - TELETHON COMMUNITY CINEMAS' JOONDALUP		3,300.00	
EF111142	15/05/2023	MS & LR EVANS				70.00
			12/04/23 - REFUND FOR JOONDALUP FESTIVAL TICKETS		70.00	
EF111340	15/05/2023	MY MEDIA INTELLIGENCE PTY LTD				1,287.00
			INV-2616 - MEDIA MONITORING SUBSCRIPTION		1,287.00	
EF111536	19/05/2023	N V GORNELL				63.00
			2730746 - REFUND - CRAIGIE LEISURE CENTRE		63.00	
EF111338	15/05/2023	N.F DOUGLAS & P GILLET & F.D GRIGICH & D MCLEOD & D NICHOLSO				5,685.55
			12952 - MATTER NO:50576 PARKING PROSECUTION		611.60	
			129523 - MATTER NO 45877 - GENERAL ADVICE		397.10	
			129524 - LEGAL FEES		2,210.10	
			129525 - LEGAL FEES		908.60	
			129527 - LEGAL FEES		731.50	
			129529 - LEGAL FEES		826.65	
EF111446	15/05/2023	NANCY & SUSAN P ZUVELA T/AS WATTLEUP TRACTORS				6,117.50
			1294382 C - 1GZR714 MF TRACTOR FM4		4,756.94	
			1294976 - PARTS ONLY		1,360.56	
EF111913	31/05/2023	NANCY & SUSAN P ZUVELA T/AS WATTLEUP TRACTORS				2,105.44
			1295517 - BLADE LASER PEGASUS PARTS		1,936.00	
			1295966 - MIRROR		169.44	
EF111804	31/05/2023	NATALIE DALE VALLANCE (MUCHEA FARM)				168.00
			93786 - ASSORTED PLANTS AND DELIVERY		168.00	
EF111147	15/05/2023	NATALIE KRAWCZYK				10.00
			INWE23/22271 - REFUND FOR DUPLICATE PAYMENT AS NO TICKET ISSUED		10.00	
EF111520	17/05/2023	NATALIE RHODES				63.75
			INWE23/25778 - DOG REGISTRATION REFUND		42.50	
			INWE23/25790 - DOG REGISTRATION REFUND		21.25	
EF111146	15/05/2023	NATHASHA TANYA SUBRAMANIAM				30.00
			18/04/23 - DOG REGISTRATION REFUND		30.00	
EF111345	15/05/2023	NATURAL AREA HOLDINGS PTY LTD (NATURAL AREA MANAGEMENT)				459.09
			19923 - CHICHESTER PARK REVEGETATION		459.09	
EF111811	31/05/2023	NATURAL AREA HOLDINGS PTY LTD (NATURAL AREA MANAGEMENT)				3,973.75
			20116 - PLANT SUPPLY		3,973.75	
EF111343	15/05/2023	NEC AUSTRALIA PTY LTD				46,328.10
			9180262016 - NECARE SERVICE FEE		46,328.10	
EF111157	15/05/2023	NEIL MCKENZIE				272.22
			187974 - RATES REFUND		272.22	
EF111346	15/05/2023	NEVERFAIL SPRINGWATER LIMITED				201.86
			INV-001051581 - BOTTLED WATER		47.95	
			INV-001073739 - BOTTLED WATER		105.96	
			INV-001073802 - SUPPLY 15LTR WATER/RENTAL COUNCIL CHAMBERS		19.18	
			INV-001095180 - 15L SPRINGWATER BOTTLES		28.77	

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EF111812	31/05/2023	NEVERFAIL SPRINGWATER LIMITED				249.34
			INV-001095168 - BOTTLED WATER		19.18	
			INV-001095206 - 15L SPRING WATER FOR PLANNING SERVICES		86.31	
			INV-001116355 - 15L SPRINGWATER BOTTLE		38.36	
			INV-001116405 - 15L SPRINGWATER FOR PLANNING SERVICES		86.31	
			INV-001116420 - 15LTR SPRING WATER BOTLE		19.18	
EF111818	31/05/2023	NEXT ENERGY LIGHTING PTY. LTD.				15,337.30
			2223624 - PUBLIC LIGHTING PROJECT		15,337.30	
EF111348	15/05/2023	NIKOLA BABIC				3,200.00
			1288 - ARCHIVAL & FUTURE PROJECT PROMOTION		3,200.00	
EF111813	31/05/2023	NORTH METROPOLITAN TAFE				13,972.30
			I0040577 - EMANUEL PITSONIS		13,972.30	
EF111344	15/05/2023	NORTHERN DISTRICTS PEST CONTROL				1,672.00
			8948 - BLU LAKE PARK	VP203395	341.00	
			8958 - SUPPLY & APPLICATION OF MILLIPEDE TREATM HILLARYS PARK	VP203395	77.00	
			8959 - SUPPLY & APPLICATION OF TERMITES TREATMENT	VP203395	330.00	
			8960 - SUPPLY & INSTALL RODENT BAIT STATION INC	VP203395	605.00	
			8965 - SUPPLY & APPLICATION OF SPIDER TREATMENT	VP203395	319.00	
EF111528	17/05/2023	NORTHERN DISTRICTS PEST CONTROL				330.00
			8887 - SUPPLY & APPLICATION OF TERMITES TREATMENT	VP203395	330.00	
EF111809	31/05/2023	NORTHERN DISTRICTS PEST CONTROL				1,221.00
			8991 - SUPPLY & APPLICATION OF TERMITES TREATMENT	VP203395	495.00	
			8998 - SUPPLY & APPLICATION OF ANT TREATMENT (I	VP203395	242.00	
			8999 - SUPPLY & APPLICATION OF ANT TREATMENT (I	VP203395	484.00	
EF111810	31/05/2023	NORTHSIDE NISSAN				19,428.35
			NIFJ409762 - PARTS AND MATERIALS	01020	2,448.90	
			NIFJ410099 - 1GPR526 ISUZU D-MAX	01020	2,809.75	
			NIFJ410875 - NISSAN NAVARA 1EYR100	01020	3,918.50	
			NIFJ410919 - PARTS AND MATERIALS 1HNF238 FORD RANGER	01020	527.10	
			NIFJ410978 - 1HGX396 ISUZU D-MAX	01020	469.00	
			NIFJ411064 - HYUNDAI 140 TOUR 1GFM465	01020	640.80	
			NIFJ411113 - 150,000KM YEAR 2013-2018, ISUZU D MAX, 4	01020	706.00	
			NIFJ411175 - 1EXC522 HYUNDAI 140 TOURER	01020	375.50	
			NIFJ411249 - 1EYR101 NISSAN PULSAR HATCH	01020	337.00	
			NIFJ411334 - 1ERU948 ISUZU D MAX, 4 DR	01020	747.25	
			NIFJ411368 - 1GLC157 MITSUBISHI TRITO	01020	1,015.00	
			NIFJ411400 - 1ESR282 ISUZU D MAX, 4 DR	01020	1,293.10	
			NIFJ411437 - 1HLS809 ISUZU D-MAX	01020	370.00	
			NIFJ411456 - 1GCG617 NISSAN NAVARA	01020	276.50	
			NIFJ411538 - MITSUBISHI TRITO1GJI868	01020	839.10	
			NIFJ411541 - 1GCG619 NISSAN NAVARA	01020	970.00	

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			NIFJ411577 - 1HPD029 INTAKE AND EXHAUST SERVICE		330.00	
			NIFJ411577 - 1HPD029 INTAKE AND EXHAUST SERVICE	01020	113.00	
			NIHJ410859 - PARTS AND MATERIALS PERCENTAGE MARK-UP -	01020	289.00	
			NIHJ410956 - NISSAN X-TRAIL, 4X2 1EZC873	01020	376.45	
			NIHJ411498 - 1GCG621 NISSAN NAVARA	01020	576.40	
EF111817	31/05/2023	NOVA ENTERTAINMENT PTY LTD				25,250.50
			259145-3 - RADIO ADVERTISING AS PER VP313219 DETAIL		25,250.50	
EF111125	15/05/2023	O & M MANDL				375.00
			RIM79286 - SUBSIDY VEHICLE CROSSING		375.00	
112821	10/05/2023	OANH FAMILY TRUST T/AS MOMENT	S CAFE			222.00
			601 - CATERING 7/11/22		88.00	
			602 14/02/22 - CATERING FOR 14/2/23		134.00	
112829	18/05/2023	OANH FAMILY TRUST T/AS MOMENT	S CAFE			1,067.20
			603 - SAUSAGE ROLLS		178.80	
			605 - SAUSAGE ROLLS		126.10	
			616 - SAVOURY & FRUIT PLATTERS		97.00	
			617 - CATERING FOR TEAM MEETING		146.50	
			620 - LUNCH FOR MEETING HOSTED BY ENGINEERING		185.00	
			621 - LUNCH -ENGINEERING		194.00	
			622 - VOUCHERS FOR TEAM BUILDING DAY		60.00	
			623 - SAVOURY PLATTER		79.80	
112832	25/05/2023	OANH FAMILY TRUST T/AS MOMENT	S CAFE			822.00
			604A - SAUSAGE ROLLS		154.00	
			608 - LUNCH PLATTERS FOR MRWA MEETING		89.50	
			611 - 20 X ASSORTED SANDWICHES		160.00	
			615 - CATERING FOR PLANNERS WORKSHOP		228.50	
			626 - CATERING FOR EMT 27 APRIL 2023		190.00	
EF111501	15/05/2023	OFFICEWORKS LTD (OFFICEWORKS	DIRECT)			1,242.47
			606332035 - TO SUPPLY 1 OFF J.BARROWS ALUMINIUM LAPT		69.97	
			607 108176 - WRIST BANDS 100 PACK		63.00	
			607 319602 - GIFT CARDS		217.85	
			607 811962 - INSTA CAMERA AND FILM AS SELECTED.		198.00	
			607820853 - VISA PREPAID GIFT CARD - \$200		693.65	
EF111958	31/05/2023	OFFICEWORKS LTD (OFFICEWORKS	DIRECT)			1,675.73
			607 518029 - CLEANING ITEMS		1,167.78	
			607532357 - CONSUMABLES FOR CAE		507.95	
EF111152	15/05/2023	OLGA MERCHAN-REINA				159.00
			03/05/23 - RESIDENT ORDERED A 240L GENERAL WASTE BIN BY MISTAKE		159.00	
EF111594	31/05/2023	OLIVIA FINN				80.00
			INW23/3319 - PAID \$80 FOR P426569 AND THEN APPEALED AND DOWNGRADED INFRINGEMENT		80.00	
112810	5/05/2023	OPERATION STORES PETTY CASH				218.35
			PETTY CASH P/E 03/05/23 - REIMBURSEMENT OF PETTY CASH P/E 03/05/23		218.35	
EF111352	15/05/2023	OPTIMA PRESS				6,306.30

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			INV306667 - 2022/2023 SUMMER CALENDAR YOUTH SERVS		2,077.90	
			INV307593 - HARMONY DAY FRAME		220.00	
			INV307727 - BOOKMARKS - GENERAL LIBRARY HOURS		844.80	
			INV307915 - RESKIN 17 SIGNS & 3 NEW SIGNS		794.20	
			INV307916 - CORFLUTE SIGNS & WIRE STAKES		297.00	
			INV307917 - COREFLUTE SIGNS & GRASS SPIKES 420X594MM		228.80	
			INV307918 - CORFLUTE FACE CUTOUT SIGNS		270.60	
			INV308064 - 500 X ENGLISH CONV BUSINESS CARD		166.10	
			INV308065 - CERTIFICATION OF AUTHORITY ID CARD		159.50	
			INV308090 - OFFICE OF THE MAYOR LETTERHEADS		1,247.40	
EF111819	31/05/2023	OPTIMA PRESS				11,843.70
			INV307557 - CCTV IS OPERATED IN THIS AREA X 5 SIGNS		145.20	
			INV307625 - 2 SIDED FLYER		210.10	
			INV308152 - LIBRARIES - ONLINE RESOURCES A6 GUIDE		1,708.30	
			INV308185 - DL 2 SIDED FLYER		1,863.40	
			INV308255 - METAL SIGNAGE		431.20	
			INV308361 - INSTAGRAM FRAME		220.00	
			INV308362 - 10 X CORFLUTE SIGNS		257.40	
			INV308385 - PRINTED PROGRAMS-SUNDAY SERENADES		2,022.90	
			INV308387 - LIBRARIES A5 NOTE PADS		2,506.90	
			INV308388 - CORFLUTE LAMP POST BOLLARD SLEEVES COVER		2,478.30	
EF111500	15/05/2023	OPTUS BILLING SERVICES PTY LTD				106,230.22
			335170149 07/02/23 - A/C 62346215726		8,924.67	
			341790845 - A/C 62346215726		7,428.33	
			349175600 - SAMSUNG TAB ACTIVE 3 64GB 4G		68,200.00	
			349179303 - A/C 62346215726		7,221.24	
			349179303 04/04/23 - A/C 62346215726		7,221.24	
			356471106 - ACCOUNT 62346215726 APRIL CHARGES		7,234.74	
EF111353	15/05/2023	ORBIT HEALTH & FITNESS SOLUTIONS				484.00
			WC231824 - CLC - PILATES & YOGA EQUIPMENT		484.00	
EF111366	15/05/2023	PAPER AUSTRALIA PTY LTD T/AS AUSTRALIAN PAPER				196.93
			96595156 - 140074 - DL 110X220 PF WHITE PSEAL		196.93	
EF111835	31/05/2023	PAPER AUSTRALIA PTY LTD T/AS AUSTRALIAN PAPER				422.46
			96595645 - LOGO CITY OF JOODALUP A GLOBAL CITY		196.93	
			96603988 - DL WINDOW-FACE ENVELOPES		225.53	
EF111358	15/05/2023	PAPERBARK TECHNOLOGIES PTY LTD				2,975.00
			7575 - PERCY DOYLE RESERVE		2,975.00	
EF111369	15/05/2023	PARADIGM INFORMATION TECHNOLOGY (IT) PTY LTD				498.96
			INV-QU9307-03 - CM SUPPORT SERVICES		498.96	
EF111826	31/05/2023	PARKONSULT PTY LTD				38,613.18

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			PK-1802 - MAINTENANCE AND REPAIR SERVICES	PTM22	31,325.26	
			PK-1803 - PROVISION OF AND MAINTENANCE OF THE REMO	PTM22	7,287.92	
EF111960	31/05/2023	PARKS & LEISURE AUSTRALIA				2,750.00
			W19741 - MEDIUM CORPORATE MEMBERSHIP TO 30/6/24		2,750.00	
EF111239	15/05/2023	PAT COLLEY				120.00
			14/04/2023 - SALE OF ARTWORK		120.00	
EF111367	15/05/2023	PATRON TECHNOLOGY PTY LTD				8,450.87
			2435/01518831 - TOOLS		56.51	
			2435/01518944 - TOOLS		260.14	
			607853 - SERVICE FEES FOR LIBRARY EVENTS		4.25	
			EV-8576414 - BOOKING FEES - SUMMER YOUTH EVENT SERIES		41.00	
			EV-8600679 - BOOKING FEES DEFEAT THE BEAT 02/04/23		91.35	
			EV-8607643 - BOOKING FEES - BMX, SKATE AND SCOOTER CO		4.86	
			EV-8607664 - BOOKING FEES - PETIT CIRCUS: BON APPETIT		272.17	
			EV-8607665 - BOOKING FEES - PURSUIT		83.93	
			EV-8607667 - BOOKING FEES		499.81	
			EV-8607668 - BOOKING FEES		301.92	
			EV-8607669 - BOOKING FEES		208.40	
			EV-8607672 - BOOKING FEES		217.01	
			EV-8607675 - BOOKING FEES - BMX, SKATE AND SCOOTER CO		6.48	
			EV-8607676 - BOOKING FEES - BMX COMPEITIONS 2023		1.62	
			EV-8607677 - BOOKING FEES		168.91	
			EV-8607678 - BOOKING FEES		322.63	
			EV-8607679 - BOOKING FEES - IMPROV D&D		137.10	
			EV-8607680 - BOOKING FEES - BMX, SKATE AND SCOOTER CO		9.72	
			EV-8607681 - BOOKING FEES - SUNS OF FRED		324.82	
			EV-8609173 - BOOKING FEES - GREASE AT THE DRIVE-IN		307.50	
			EV-8609174 - BOOKING FEES - GREASE AT THE DRIVE-IN		309.55	
			EV-8609176 - BOOKING FEES - GREASE AT THE DRIVE-IN		306.90	
			EV-8609220 - BOOKING FEES - A CIRCUS SENSATION		485.13	
			EV-8609221 - BOOKING FEES - A CIRCUS SENSATION		513.06	
			EV-8625359 - BOOKING FEES - OOMPAH!		81.54	
			EV-8625362 - BOOKING FEES - BOGAN SHAKESPEARE		392.96	
			EV-8625363 - BOOKING FEES - WATCH AND ACT		63.82	
			EV-8626738 - BOOKING FEES - ECO DYE WORKSHOP		57.00	
			EV-8626748 - BOOKING FEES		563.76	
			EV-8626751 - BOOKING FEES - SOUKOUSS INTERNATIONALE		131.18	
			EV-8631545 - BOOKING FEES		231.58	
			EV-8631547 - BOOKING FEES - WA EXPOS&EACUTE		114.32	

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			EV-8631553 - BOOKING FEES - PERTH CABARET COLLECTIVE		200.85	
			EV-8636124 - DIZNEY IN DRAG - JF 29/03/23		528.76	
			EV-8636126 - BOOKING FEES - ORIGINS: CHOIR PERFORMANC		242.74	
			EV-8655005 - BECKY LUCAS AND FRIENDS		198.30	
			EV-8659784 - BOOKING FEES - MEET THE AUTHOR		5.95	
			EV-8669216 - SERVICE FEES FOR LIBRARY EVENTS		24.65	
			EV-8669218 - SERVICE FEES FOR LIBRARY EVENTS		24.65	
			EV-8669220 - SERVICE FEES FOR LIBRARY EVENTS		24.65	
			EV-8719190 - BOOKING FEES - SLAMARET		114.09	
			EV-8789857 - BOOKING FEES ADVENTURE WORLD 11/04/23		49.00	
			EV-8789859 - BOOKING FEES IPLAY AND MOVIES 12/04/23		37.00	
			EV-8789860 - BOOKING FEES THE CLIMB ZONE 13/04/23		49.00	
			EV-8789863 - BOOKING FEES - AUTUMN YOUTH EVENT SERIES		41.00	
			EV-8789867 - BOOKING FEES - AUTUMN YOUTH EVENT SERIES		45.00	
			EV-8789879 - BOOKING FEES - AUTUMN Y.E.S		36.00	
			EV-8789881 - BOOKING FEES - AUTUMN Y.E.S 2023		49.00	
			EV-8810363 - SERVICE FEES FOR LIBRARY EVENTS		16.20	
			EV-8810367 - BOOKING FEES - CHAIN REACTION CHALLENGE		12.96	
			EV-8810368 - BOOKING FEES - TITANIC ADVENTURE		15.39	
			EV-8810369 - BOOKING FEES - BLACK COCKATOOS		20.25	
			EV-8810370 - BOOKING FEES - KITE KINETICS		16.20	
			EV-8810371 - SERVICE FEES FOR LIBRARY EVENTS		21.06	
			EV-8810372 - SERVICE FEES FOR LIBRARY EVENTS		75.65	
			EV-8821151 - BOOKING FEES - PATTERNS, POTS AND PLANTS		16.20	
			EV-8821152 - SERVICE FEES FOR LIBRARY EVENTS		15.39	
EF111837	31/05/2023	PATRON TECHNOLOGY PTY LTD				168.30
			EV-8669216A - DISCOVERY SESSION SEED SAVING WORKSHOP		23.80	
			EV-8689638 - SERVICE FEES EVENT WHITE STAR LINE		28.05	
			EV-8689641 - SERVICE FEE EVENT C. Y O'CONNOR		34.00	
			EV-8689643 - SERVICE FEES PARENTING EVENT		21.25	
			EV-8708892 - SERVICE FEES DISCOVERY SESSION		25.50	
			EV-8708894 - SERVICE FEES FOR LIBRARY EVENTS		35.70	
EF111897	31/05/2023	PAUL FRANCIS TALBOT				200.00
			PT0010 - TALES FROM THE CRYPT, DUNCRAIG LIBRARY		200.00	
EF111112	15/05/2023	PAULINE WARK				226.00

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			21/01/23 - STATIONERY JB HIFI & OFFICE WORKS		226.00	
EF111393	15/05/2023	PECKHAM FAMILY TRUST (SPORTS SURFACES)				15,686.00
			INV-1562 - HEATHRIDGE PARK - TURF		6,633.00	
			INV-1575 - OCEAN REEF PARK		9,053.00	
EF111836	31/05/2023	PENNANT HOUSE PTY LTD				434.50
			INV-2702 - ABORIGINAL FLAG		434.50	
EF111224	15/05/2023	PERITUS TECHNOLOGY PTY. LTD.				3,508.46
			103236 - CREDIT CARD TRANSACTIONS		3,508.46	
EF111824	31/05/2023	PERTH AUDIOVISUAL				1,260.60
			94727 - VARIOUS AV EQUIPMENT FOR 20 MAY EVENT		1,260.60	
EF111822	31/05/2023	PERTH EXPO HIRE				5,447.75
			79057 - COMMUNITY ART EXHIBITION 2023		5,447.75	
EF111365	15/05/2023	PERTH PLAYGROUND & RUBBER PTY LTD				9,765.80
			INV-866 - NJ - CW007195 CASTLECRAG PARK PLAY SPACE	VP254664	9,765.80	
EF111834	31/05/2023	PERTH PLAYGROUND & RUBBER PTY LTD				47,900.60
			INV-831 - LAKEVALLEY PARK	VP254664	18,535.00	
			INV-875 - TPV - RENEWAL OF EXISTING ATTENUATION	VP254664	17,435.00	
			INV-890 - GLENMERE PARK	VP254664	11,930.60	
EF111155	15/05/2023	PETER BRUHN				61.65
			BPC15/0946 - REFUND OF BUILDING SERVICES LEVY		61.65	
EF111959	31/05/2023	PETER COWAN WRITERS CENTRE	NC			5,780.00
			29052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT		5,780.00	
EF111161	15/05/2023	PETER LEE				100.00
			09/05/23 - DOG REGISTRATION REFUND		100.00	
EF111150	15/05/2023	PETER MULCAHY				461.16
			196109 - RATES REFUND		461.16	
EF111166	15/05/2023	PETER WAY				65.00
			08/05/22 - DOG REGISTRATION REFUND		65.00	
EF111356	15/05/2023	PETER WOOD FENCING CONTRACTORS LTD	ORS PTY			22,896.56
			ICJ 014804 - REPLACEMENT MEDIAN TREE WELL BOLLARDS	00422	1,876.16	
			ICJ 014809 - SUPPLY AND INSTALLATION OF 150MM DOME	00422	732.16	
			ICJ 014838 - REMOVAL & DISPOSAL OF EXHISING FENCING	00422	18,928.58	
			ICJ014853 10/05/23 - CLC - REMOVAL AND DISPOSAL OF BOLLARDS	00422	1,359.66	
EF111823	31/05/2023	PETER WOOD FENCING CONTRACTORS LTD	ORS PTY			36,952.58
			ICJ 014834 - COCKMAN PARK, GREENWOOD	00422	27,611.32	
			ICJ 014842 - SUPPLY AND INSTALLATION OF 125MM DOME		112.20	
			ICJ 014842 - SUPPLY AND INSTALLATION OF 125MM DOME	00422	949.96	
			ICJ 014843 - SUPPLY AND INSTALLATION OF 150MM DOME	00422	1,008.48	
			ICJ 014850 - BLACK PVC & TIMBER RAILS		797.17	
			ICJ 014855 - REMOVAL AND DISPOSAL OF BOLLARDS	00422	543.73	

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			ICJ 014858 - REPAIR TO BUSHLAND FENCING (FENCING,	00422	1,200.38	
			ICJ 014861 - TREE WELLS, VARIOUS LOCATIONS	00422	565.18	
			ICJ 014862 - EDGEWATER PARK, EDGEWATER	00422	1,386.66	
			ICJ 014866 - GALVANISED STAR PICKET FENCE		2,777.50	
EF111363	15/05/2023	PETIA MIHAYLOVA (PETIA'S FLOWERS)				600.00
			1 040523 - FLORA GIFTS AS REQUIRED		600.00	
EF111231	15/05/2023	PICK AGENCIES PTY LTD (CANDLEWOOD IGA)				161.05
			01/1562 - HOT CROSS BUNS AND CATERING ITEMS		153.17	
			06/1932 - HOT CROSS BUNS AND CATERING ITEMS		7.88	
EF111700	31/05/2023	PICK AGENCIES PTY LTD (CANDLEWOOD IGA)				440.56
			1/0514 - TEAM TRAINING CATERING 3 - 5 MAY		83.11	
			1/1274 - TEAM TRAINING CATERING 3 - 5 MAY		84.15	
			1/2229 - TEAM TRAINING CATERING 3 - 5 MAY		77.50	
			6/2441 - SMALL FRUIT PLATTER		97.90	
			6/3531 - SMALL WRAP PLATTER - VEGGIE		97.90	
EF111362	15/05/2023	PIDHADIYA FAMILY TRUST (H.B.C. NEWSPAPER DELIVERY ROUND)				1,214.91
			1684 - WEEKEND AUSTRALIAN		581.64	
			1687 - NEWSPAPERS FOR REFERENCE		377.26	
			8010 - SUPPLY OF NEWSPAPERS TO CRAIGIE LEISURE 27/03-02/04/23		256.01	
EF111830	31/05/2023	PIDHADIYA FAMILY TRUST (H.B.C. NEWSPAPER DELIVERY ROUND)				1,146.34
			8041 - SUPPLY OF NEWSPAPERS TO CRAIGIE LEISURE		204.15	
			8072 - SUPPLY OF NEWSPAPERS TO CRAIGIE LEISURE		240.92	
			8103 - SUPPLY OF NEWSPAPERS TO CRAIGIE LEISURE CTR 17/04-23/04/23		247.46	
			8134 - SUPPLY OF NEWSPAPERS TO CRAIGIE LEISURE CTR 24/04-30/04/23		227.86	
			8165 - SUPPLY OF NEWSPAPERS TO CRAIGIE LEISURE CTR 01/05-07/05/23		225.95	
EF111361	15/05/2023	PLAYMASTER PTY LTD				1,320.00
			INV-1550 - METAL STAIRS - SIGNAL RED		1,320.00	
EF111529	17/05/2023	PLAYMASTER PTY LTD				275.00
			INV-1551 - CLIFF HANGER ROCKS ASSORTED COLOURS		275.00	
EF111961	31/05/2023	PLE COMPUTERS				929.00
			SI-2499027 - SAMSUNG 970 EVO PLUS SSD 1TB		790.00	
			SO-1436678 - ZOTAC GEFORCE 2GB CARD		139.00	
EF111240	15/05/2023	PORTIA CONNOR				192.00
			1 - SALE OF ARTWORK		192.00	
EF111372	15/05/2023	PRATISH PTY LTD (E2 YOUNG ENGINEERS GM PERTH)				412.50
			INV-0019 - PRESENTER FOR SCHOOL HOLIDAY EVENT		412.50	
EF111364	15/05/2023	PRESTIGE ALARMS & SECURITY PTY LTD				198.00
			S21995 - EMERALD PARK ALARM CALL OUT	03320	198.00	
EF111833	31/05/2023	PRESTIGE ALARMS & SECURITY PTY LTD				9,277.11

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			S22111 - WHITFORD NODES		454.11	
			S22131 - COJ SITES - MONTHLY MONITORING	VP340526	1,546.55	
			S22135 - TIMBERLANE PARK HALL ALARM	03320	291.50	
			S22298 - CONNOLLY COMMUNITY CENTRE	03320	2,414.50	
			S22307 - CURRAMBINE COMMUNITY CENTRE	03320	111.10	
			S22311 - HEATHRIDGE PARK CLUBROOMS	03320	247.50	
			S22325 - WOODVALE LIBRARY CCTV	03320	104.50	
			S22356 - PADBURY HALL	03320	352.00	
			S22362 - WORKS DEPOT ALARM	03320	104.50	
			S22374 - CRAIGIE LEISURE CENTRE	03320	319.00	
			S22383 - SERVICE CALL	03320	104.50	
			S22399 - PERCY DOYLE CLUBROOMS	03320	104.50	
			S22410 - COJ-FORCEFIELD	03320	844.80	
			S22411 - COJ SITES - MONTHLY MONITORING	VP340526	1,546.55	
			S22434 - PENISTONE PARK CLUBROOMS	03320	104.50	
			S22442 - COJ WORKS OPERATIONS CENTRE	03320	104.50	
			S22443 - CRAIGIE LEISURE CENTRE	03320	104.50	
			S22451 - GIBSON PARK COMMUNITY HALL	03320	104.50	
			S22452 - PENISTONE PARK CLUBROOMS (08/05/23)	03320	104.50	
			S22474 - SERVICE CALL TO SECURITY ALARM SYSTEM	03320	104.50	
			S22477 - PADBURY HALL	03320	104.50	
EF111658	31/05/2023	PRETTY DARDY PTY LTD (ACKNOWLEDGE THIS!)	EDGE			3,245.00
			INV-2289 - 30 TICKETS FOR ONLINE WORKSHOP		1,815.00	
			INV-2324 - PUBLIC WORKSHOP - GROUP BOOKING		1,430.00	
EF111828	31/05/2023	PRINT AND DESIGN ONLINE PTY LTD	T/AS			8,503.00
			24276 - WELCOME WALL		363.00	
			24278 - CLC FOYER WALL		363.00	
			24344 - ANIMATED BRAND VIDEO - CLC BRAND LAUNCH		3,872.00	
			24554 - WEBSITE DEVELOPMENT WORKS FEB 23		330.00	
			24587 - DESIGN - CHANGEROOMS DESIGN A3 SIGNAGE		165.00	
			24588 - WEBSITE DEVELOPMENT WORKS		880.00	
			24599 - CLC UNIFORM GUIDE		1,760.00	
			24646 - CLC SIGNAGE		440.00	
			24890 - WEBSITE DEVELOPMENT WORKS		330.00	
EF111502	15/05/2023	PRODUCTOLOGY PTY LTD				4,137.10
			11735 - UPTOWN MERCHANDISE - GLASS COFFEE CUPS,		4,137.10	
EF111431	15/05/2023	PROFOUNDER TURFMASTER PTY LTD (TURFMASTER FACILITY)				23,364.11
			INV-0911 - ZONE 1 (NORTH)	00221A	1,298.00	
			INV-0968 - ZONE 1 (NORTH) - R2 BLUE MOUNTAIN DR	00221A	2,389.75	
			INV-0969 - ZONE 3 (SOUTH) R1 DAVALLIA ROAD	00221C	8,694.18	
			INV-0975 - ZONE 3 (SOUTH) R1	00221C	8,694.18	
			INV-0978 - ZONE 1 (NORTH)	00221A	814.00	

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			INV-0978 - ZONE 1 (NORTH)	00221C	330.00	
			INV-0979 - ZONE 1 (NORTH)	00221A	814.00	
			INV-0979 - ZONE 1 (NORTH)	00221C	330.00	
EF111900	31/05/2023	PROFOUNDER TURFMASTER PTY LTD (TURFMASTER FACILITY)				35,572.13
			INV-0974 - ZONE 1 MOWING INCL TRAFFIC MANAGMENT	00221A	11,619.74	
			INV-0976 - ZONE 1 NORTH R2	00221A	1,639.00	
			INV-0977 - ZONE 3 (SOUTH) R2 CATEGORY	00221C	1,485.00	
			INV-0980 - ZONE 1 (NORTH) RETICULATED LOCATIONS	00221A	1,298.00	
			INV-1010 - ZONE 3 (SOUTH) BRUSH CUTTING (PER PERSON)	00221C	2,860.00	
			INV-1012 - MOOLANDA BLVD ABUTMENTS		1,237.50	
			INV-1022 - ZONE 1 (NORTH) RETICULATED LOCATIONS - F	00221A	1,298.00	
			INV-1023 - ZONE 1 (NORTH) ENTRY STATEMENTS	00221A	814.00	
			INV-1023 - ZONE 1 (NORTH) ENTRY STATEMENTS	00221C	330.00	
			INV-1024 - ZONE 3 (SOUTH) R3 CATEGORY ALDER WAY DUN	00221C	1,617.00	
			INV-1025 - ZONE 1 (NORTH) - R3 CATEGORY LONG ISLAND	00221A	4,215.64	
			INV-1043 - ZONE 1 (NORTH) - R3 CATEGORY	00221A	4,147.00	
			INV-1044 - ZONE 3 (SOUTH) R3 CATEGORY	00221C	1,617.00	
			INV-1045 - ZONE 3 (SOUTH)	00221C	607.75	
			INV-1046 - ZONE 1 (NORTH) BRUSH CUTTING	00221A	786.50	
EF111518	17/05/2023	PROPERTY COUNCIL OF AUSTRALIA				165.00
			10006629 - TRANSIT PRECINCTS, LUNCH 30/05/2023		165.00	
EF111569	31/05/2023	PROPERTY COUNCIL OF AUSTRALIA				4,205.00
			10004669 - MEMBERSHIP RENEWAL		4,205.00	
EF111371	15/05/2023	PROSCI PTY LTD				8,006.50
			APSI104740 - PROSCI LEADING YOUR TEAM THROUGH CHANGE		8,006.50	
EF111611	31/05/2023	PS STRUCTURES PTY LTD				3,600.00
			48450 - REFUND VERGE PERMIT		3,600.00	
EF111357	15/05/2023	PUBLIC TRANSPORT AUTHORITY OF WA				17,212.62
			I5113065 - SHARED RUNNING COSTS - JOONDALUP CAT BUS		17,212.62	
EF111375	15/05/2023	QTM PTY LTD (QTM TRAFFIC)				90,367.66
			INV-30707 - GRAND BOULEVARD, JOONDALUP	03222	1,309.62	
			INV-31748 - DELAMERE AVE VARIABLE MESSAGE BOARD	03222	1,405.80	
			INV-31754 - LAKESIDE DRIVE, JOONDALUP	03222	678.60	
			INV-32054 - WARWICK ROAD, DUNCRAIG	03222	572.22	
			INV-32059 - WHITFORDS AVENUE, CRAIGIE	03222	4,209.04	
			INV-32084 - TRAPPERS DRIVE, WOODVALE	03222	1,527.99	
			INV-32086 - MAWSON CRESCENT, HILLARYS	03222	1,850.77	
			INV-32087 - TRAFFIC CONTROL MARMION AVE PADBURY	03222	429.66	
			INV-32110 - CREW OF ONE (1) TRAFFIC CONTROLLER, ONE	03222	3,957.94	
			INV-32116 - DELAMERE AVENUE, CURRAMBINE	03222	1,816.46	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			INV-32118 - TRAFFIC MANAGEMENT (BURNS BEACH ROAD)	03222	747.78	
			INV-32129 - BUCHAN PLACE, HILLARYS	03222	782.38	
			INV-32131 - 26 COLGRAIN WAY, DUNCRAIG	03222	1,060.95	
			INV-32190 - ANZAC DAY TRAFFIC MANAGMENT		3,102.00	
			INV-32239 - WIRILDA CRESCENT, GREENWOOD	03222	1,247.40	
			INV-32240 - TURRAMURRA WAY, GREENWOOD	03222	782.10	
			INV-32243 - LAMBERTIA STREET, GREENWOOD	03222	1,089.00	
			INV-32335 - JOONDALUP DRIVE TRAFFIC CONTROL	03222	872.52	
			INV-32338 - EDITH CLOSE, KINGSLEY	03222	1,043.74	
			INV-32339 - BECTON COURT, KINGSLEY	03222	475.20	
			INV-32344 - MAPLE STREET, GREENWOOD	03222	2,962.38	
			INV-32350 - LAKESIDE DRIVE, JOONDALUP	03222	2,924.42	
			INV-32353 - HAILWOOD COURT, KINGSLEY	03222	1,758.96	
			INV-32359 - TURRAMURRA WAY, GREENWOOD	03222	5,950.10	
			INV-32360 - OPAL DRIVE, EDGEWATER	03222	1,568.16	
			INV-32383 - WARWICK ROAD, GREENWOOD	03222	10,174.98	
			INV-32390 - LAKEVALLEY DRIVE, EDGEWATER	03222	2,798.95	
			INV-32395 - MELALEUCA DRIVE, GREENWOOD	03222	7,229.18	
			INV-32398 - WHITFORDS AVENUE, HILLARYS	03222	573.44	
			INV-32415 - BUCHAN PLACE, HILLARYS	03222	4,792.46	
			INV-32422 - VAUCLUSE PLACE, KALLAROO	03222	1,890.24	
			INV-32429 - WOODVALE DRIVE, WOODVALE	03222	3,253.92	
			INV-32432 - OCEAN REEF ROAD, EDGEWATER	03222	1,927.98	
			INV-32435 - WARWICK GROVE, ERINDALE ROAD, WARWICK	03222	2,180.27	
			INV-32438 - LEGANA AVENUE, KINGSLEY	03222	1,565.08	
			INV-32448 - CHARLTON COURT, KINGSLEY	03222	767.67	
			INV-32451 - GILMERTON WAY, GREENWOOD	03222	1,932.54	
			INV-32452 - KYLIE WAY, KINGSLEY	03222	1,677.90	
			INV-32453 - ANZAC DAY TRAFFIC MANAGMENT		3,939.87	
			INV-32454 - BAINBRIDGE MEWS, CURRAMBINE	03222	989.53	
			INV-32492 - WHITFORDS AVENUE, HILLARYS	03222	548.46	
EF111553	19/05/2023	QTM PTY LTD (QTM TRAFFIC)				3,084.62
			INV-31460 - MARINE TERRACE, MARMION	03222	3,084.62	
EF111843	31/05/2023	QTM PTY LTD (QTM TRAFFIC)				82,805.94
			31755 - VARIABLE MESSAGE BOARD (2400X1200 LED) (	03222	2,108.70	
			INV-31438 - VARIABLE MESSAGE BOARD (2400X1200 LED) (	03222	153.45	
			INV-31712 - ALLENSWOOD ROAD, GREENWOOD	03222	232.65	
			INV-31747 - WATER FILLED BARRIER HILLARYS		710.16	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			INV-31750 - VARIABLE MESSAGE BOARD (2400X1200 LED) (	03222	306.90	
			INV-31751 - SUPPLY OF LIGHTING TOWER (INCLUDING TRAN	03222	1,131.00	
			INV-31756 - SUPPLY OF SOLAR LED LIGHTING TOWER (INCL	03222	1,809.60	
			INV-31757 - KURRAJONG PLACE, GREENWOOD	03222	1,089.00	
			INV-31758 - VARIABLE MESSAGE BOARD (2400X1200 LED)	03222	2,133.45	
			INV-31759 - VARIABLE MESSAGE BOARD (2400X1200 LED) (	03222	1,405.80	
			INV-32107 - ALLENSWOOD ROAD, GREENWOOD	03222	598.40	
			INV-32130 - CREW OF TWO (2) TRAFFIC CONTROLLERS, ONE	03222	1,268.47	
			INV-32234 - TRANSPORT OF VARIABLE MESSAGE BOARD & SI	03222	465.30	
			INV-32235 - TRANSPORT OF VARIABLE MESSAGE BOARD & SI	03222	623.70	
			INV-32236 - VARIABLE MESSAGE BOARD (2400X1200 LED) (	03222	1,395.90	
			INV-32238 - VARIABLE MESSAGE BOARD (2400X1200 LED) (	03222	1,564.20	
			INV-32333 - GRAND BOULEVARD, JOONDALUP	03222	16,163.48	
			INV-32334 - JOONDALUP DRIVE TRAFFIC CONTROL	03222	904.76	
			INV-32336 - CREW OF ONE (1) TRAFFIC CONTROLLER, ONE	03222	904.76	
			INV-32337 - CLARKE CRESCENT, JOONDALUP	03222	972.46	
			INV-32340 - CREW OF TWO (2) TRAFFIC CONTROLLERS, ONE	03222	1,688.18	
			INV-32349 - CREW OF ONE (1) TRAFFIC CONTROLLER, ONE	03222	8,406.66	
			INV-32365 - TRAFFIC CONTROLLER	03222	4,661.10	
			INV-32371 - MAWSON CRESCENT, HILLARYS	03222	9,350.80	
			INV-32376 - NIMROD PLACE, HILLARYS	03222	3,386.59	
			INV-32418 - PULLAN PLACE, GREENWOOD	03222	1,822.29	
			INV-32425 - SEACREST DRIVE, SORRENTO	03222	4,172.86	
			INV-32426 - W COAST DR, SORRENTO	03222	1,054.69	
			INV-32436 - TRAFFIC CONTROLLER	03222	1,172.27	
			INV-32437 - TRAFFIC CONTROLLER	03222	852.39	
			INV-32442 - JUNO COURT, KALLAROO	03222	2,257.48	
			INV-32443 - CREW OF TWO (2) TRAFFIC CONTROLLERS, ONE		4.95	
			INV-32443 - CREW OF TWO (2) TRAFFIC CONTROLLERS, ONE	03222	857.52	
			INV-32447 - CREW OF ONE (1) TRAFFIC CONTROLLER, ONE	03222	2,748.98	
			INV-32458 - TRAFFIC CONTROLLER, SHENTON AVE, JOONDAL	03222	3,097.05	
			INV-32462 - ADDITIONAL TRAFFIC CONTROLLER ONLY (NORM	03222	1,329.99	
EF111842	31/05/2023	QUANTIFIED TREE RISK ASSESSMENT LTD				4,801.50
			11842 - BRUCE PEARSON		4,801.50	
EF111503	15/05/2023	QUICK MAIL				320.08
			46581 - ADMINISTRARTION - DIRECT MAILOUT		320.08	

ATTACHMENT 12.7.1

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EF111127	15/05/2023	R J & L BLACK				30.00
			INWE23/19470 - STERILISATION REFUND		30.00	
EF111849	31/05/2023	R11 PTY LTD (R11 TECHNOLOGY)				7,074.87
			42560 - MERAKI ENTERPRISE LICENSE & SUPPORT		7,074.87	
EF111963	31/05/2023	RAC BUSINESSWISE				148.01
			SL001-100003272 - BREAKDOWN		148.01	
EF111411	15/05/2023	RARA MARKETING PTY LTD (SIGNARAMA JOONDALUP)				320.94
			10560 - VINYL - DIGITAL PRINT		320.94	
EF111879	31/05/2023	RARA MARKETING PTY LTD (SIGNARAMA JOONDALUP)				660.00
			10784 - SIX MONTH STORAGE FEE		660.00	
EF111116	15/05/2023	RAYMOND MARK INGHAM				190.00
			26/04/23 - BUS DUTIES REIMBURSEMENT 27/01-21/04/23		190.00	
EF111928	31/05/2023	RB ENTERPRISES (WA) PTY LTD (YELLOW TRUCK RENTALS)				2,108.17
			WAG2472 - CALBOURNE WAY KINGSLEY		2,108.17	
EF111448	15/05/2023	REBOUND WA INC				495.00
			2105 - WHEELCHAIR BASKETBALL - AUTUMN SHP		495.00	
EF111383	15/05/2023	REECE PTY LTD				517.91
			228640253 - IRRIGATION MAINTENANCE		517.91	
EF111384	15/05/2023	RELIABLE FENCING WA PTY LTD				275.00
			5712 - FENCING, BOLLARDS		275.00	
EF111355	15/05/2023	RENEE KATHLEEN BELLAMY (OCEANSIDE ART STUDIO)				680.00
			126 - SALE OF ARTWORK		680.00	
EF111607	31/05/2023	RHONA STEVENSON				51.66
			INWE23/27234 - REFUND ANIMAL STERILISATION		51.66	
EF111131	15/05/2023	RICHARD & LORRAINE WHITE				126.00
			2749586 - SUMMER SEASON REFUND		126.00	
EF111289	15/05/2023	RICHARD HARRISON				1,200.00
			231 - CALEY ROAD, PADBURY KINDY - REMOVE THE B		200.00	
			244 - REMOVE BEES. MAMO PARK, GREENWOOD		250.00	
			245 - MOONDARA WAY & MUIRFIELD WAY		250.00	
			248 - NEIL HAWKINS PARK JOONDALUP		250.00	
			249 - REACTIVE CONTRACTORS - TREE MAINTENANCE		250.00	
EF111759	31/05/2023	RICHARD HARRISON				500.00
			252 - ATTEND TO BEES, CASTLEGATE PARK, KALLAROO		250.00	
			253 - WASP NESTS, EDGEWATER PLAYGROUND		250.00	
112823	10/05/2023	RICHARD KEAY				150.00
			INWE22 3960 - DOG REGISTRATION REFUND		150.00	
EF111380	15/05/2023	RIVERJET PIPELINE SOLUTIONS				2,275.90
			59614 - RM - CONTROLLED WASTE EXT MATERIAL PURC		2,275.90	
EF111505	15/05/2023	ROBIN ROGERS				442.00
			05/05/23 - BUS DUTIES REIMBURSEMENT		442.00	
EF111848	31/05/2023	ROBOWASH PTY LTD				605.00
			R099577 - RENTAL CHARGE		605.00	

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EF111579	31/05/2023	ROCHELLE MCKEE				123.35
			MAY 23 - BIG DAY OUT		123.35	
EF111850	31/05/2023	RODNEY PATTISON CHRISTIAN (ROD PRODUCTIONS)	MUSIC			350.00
			416 - EVENT - TAKE TWO MUSIC SCHOW		350.00	
EF111381	15/05/2023	ROMEX AUSTRALIA PTY LTD				2,191.97
			202304419 - CAR PARK MANAGEMENT SYSTEM		1,601.05	
			202305415 - PROVISION OF INTERCOM SERVICE		497.42	
			202305418 - CHANGES TO TEXT ON VMS DISPLAY REID CAR PARK		93.50	
EF111599	31/05/2023	RONALD BARNES				375.00
			RM79564 - VEHICLE CROSSING BOOTIE PLACE, HILLARYS		375.00	
EF111613	31/05/2023	ROSA MAMMOLITI				64.90
			75302 - REFUND		64.90	
EF111126	15/05/2023	ROSA RIGALI				375.00
			RIM7279284 - SUBSIDY VEHICLE CROSSING		375.00	
112807	5/05/2023	ROSEMARY COLLIVER				252.00
			2720591 - REMAINING CREDIT - SUMMER SEASON		252.00	
EF111382	15/05/2023	ROSMECH SALES & SERVICE PTY LTD				692.38
			122401 - PARTS ONLY		692.38	
EF111506	15/05/2023	ROY DAVIS				380.00
			04/05/23 - BUS DUTIES REMIBURSEMENT		380.00	
EF111379	15/05/2023	ROYAL BUSINESS PRODUCTS				2,636.70
			8462 - POWERSHIELD DEFENDER 2000VA		1,316.70	
			8464 - SAMSUNG 970 EVO PLUS		1,320.00	
EF111847	31/05/2023	ROYAL BUSINESS PRODUCTS				13,865.17
			8461 - AP7950B APC RACK PDU		4,536.40	
			8465 - SYNOLOGY RACK STATION 12 BAYS		9,308.97	
			8467 - DVI-D TO HDMI CABLE 5M		19.80	
EF111370	15/05/2023	ROYAL PRIDE PTY LTD (PAV SALES & INSTALLATION)				1,155.12
			94562 - SOUND EQUIPMENT, LECTERN AND REVEAL ITEM		1,155.12	
EF111838	31/05/2023	ROYAL PRIDE PTY LTD (PAV SALES & INSTALLATION)				8,342.84
			210702 - PORTABLE MIPRO STEREO		4,338.84	
			210776 - CLC FOXTEL UNITS AND SHELVES		4,004.00	
EF111554	19/05/2023	RUBY DISTRIBUTORS PTY LTD (FLEX FITNESS EQUIPMENT)				10,465.87
			177384 - CLC GYM EQUIPMENT		10,465.87	
EF111485	15/05/2023	RUSSEL FISHWICK				324.59
			MAY 23 - EXPENSE REIMBURSEMENT MAY 2023		324.59	
EF111940	31/05/2023	RUSSEL FISHWICK				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111803	31/05/2023	RUTLEY FAMILY TRUST (MADLANTIS CHARTER)				670.00
			1741 - BUS CHARTER		670.00	
EF111962	31/05/2023	RYAN KEVIN CLUNE T/AS PRESTIGE WORLDWIDE				500.00
			76 - DEFEAT THE BEAT MC SERVICES		500.00	
EF111389	15/05/2023	S & H INVESTMENTS PTY LTD T/AS HOARE	STOTT &			569.80

ATTACHMENT 12.7.1

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			174324 - LENOVE DOCKING STATION (40AY0090AU)		569.80	
EF111392	15/05/2023	S ENTERPRISES (WA) PTY LTD T/AS SPRODUCTIONS				660.00
			433 - FREESTYLE EDGE FACILITATOR 2022/23		660.00	
EF111117	15/05/2023	SABRINA WOODWARD				195.02
			16/03/23 - REIMBURSEMENT PAINT SUPPLIES FOR FOAM LETTERS		195.02	
EF111615	31/05/2023	SACHIT SHAH				9.00
			31713 - REFUND OF HIRE FEES		9.00	
EF111114	15/05/2023	SAMANTHA BUCKNELL				126.00
			2767227 - REFUND CRAIGIE LEIS CTR		126.00	
EF111319	15/05/2023	SANPOINT PTY LTD T/AS LD TOTAL				22,995.72
			126731 - IRRIGATION TECHNICIAN	02619	940.50	
			126950 - ILUKA ESTATE IRRIGATION MAINTENANCE	02619	1,912.02	
			126951 - ILUKA - LANDSCAPE MAINTENANCE	02619	20,143.20	
EF111608	31/05/2023	SARAH MEYERS				50.00
			INWE23/27357 - REFUND DOG REGISTRATION		50.00	
EF111405	15/05/2023	SCADDEN UNITED PTY LTD (TONY \$ DIESEL)	SCADDEN			2,167.00
			1755 - SUPPLY 24VOLT-DRIVE MOTOR AND SPROCKET		858.00	
			1755 - SUPPLY 24VOLT-DRIVE MOTOR AND SPROCKET	03020	1,309.00	
EF111870	31/05/2023	SCADDEN UNITED PTY LTD (TONY \$ DIESEL)	SCADDEN			4,955.52
			1758 - PARTS & REPAIR	03020	1,262.26	
			1760 - PARTS & REPAIR	03020	1,238.88	
			1762 - SERVICING	03020	1,238.88	
			1764 - SERVICING	03020	1,215.50	
EF111511	15/05/2023	SCENTRE SHOPPING CENTRE MANAGEMENT (WA) PTY LTD				1,373.90
			T1176173 - IN CENTRE DISPLAY WHIRFORDS SHOPPING CEN		1,373.90	
EF111510	15/05/2023	SECUREPAY PTY LTD				157.34
			586550 - WEB TRANSACTION FEES APRIL 23		157.34	
EF111403	15/05/2023	SEVEN NETWORK (OPERATIONS) LIMITED				9,690.47
			DW010478 - PERTHNOW SPONSORSHIP JF		7,490.47	
			DW010481 - PERTHNOW TVC PROD		2,200.00	
EF111129	15/05/2023	SHANNON READ				150.00
			INWE23/20298 - REFUND FOR STERILISATION		150.00	
EF111151	15/05/2023	SHARON COOPER				1,267.44
			145585 - RATES REFUND		1,267.44	
EF111681	31/05/2023	SHARON ELIZABETH WRIGHT (BETYS COFFEE POT)				860.00
			19 - THURS 25TH COFFEE VAN		860.00	
EF111410	15/05/2023	SHARON SIMINGTON				640.00
			1 - SALE OF ARTWORK		640.00	
EF111783	31/05/2023	SHARYN LORRAINE KAY				240.00
			3 - SALE OF ARTWORK		240.00	
EF111875	31/05/2023	SHAYONA HOLDINGS PTY LTD				100.90

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			971 - NEWSPAPERS FOR WHITFORD LIBRARY		100.90	
EF111851	31/05/2023	SHERIDAN'S FOR BADGES				572.17
			INV-2399 - STAINLESS-STEEL PLAQUE		572.17	
EF111821	31/05/2023	SHIVANI HOLDINGS PTY LTD (ON POINT UNIFORMS)				385.44
			INV-3179 - PROMOTIONAL TSHIRTS FOR CLC LAUNCH		385.44	
EF111390	15/05/2023	SIGMA COMPANIES GROUP PTY LTD				1,576.03
			167929 - TEST TUBES		242.00	
			167988/01 - SUPPLY OF POOL CHEMICALS		2,073.23	
			555933 - 15LT DG DRUM POLY FIFTEEN LITRE		-292.60	
			556645 - 15LT DG DRUM POLY FIFTEEN LITRE CREDIT CLC		-446.60	
EF111862	31/05/2023	SIGMA COMPANIES GROUP PTY LTD				1,578.00
			168331/01 - LIQ CHLOR 15LT		1,914.00	
			557194 - REFUND		-336.00	
EF111598	31/05/2023	SILVERTOWN CORPORATION				355.53
			170068 - RATES REFUND		355.53	
EF111303	15/05/2023	SINGH & LENFERNA PTY LTD (IGA HEATHRIDGE MARKET PLACE)				466.39
			676257 - IGA HEATHRIDGE		149.50	
			685371 - GST - ACTIVITY AND COOKING WORKSHOP		98.68	
			688936 - ACTIVITY AND COOKING WORKSHOP		16.20	
			689389 - MORNING TEA		148.28	
			694241 - GST - ACTIVITY AND COOKING WORKSHOP		53.73	
EF111774	31/05/2023	SINGH & LENFERNA PTY LTD (IGA HEATHRIDGE MARKET PLACE)				75.33
			698702 - ACTIVITY AND COOKING WORKSHOP		62.08	
			702295 - SNACKS FOR TERM 2 PROGRAM 11.05.2023		5.50	
			710373 - ACTIVITY AND COOKING WORKSHOP		7.75	
EF111408	15/05/2023	SITE SENTRY PTY LTD				2,607.00
			9067 - TEMPORARY RELOCATION OF 3 TOWERS		2,607.00	
EF111404	15/05/2023	SKYLINE LANDSCAPE SERVICES GROUP PTY LTD (SKYLINE LANDSCAPE)				1,484.28
			INV0118205 - ELCAR PARK, JOONDALUP		467.14	
			INV0118206 - DELMARE PARK, JOONDALUP		550.00	
			INV0123616 - ELCAR PARK- LANDSCAPING		467.14	
EF111869	31/05/2023	SKYLINE LANDSCAPE SERVICES GROUP PTY LTD (SKYLINE LANDSCAPE)				550.00
			INV0123617 - DELAMARE PARK APRIL 2023		550.00	
EF111854	31/05/2023	SLATER GARTRELL SPORTS				778.80
			SG57946/01 - GILBERT GRIPSURE MATCH NETBALLS SIZE 5		778.80	
EF111860	31/05/2023	SLEDGEHAMMER CONCRETE CUTTING				1,330.53
			19162 - NON - COMPLIANT CROSSOVER		262.36	
			19164 - NON - COMPLIANT CROSSOVER		449.75	
			19165 - NON - COMPLIANT CROSSOVER		187.40	
			19166 - NON - COMPLIANT CROSSOVER		431.02	
EF111399	15/05/2023	SONIC HEALTHPLUS PTY LTD				2,291.30
			2899208 - PRE-EMPLOYMENT MEDICAL		353.10	
			2903228 - PRE-EMPLOYMENT MEDICAL		353.10	

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			2905415 - PRE-EMPLOYMENT MEDICAL		353.10	
			2906536 - PRE-EMPLOYMENT MEDICAL		353.10	
			2912744 - MEDICAL FOR ENGINEERING MAINTENANCE		525.80	
			2912746 - PRE-EMPLOYMENT MEDICAL		353.10	
EF111865	31/05/2023	SONIC HEALTHPLUS PTY LTD				353.10
			2899209 - EMPLOYMENT MEDICAL YOUTH DEVEL TEAM		353.10	
EF111881	31/05/2023	SOROPTIMIST INTERNATIONAL OF JOONDALUP INC				996.00
			24052023 - COMMUNITY FUNDING PROGRAM		996.00	
EF111966	31/05/2023	SORRENTO SLSC				34,174.00
			23052023 - SMALL GRANT - WEBSITE		9,702.00	
			23052023/1 - SMALL GRANT - TEMPORARY BEACH SOUND SYST		8,347.00	
			23052023/2 - SMALL GRANT - INTRO TO SKI		7,245.00	
			23052023/3 - SMALL GRANT - MAGIC COAT FOR CHILDREN		8,880.00	
EF111397	15/05/2023	SPEEDO AUSTRALIA PTY LIMITED TAS SPEEDO AUSTRALIA				8,550.96
			98529821 - SUPPLY OF SWIMWEAR, ACTIVEWEAR	02222	8,550.96	
EF111386	15/05/2023	SPORTS TURF TECHNOLOGY PTY LTD				2,061.84
			INV-3660 - SOIL ANALYSIS MARTINIQUE MEWS, HILLARYS	00122	2,061.84	
EF111858	31/05/2023	SPORTS TURF TECHNOLOGY PTY LTD				10,959.96
			INV-3741 - TURF LEAF ANALYSIS	00122	10,959.96	
EF111402	15/05/2023	SPORTSPEOPLE GROUP PTY LTD				429.00
			23042708 - - CASUAL SPORTS UMPIRES		214.50	
			23042710 - CUSTOMER SERVICE OFFICER - PART TIME		214.50	
EF111856	31/05/2023	SPOTLIGHT STORES PTY LTD				66.50
			7302329224 - CLOCKS FOR THE NEW GYM		66.50	
EF111508	15/05/2023	ST JOHN AMBULANCE AUSTRALIA (WA)				1,100.50
			EHSINV000954794 - JF FIRST AID - HILLARY'S BOAR HARBOUR		940.50	
			FAINV01077554 - 1 DAY FIRST AID COURSE		160.00	
EF111967	31/05/2023	ST JOHN AMBULANCE AUSTRALIA (WA)				1,567.50
			EHSINV000954773 - GREASE EXPERIENCE FIRST AID		1,567.50	
EF111094	15/05/2023	ST STEPHENS SCHOOL				1,675.00
			29072/1 - VENUE HIRE AT ST STEPHENS SCHOOL		1,675.00	
EF111852	31/05/2023	STANDARDS AUSTRALIA LIMITED				78.74
			INV808296 - COPYRIGHT LICENCE NUMBER CL0523COJ		78.74	
EF111406	15/05/2023	STANTEC AUSTRALIA PTY LTD				4,807.00
			1916212 - CIVIC CENTRE WATERPROOFING		4,807.00	
EF111872	31/05/2023	STANTEC AUSTRALIA PTY LTD				2,497.00
			1917529 - SORRENTO SLSC BOAT HOUSE		2,497.00	
EF111401	15/05/2023	STANTONS INTERNATIONAL AUDIT AND CONSULTING PTY LTD				374.00
			58777 - PROBITY REVIEW OF THE BURNS BEACH CAFÉ		374.00	
EF111867	31/05/2023	STANTONS INTERNATIONAL AUDIT AND CONSULTING PTY LTD				40,590.00
			58609 - UNDERTAKE REVIEW - REGULATION 5(2)(C)		25,520.00	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			58610 - UNDERTAKE REVIEW - REGULATION 17		15,070.00	
EF111385	15/05/2023	STATEWIDE CLEANING SUPPLIES P/L				9,900.27
			SI471573 - COJ ADMIN BUILDING	00720A	2,850.34	
			SI472031 - 3000110 - TITAN HAND SANITISER 500ML PUMP	00720A	163.42	
			SI472032 - 2306897G - TORK MINI JUMBO CTN	00720A	6,462.92	
			SI472107 - CLC HAND SANITISER 5L		124.59	
			SI472768 - SOFTHANDS STATEWIDE SOAP	00720A	299.00	
EF111853	31/05/2023	STATEWIDE CLEANING SUPPLIES P/L				10,396.32
			SI472336 - CLEANING SUPPLIES	00720A	1,028.00	
			SI473117 - CLEANING SUPPLIES	00720A	1,095.65	
			SI473252 - 170370 - TORK ULTRASLIM HAND TOWEL	00720A	4,564.45	
			SI473844 - RAID SURFACE SPRAY CRAWLING INSECTS	00720A	62.48	
			SI473949 - MINI JUMBO TOILET ROLLS	00720A	123.49	
			SI474053 - CLEANING SUPPLIES	00720A	1,033.72	
			SI474054 - WIPE DISPENSERS		1,315.60	
			SI474336 - FLIP TOP BIN 50L		47.52	
			SI474441 - CLEANING PRODUCTS	00720A	751.65	
			SI474543 - HAND SANITISER		373.76	
EF111456	15/05/2023	STEFNA FAMILY TRUST T/AS WEST WASTE CONTROL PTY LTD	TIP			48,529.60
			70955 - MAWSON PARK HILLARYS	00121	5,131.06	
			70956 - BRIDGEWATER PARK KALLAROO	00121	6,423.87	
			70957 - REMOVAL OF THATCH / GRASS DEBRIS	00121	1,278.20	
			70958 - TIMBERLANE PARK WOODVALE	00121	4,959.42	
			70959 - PENISTONE PARK GREENWOOD	00121	5,744.60	
			70960 - REMOVAL OF THATCH / GRASS DEBRIS	00121	2,039.64	
			70961 - KORELLA PARK MULLALOO	00121	3,893.03	
			70962 - REMOVAL OF THATCH / GRASS DEBRIS	00121	3,838.25	
			70963 - REMOVAL OF THATCH / GRASS DEBRIS	00121	2,300.76	
			70964 - REMOVAL OF THATCH / GRASS DEBRIS	00121	1,683.57	
			70965 - REMOVAL OF THATCH / GRASS DEBRIS	00121	3,305.06	
			70966 - REMOVAL OF THATCH / GRASS DEBRIS	00121	898.39	
			70967 - REMOVAL OF THATCH / GRASS DEBRIS	00121	3,272.19	
			70969 - REMOVAL OF THATCH / GRASS DEBRIS	00121	3,761.56	
EF111921	31/05/2023	STEFNA FAMILY TRUST T/AS WEST WASTE CONTROL PTY LTD	TIP			440.00
			71626 - CHICHESTER PARK, STANDISH WAY WOODVALE		440.00	
EF111878	31/05/2023	STEPS CO PTY LTD				2,508.00
			430 - SCRG FACILITATION YEAR 2		2,508.00	
EF111604	31/05/2023	STEVEN A LAWRIE				61.65
			BPU22/0785 - REFUND BUILDING SERVICES LEVY		61.65	
EF111188	15/05/2023	STEWART LEONARD ALLEN (STEWART PHOTOGRAPHY)	ART ALLEN			4,873.30

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			1239 - CHICHESTER PARK OPENING 21 APRIL		440.00	
			1240 - PUBLIC OPEN SPACES		3,933.30	
			1241 - PHOTOGRAPHY ANZACDAYDAWNSERVICE25/4/23		250.00	
			1242 - MANAGERS HEADSHOTS X 3		250.00	
EF111387	15/05/2023	STILES ELECTRICAL				48,969.76
			8709 - FINAL RETENTION REFUND STAGE 5		48,969.76	
EF111859	31/05/2023	STILES ELECTRICAL				4,321.00
			8737 - METER RELOCATION COLLIER PASS		4,321.00	
EF111880	31/05/2023	STORYTIME PODS PTY LTD				2,475.00
			INV-2228 - ANNUAL SUBSCRIPTION TO LOTE4KIDS		2,475.00	
EF111276	15/05/2023	STRATA CORPORATION PTY LTD (STRATAGREEN)				2,443.52
			153827 - LANDSCAPING MAINTENANCE		2,376.00	
			154073 - BROOM COUNCIL ROAD		67.52	
EF111744	31/05/2023	STRATA CORPORATION PTY LTD (STRATAGREEN)				3,402.67
			154239 - CYCLONE EARTH AUGER		104.89	
			154292 - FORK MULCH & BARK		1,372.18	
			154325 - LANDSCAPING MTCE		863.62	
			154331 - CHAPS CHAINSAW MEDIUM & LARGE		1,061.98	
EF111162	15/05/2023	STUART GUNSTONE				150.00
			INWE23/24049 - DOG REGISTRATION REFUND		150.00	
112817	5/05/2023	SUNDRY CREDITOR - RATES REFUND				1,570.04
			273243 - HOUSING AUTHORITY		1,570.04	
112818	5/05/2023	SUNDRY CREDITOR - RATES REFUND				216.13
			273265 - KATHRYN ANNE DILIZIA & TONY PETER DILIZIA		216.13	
112819	5/05/2023	SUNDRY CREDITOR - RATES REFUND				141.60
			273265 - PAULINE KAYE WILSON		141.60	
112820	5/05/2023	SUNDRY CREDITOR - RATES REFUND				303.09
			273154 - ROBERT SKILTON		303.09	
112826	10/05/2023	SUNDRY CREDITOR - RATES REFUND				4,187.00
			273502 - D WYNNE		4,187.00	
112827	10/05/2023	SUNDRY CREDITOR - RATES REFUND				517.94
			273507 - JINTAL PROPERTIES (AUS) PTY LTD		517.94	
112828	10/05/2023	SUNDRY CREDITOR - RATES REFUND				111.40
			273622 - M AND R MORALES		111.40	
112837	25/05/2023	SUNDRY CREDITOR - RATES REFUND				120.01
			274029 - ELAINE ANNE MATTHEWS		120.01	
EF111395	15/05/2023	SUNHAWK PTY LTD				21,736.00
			19301 - HLLARYS FORESHORE RESERVE		21,736.00	
EF111409	15/05/2023	SUPERIOR NOMINEES PTY LTD (MIRACLE RECREATION EQUIPMENT)				6,198.50
			52448 - INFANT DISABLED HIGH BANK SEAT		825.00	
			52533 - S/W PANEL, BRIDGE BOARD & H/WARE		770.00	
			52534 - INVERT ARCH BRIDGE		1,622.50	
			52535 - ARCH BRIDGE WITH ALI BATTENS		1,677.50	
			52593 - COMPLETE TRACKRIDE CARRIAGE		1,303.50	
EF111877	31/05/2023	SUPERIOR NOMINEES PTY LTD (MIRACLE RECREATION EQUIPMENT)				55.00

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			52701 - REACTIVE MATERIALS - PLAY EQUIPMENT MAIN		55.00	
EF111871	31/05/2023	SUREDATA PTY LTD (STAY CYBER SAFE)	20190190 - WA CYBER AWARDS		5,500.00	5,500.00
EF111394	15/05/2023	SURFING WESTERN AUSTRALIA INC	72415 - ANCHORS YOUTH EVENT SERIES ACTIVITY		825.00	825.00
EF111861	31/05/2023	SURUN SERVICES PTY LTD				45,488.15
			INV-10982-Y8M0V8 - LAKESIDE DRIVE, JOONDALUP	VP183074	2,462.68	
			INV-11048-G8D2G3 - MACDONALD PARK		43,025.47	
EF111110	15/05/2023	SUZANNE LYNDSEY THOMPSON	MARCH 23 - EXPENSE REIMBURSEMENT - MARCH 23		458.33	458.33
EF111585	31/05/2023	SUZANNE LYNDSEY THOMPSON	MAY 2023 - MEETING FEE - MAY 2023		2,705.83	2,705.83
EF111490	15/05/2023	SYDEL NOMINEES PTY LTD T/AS IMAGESOURCE DIGITAL SOLUTIONS	467200 - REMOVE DAMAGED JOONDALUP FESTIVAL FLAGS		665.50	1,089.00
			467414 - JOONDALUP FESTIVAL SIGNAGE		242.00	
			467589 - 25TH ANNIVERSARY CELEBRATION SIGNAGE		181.50	
EF111944	31/05/2023	SYDEL NOMINEES PTY LTD T/AS IMAGESOURCE DIGITAL SOLUTIONS	467582 - POOL SIGNAGE INSERTS AND CLC RIBBON		2,266.00	84,929.90
			467583 - 20 X A2 POSTERS		4,053.50	
			467621 - CLC BIG DAY OUT DIRECTIONAL SIGNAGE		2,470.60	
			467622 - CRAIGIE LC REBRAND		39,767.20	
			467625 - SIGNAGE FOR STATEMENT WALLS		20,916.50	
			467715 - CRAIGIE LC - MEMBERSHIP CAMPAIGN		654.50	
			467719 - MOTHER'S DAY CAMPAIGN		168.30	
			467749 - 5 X SHOPFRONT SALES STANDS (CLC AND BDO)		5,197.50	
			467750 - SPINNING WHEEL		1,232.00	
			467752 - VIP SIGNAGE FOR CLC LAUNCH		1,013.10	
			467788 - PLAQUE FOR CRAIGIE LEISURE CENTRE		181.50	
			467789 - LECTURN SIGN - HEALTH BUSINESS FORUM		137.50	
			467836 - UPTOWN MERCHANDISE		2,476.10	
			467849 - PULL-UP BANNERS - SUNDAY SERENADES		319.00	
			467851 - A2 POSTERS- SUNDAY SERENADES		182.60	
			467854 - CRAIGIE LC - LARGE HOARDING DECALS		3,894.00	
EF111701	31/05/2023	SYNERGY 23 PTY LTD (COSMIC COCKTAILS & EVENTS)	18161 - POPCORN MACHINE HIRE		270.50	270.50
EF111504	15/05/2023	TA & J L REYNOLDS	47 - 2022-23 ELECTED MEMBER COURIER		933.43	933.43
EF111432	15/05/2023	T C PRECAST PTY LTD	SI-00006184/1 - GRATED COVER	02722	3,652.00	3,652.00
EF111903	31/05/2023	T C PRECAST PTY LTD	SI-00006184/2 - GRATED COVER RAISED/FLUSH 25MM WITH LOCK	02722	4,108.50	7,760.50

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			SI-00006399 - GRATED COVER RAISED WITH LOCK	02722	3,652.00	
EF111422	15/05/2023	T J DEPIAZZI & SONS				33,862.40
			128549 - NEIL HAWKINS PARK	VP308927	13,728.00	
			128572 - NEIL HAWKINS PARK	VP308927	13,728.00	
			128686 - BURNS BEACH SAR MULCH	VP308927	6,406.40	
EF111890	31/05/2023	T J DEPIAZZI & SONS				62,233.60
			128078 - SUPPLY AND DELIVERY OF CERTIFIED PATHOGE	VP308927	12,812.80	
			128864 - MULCH DELIVERY	VP308927	9,152.00	
			128901 - SIR JAMES MCCUSKER PARK	VP308927	6,406.40	
			128924 - SUPPLY AND DELIVERY OF CERTIFIED PATHOGEN	VP308927	9,152.00	
			128925 - SUPPLY AND DELIVERY OF CERTIFIED MULCH	VP308927	2,745.60	
			128960 - MULCH DELIVERY	VP308927	6,406.40	
			129046 - EDGEWATER PARK	VP308927	10,982.40	
			129159 - TROY AVE MARMION	VP308927	2,288.00	
			129181 - CLIFFORD COLEMAN PARK MARMION	VP308927	2,288.00	
EF111572	31/05/2023	TAMALA PARK REGIONAL COUNCIL				14,267.13
			MAY 23 - NET GST OWED TPRC ON DEVELOPMENT COSTS MARCH 2023		14,267.13	
EF111547	19/05/2023	TARYN FLOWERS				80.00
			1 - SALE OF ARTWORK AT CAE - TIGER		80.00	
EF111892	31/05/2023	TECHNOGYM AUSTRALIA PTY LTD				1,703.79
			P240676 - POLAR VERITY SENSE ARMBANDS		1,046.55	
			P245326 - WASP FOR NEW GYM		657.24	
EF111435	15/05/2023	TELSTRA LIMITED				5,452.27
			2760494800 06/05/23 - ASSET DEPARTMENT		194.37	
			2760494800 07/03/23 - MULTI STOREY LIFT PHONE		165.00	
			2760494800 6/04/23 - MULTI STOREY LIFT PHONE		165.00	
			3778004400 26/01/23 - RANGER SERVICE		63.64	
			3778004400 26/04/23 - RANGER SERVICE SECTION		71.64	
			808484700 24/03/23 - INFORMATION MANAGEMENT		2,396.31	
			808484700 24/04/23 - INFORMATION MANAGEMENT		2,396.31	
EF111904	31/05/2023	TELSTRA LIMITED				169.99
			1091177800 09/05/23 - MAY 2023 - TELSTRA INVOICE FOR RPCP		169.99	
EF111325	15/05/2023	THE EDWARDS INVESTMENT TRUST				1,536.00
			123428 - DIRECTORATE COUNCIL BRIEFING MORNING TEA		165.00	
			123430 - DIRECTORATE COUNCIL BRIEFING		165.00	
			123453 - BAGUETTES X 4		166.00	
			123465 - CHICHESTER PARK-COMMUNITY SPORTING CENTR		732.00	
			123474 - MORNING TEA AS QUOTED - WED 10 MAY		143.00	
			P238854 - DIRECTORATE COUNCIL BRIEFING MORNING TEA		165.00	
EF111525	17/05/2023	THE EDWARDS INVESTMENT TRUST				165.00
			123429 - DIRECTORATE COUNCIL BRIEFING		165.00	

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EF111893	31/05/2023	THE EVENT MILL PTY LTD				5,049.00
			15969 - FURNITURE HIRE FOR COJ FESTIVAL		5,049.00	
EF111323	15/05/2023	THE GHERBAZ FAMILY TRUST T/AS JOINT AUSTRALIA	LOCK			374.00
			SI-00020345 - LANDSCAPING MAINTENANCE		374.00	
EF111754	31/05/2023	THE GREATER UNION ORGANISATION LTD & VILLAGE CINEMAS	ON PTY			360.00
			53272 - AUTUMN SHP PROGRAM 2023 - EVENT CINEMAS		180.00	
			53273 - AUTUMN SHP 2023 - EVENT CINEMA WHITFORDS		180.00	
EF111415	15/05/2023	THE HONDA SHOP				848.00
			217306 - PARTS ONLY		848.00	
EF111885	31/05/2023	THE HONDA SHOP				1,005.00
			217577 - COURIER		1,005.00	
EF111902	31/05/2023	THE METROPOLITAN HOSPITALITY PTY LTD	GROUP			780.00
			1009118 - INNOVATION CATERING PLATTERS		780.00	
EF111416	15/05/2023	THE POSTER GIRLS				46.20
			15100 - SUMMER CALENDAR FLYERS		46.20	
EF111845	31/05/2023	THE ROYAL LIFE SAVING SOCIETY WA INC				350.00
			154006 - STAFF PD SESSION - APRIL		350.00	
EF111507	15/05/2023	THE ROYAL SOCIETY FOR THE PREVENTION OF CRUELTY TO ANIMALS				3,086.60
			IN000658 - MONTHLY MANAGEMENT FEE - DOG - 18-25 NOV	03322	3,086.60	
EF111964	31/05/2023	THE ROYAL SOCIETY FOR THE PREVENTION OF CRUELTY TO ANIMALS				10,280.60
			IN000711 - DAILY ACCOMMODATION & SUSTENANCE FEE APR	03322	3,509.00	
			IN000712 - APRIL MANAGEMENT FEE - DOG	03322	6,771.60	
EF111424	15/05/2023	THE TEMPANY FAMILY TRUST				3,960.01
			1787 - AV SERVICES AND EQUIPMENT		3,960.01	
EF111300	15/05/2023	THE TONY STAMPALIA TRUST T/AS INCREDIBLE BULK				94,863.84
			1777 - OPTION A - COLLECTION AND DIRECT DELIVER	02022	28,208.10	
			1802 - BULK GREEN VERGE COLLECT ILUKA/BURNS BCH	02022	21,137.42	
			1803 - BULK GREEN VERGE COLLECT KINROSS	02022	45,518.32	
EF111772	31/05/2023	THE TONY STAMPALIA TRUST T/AS INCREDIBLE BULK				32,346.93
			1805 - 147.4 TONNES OF GREEN WASTE	02022	32,346.93	
EF111541	19/05/2023	THE TRUSTEE FOR ADEPT ENTERPRISES TRUST (ADEPT PHOTO BOOTHS)				699.00
			1971-001 - 3 HOUR ROAMING PHOTO BOOTH		699.00	
EF111634	31/05/2023	THE TRUSTEE FOR ASKWITH SAFE UNIT TRUST	COMPANY			210.10
			40119 - SERVICE TO CHUBB SAFE CUSTOMER CARE		210.10	
EF111211	15/05/2023	THE TRUSTEE FOR BELDON PIZZA TRUST	UNIT			359.86
			98287 1 - JUNIOR SOCCER GRAND FINALS - PIZZAS		53.71	
			98287 2 - JUNIOR SOCCER GRAND FINALS - PIZZAS		53.71	

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			98287 3 - JUNIOR SOCCER GRAND FINALS - PIZZAS		74.63	
			98287 4 - JUNIOR SOCCER GRAND FINALS - PIZZAS		177.81	
EF111696	31/05/2023	THE TRUSTEE FOR CWC TRUST				1,650.00
			22.228.01.KK - CHRISTCHURCH PARK TOILETS		1,650.00	
EF111725	31/05/2023	THE TRUSTEE FOR DL COOK TRUST (DIAL-A-GLASS & GLAZING)	TAS			3,725.70
			193155 - DEPOSIT FOR MIRROR INSTALL IN GYM		1,862.85	
			193260 - GYM SQUAT RACK MIRRORS		1,862.85	
EF111682	31/05/2023	THE TRUSTEE FOR ECT FAMILY TRUST (BLACK BEAN COFFEE BAR)				700.00
			INV-1911 - BARISTA SERVICES - EVENT 25TH MAY		700.00	
EF111261	15/05/2023	THE TRUSTEE FOR EVENT SERVICES AUSTRALIA UNIT TRUST				3,448.27
			INV-203003 - LEVEL 2 EVENT STAFF		3,448.27	
EF111291	15/05/2023	THE TRUSTEE FOR HAYTO TRUST (STUDIOS)	(SOCO			1,210.00
			3304 - PHOTOGRAPHY CAE 25 MARCH		550.00	
			3346 - CEO SPEECH FILMING FOR YR 9		660.00	
EF111762	31/05/2023	THE TRUSTEE FOR HAYTO TRUST (STUDIOS)	(SOCO			1,457.50
			3351 - PHOTO/VIDEO WORK		577.50	
			3419 - PNE STAFF PHOTO		550.00	
			3437 - PHOTOGRAPHY 6 MAY EVENT		330.00	
EF111873	31/05/2023	THE TRUSTEE FOR HBSF GROUP FAMILY TRUST (SUBWAY BELDON)				168.00
			1/A-574272 - PROJECT MANAGEMENT TRAINING COURSE		168.00	
EF111191	15/05/2023	THE TRUSTEE FOR HUMPHREY GROUP TRUST (ACTIVE DISCOVERY)				50,574.70
			182417 - CASTLECRAG PARK		50,574.70	
EF111649	31/05/2023	THE TRUSTEE FOR HUMPHREY GROUP TRUST (ACTIVE DISCOVERY)				13,217.60
			182444 - PLAY EQUIPMENT		13,217.60	
EF111213	15/05/2023	THE TRUSTEE FOR KM CHANDWAN (BARISTA HQ PERTH)	TRUST (			781.00
			INV-0176A - BARISTA WORKSHOP		781.00	
EF111751	31/05/2023	THE TRUSTEE FOR LANE FAMILY TRUST (LINEMARKING)	TRUST (GPS			495.00
			INV-003749 - INITIAL SURVEYING OF NEW FIELD/S		495.00	
EF111895	31/05/2023	THE TRUSTEE FOR MARTINS FAMILY T/A MARTINS	TRUST			20,066.75
			2935 - TIMBERLANE PARK	00721	5,214.00	
			2936 - ILUKA FORESHORE RESERVE	00721	14,852.75	
EF111207	15/05/2023	THE TRUSTEE FOR OCEANS 17 UNIT (BRAVEN GROUP SERVICES)	TRUST			572.00
			INV-1640 - SECURITY FOR CITIZENSHIP CEREMONIES		286.00	
			INV-1643 - SECURITY FOR CITIZENSHIP CEREMONIES		286.00	
EF111806	31/05/2023	THE TRUSTEE FOR P & M MOORE FAMILY TRUST				12,144.00
			INV-1147 - NORDIC GYM SUPPLIES		12,144.00	
EF111844	31/05/2023	THE TRUSTEE FOR QUAYLE FAMILY TRUST				8,800.00
			546 - HIRE OF FILM - THE GREY LINE		8,800.00	
EF111230	15/05/2023	THE TRUSTEE FOR SANDOVER PINDER UNIT TRUST				22,770.00

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			2301-01 - CONCEPT DESIGN OCEAN REEF MARINA FACILIT		22,770.00	
EF111764	31/05/2023	THE TRUSTEE FOR SAWKAM NO 2 TRUST	2668906 - DYSON VACCUUM		499.00	499.00
EF111189	15/05/2023	THE TRUSTEE FOR STP FAMILY TRUST (SAFETY TACTILE PAVE)	2629 - QUILTER DRIVE, DUNCRAIG		499.00	4,742.63
			2832 - CONSTELLATION DRIVE, OCEAN REEF		2,358.40	
			2844 - MOORE DRIVE, CURRAMBINE		497.51	
EF111676	31/05/2023	THE TRUSTEE FOR THE CHISHOLM TRUST (BIRDS EYE MEDIA)	2844 - MOORE DRIVE, CURRAMBINE		1,886.72	4,873.00
			INV-1372 - INSIDE PHOTOGRAPHY FOR ANNUAL REPORT		2,497.00	
			INV-1373 - INSIDE PHOTOGRAPHY FOR ANNUAL REPORT		1,606.00	
			INV-1374 - INSIDE PHOTOGRAPHY FOR ANNUAL REPORT		770.00	
EF111957	31/05/2023	THE TRUSTEE FOR THE KEENAN FAMILY TRUST T/AS NORTHERN	45797 - BLADE EDGER AND TRIMMER		2,255.00	2,255.00
			46025 - PARTS ONLY		1,980.00	
EF111483	15/05/2023	THE TRUSTEE FOR THE LOCKE TRUST (ENTIRE TECH)	01-101457 - LABOUR/SUPPORT/MAINTENANCE		275.00	454.50
			01-101898 - IPAD 9TH GENERATION REPAIR		49.50	
EF111749	31/05/2023	THE TRUSTEE FOR THE MJ FAMILY TRUST (GRACE ROSE DIDIER)	361 - RELIEF CLEANING 11-14 APRIL 23	VP268133	1,501.50	2,483.26
			362 - RELIEF CLEANING 11-14 APRIL 23	VP268133	346.50	
			363 - RELIEF CLEANING 17 APRIL 23	VP268133	86.63	
			365 - RELIEF CLEANING 24 APRIL 23	VP268133	548.63	
EF111540	19/05/2023	THE TRUSTEE FOR THE PANACON TRUST T/AS ARCHITECTURAL	50778B - DOOR CLOSER		1,674.20	1,674.20
EF111655	31/05/2023	THE TRUSTEE FOR THE PANACON TRUST T/AS ARCHITECTURAL	4932 - SHOULD BE 49327 SORRENTO BEACH PARK		1,102.31	1,102.31
			49901B - JOONDALUP ADMIN HR		173.25	
			50961B - CRAIGIE LEISUER CENTRE		72.60	
			50976B - MAWSON PARK TOILETS		458.70	
			50991B - LEXCEN PARK		209.66	
EF111270	15/05/2023	THE TRUSTEE FOR THE PARTINGTON TRUST T/AS FUN CATS	35 - AUTUMN SHP - PADDLE BOARDING 20.04.23		188.10	418.00
EF111349	15/05/2023	THE TRUSTEE FOR THE R & J PIGDON TRUST	10000015271 - MAGAZINES REFERENCE		418.00	1,326.94
			15268 - MAGAZINES		472.65	
			15279 - MAGAZINES		360.65	
EF111815	31/05/2023	THE TRUSTEE FOR THE R & J PIGDON TRUST	INV- 10000015293 - MAGAZINES		493.64	782.80
			INV-10000015284 - MAGAZINES		259.99	
EF111359	15/05/2023	THE TRUSTEE FOR THE REEDY FAMILY HYBRID DISCRETIONARY TRUST	INV-04116 - CASTLECRAG PARK PLAYGROUND AUDIT		522.81	495.00

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EF111825	31/05/2023	THE TRUSTEE FOR THE REEDY FAMILY HYBRID DISCRETIONARY TRUST				495.00
			INV-04141 - GLENMERE PARK- PLAYGROUND AUDIT		495.00	
EF111973	31/05/2023	THE TRUSTEE FOR THE RIGANELLO FAMILY TRUST (WOODVALE)				1,511.84
			1006 - CHAINMESH FENCING UNDER 5 M2 SINGLE JOB	VP254417	336.60	
			1007 - VENTURI DRIVE - OCEAN REEF	VP254417	872.30	
			1008 - CHADSTONE PARK - CRAIGIE	VP254417	302.94	
EF111840	31/05/2023	THE TRUSTEE FOR THE SPRIGGS FAMILY TRUST (PLACER MANAGEMENT)				1,650.00
			2014714 - CAREER TRANSITION PROGRM 17/05/23		1,650.00	
EF111784	31/05/2023	THE TRUSTEE FOR THE TRIPOLI FAMILY TRUST TAS KIDS JUST WANNA				390.00
			6073 - COCKTAIL ARCADE GAME		390.00	
EF111488	15/05/2023	THE TRUSTEE FOR TRANS AUSTRALIA TRUST/TAS INSTANT				240.00
			SIAU0138601 - PARTS & REPAIRS		240.00	
EF111434	15/05/2023	THE TRUSTEE FOR TT JOONDALUP TRUST				298.00
			8200 - WALL FAN		298.00	
EF111423	15/05/2023	THE TRUSTEE FOR USSHERIDAN TRUST (WESTWORKS CONSULTANCY)				1,716.00
			9746 - NATURALISTE PARK, ILUKA		924.00	
			9822 - NANIKA PARK		792.00	
EF111891	31/05/2023	THE TRUSTEE FOR USSHERIDAN TRUST (WESTWORKS CONSULTANCY)				1,721.50
			9945 - TREE SURVEY OF 9 TREES		841.50	
			9973 - GLENBANK PARK, KALLAROO		880.00	
EF111779	31/05/2023	THE TRUSTEE FOR WYATT TRUST (JAXART)				704.00
			2311 - SALE OF PAINTING "LIGHTNING"		704.00	
EF111418	15/05/2023	THE VINES (WA) PTY LTD (NOVOTEL RESORT SWAN VALLEY)				230.00
			H1980-93587 - AUTUMN SHP 18/04/23 MINI GOLF		230.00	
EF111570	31/05/2023	THE WA SPIT ROAST UNIT TRUST				15,682.00
			23028930 - CATERING BOOKING REFERENCE 23028930		7,841.00	
			23034343 - CATERING BOOKING REFERENCE 23034343		7,841.00	
EF111619	31/05/2023	THOMAS M NORTHOVER				61.65
			BPU22/0393 - REFUND BUILDING SERVICES LEVY		61.65	
EF111139	15/05/2023	THOMAS PLUMMER				80.00
			1 - SALE OF ARTWORK		80.00	
EF111614	31/05/2023	TIARN AMY MOSCHILLA				150.00
			ID 122793 - REFUND ANIMAL STERILISED		150.00	
EF111430	15/05/2023	TII AUSTRALIA PTY LTD				165.00
			71527 - PERCY DOYLE - IRRIGATION MAINTENA		82.50	
			71555 - PERCY DOYLE SOCCER UPGRADE		82.50	
EF111328	15/05/2023	TJ AND RJ SELICK PTY LTD (LAWN DOCTOR)				5,786.79
			721635 - 3L PRIMO MAXX SPRAYED AT PERCY DOYLE SOC		601.59	
			721635 - 3L PRIMO MAXX SPRAYED AT PERCY DOYLE SOC	01820	106.73	
			721676 - BURNS BEACH	01820	2,017.83	
			721677 - BILUKA	01820	2,099.29	

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			721679 - HARBOUR RISE	01820	961.35	
EF111795	31/05/2023	TJ AND RJ SELICK PTY LTD (LAWN DOCTOR)				21,035.41
			721569 - BRILLANCE GRANULATED (BAILEYS FERTILISER)	01820	3,002.07	
			721695 - ZONE 2 (CENTRAL) R3 CATEGORY	00221B	6,489.40	
			721696 - ZONE 2 (CENTRAL) R1 WHITFORDS	00221B	9,397.29	
			721697 - BURNS PARK BURNS BEACH	VP316285	2,146.65	
EF111512	15/05/2023	TOLL IPEC PTY LTD				50.66
			6057942 - COURIER SERVICE 26/4/23		50.66	
EF111953	31/05/2023	TOM MCLEAN				2,705.83
			ALLOW-MTG-MAY 2023 - MEETING FEE - MAY 2023		2,705.83	
EF111433	15/05/2023	TONE & CHEEK PRODUCTIONS PTY LTD				11,000.00
			TC002 - AURIORA - TONE AND CHEEK X 2 SHOWS		11,000.00	
EF111167	15/05/2023	TONI KEAY				100.00
			INWE23/24636 - DOG REGISTRATION REFUND		100.00	
EF111883	31/05/2023	TOOLMART				1,145.50
			20230215-3-2-27136 - UTILITY KNIFE		298.00	
			20230504-3-1-25304 - PLIER & FOLDING UTILITY KNIFE		97.50	
			20230509-3-3-8566 - BATTERY		750.00	
EF111412	15/05/2023	TOTAL EDEN PTY LIMITED				35,467.35
			412587518 - BURNS BEACH	00920	1,331.00	
			412587704 - COJ EAST GREEN IRRIGATION REPAIRS		594.22	
			412594832 - BURNS BEACH	00920	694.75	
			412636776 - NEW BURNS BEACH EST	00920	10,332.00	
			412636777 - IRRIGATION MTCE SERV BURNS BEACH EST APR 23	00920	694.75	
			412636957 - COJ VARIOUS LOCATIONS		2,824.25	
			412636958 - DANDJOO PARK MTCE APRIL 23		476.67	
			412639389 - BURNS BEACH - TREE WORKS	00920	5,135.48	
			412644004 - BURNS BEACH-MARMION AVE	00920	11,221.39	
			412654937 - NEW BURNS BEACH EST	00920	2,162.84	
EF111882	31/05/2023	TOTAL EDEN PTY LIMITED				5,847.31
			412594834 - REACTIVE CONTRACTORS - IRRIGATION MAINT		476.67	
			412639441 - BURNS BEACH	00920	5,005.00	
			412679613 - IRRIGATION MAINTENANCE		365.64	
EF111421	15/05/2023	TOTAL LANDSCAPE REDEVELOPMENT SERVICE PTY LTD				57,245.10
			INV-0885 - LANDSCAPE - EXT CONT		5,183.20	
			INV-0962 - CLIFFORD COLEMAN PARK		52,061.90	
EF111414	15/05/2023	TOTALLY WORKWEAR				18,737.80
			7200411704 - JACKET WITH LOGO	VP253695	84.70	
			7200637577 - RAINWEAR SET TUFLITE YELLOW, SIZE S	VP253695	363.00	
			7200637896 - FS1309 PANORAMA MENS BLACK ASH		772.20	
			7200637896 - FS1309 PANORAMA MENS BLACK ASH	VP253695	99.00	
			7200637937 - JACKET FLYING HI-VIS R/TAPE SIZE 3XL	VP253695	47.30	
			7200638411 - ZIP SIDED ANKLE BOOT	VP253695	121.00	

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			7200638475 - POLO AP LADIES JACKETS		385.20	
			7200638483 - 9XL DRILL SHIRTS		84.40	
			7200638483 - 9XL DRILL SHIRTS	VP253695	11.00	
			7200638484 - UNISEX SHIRT POLO JB'S	VP253695	37.40	
			7200638485 - JUMPER WOOL BLEND NAVY, SIZE M	VP253695	49.50	
			7200638493 - STAFF POLOS		14,198.30	
			7200638902 - WET WATER JACKET	VP253695	79.20	
			7200638903 - RAINWEAR SUIT	VP253695	33.00	
			7200639282 - JACKETS WITH LOGO	VP253695	79.20	
			7200639723 - FS 1309 PANORAMA MENS BLACK ASH		128.70	
			7200639723 - FS 1309 PANORAMA MENS BLACK ASH	VP253695	16.50	
			7200639730 - ZIP SIDED ANKLE BOOT		17.90	
			7200639730 - ZIP SIDED ANKLE BOOT	VP253695	126.50	
			7200639735 - UNISEX SHIRT L/SLEEVE	VP253695	53.90	
			7200639736 - UNISEX SHIRTS	VP253695	53.90	
			7200639744 - TROUSERS WITH LOGO	VP253695	66.00	
			7200639745 - DRILL SHIRT		42.20	
			7200639745 - DRILL SHIRT	VP253695	5.50	
			7200639746 - TROUSERS KG BASICS CARGO	VP253695	66.00	
			7200639747 - SHORTS BASICS	VP253695	88.00	
			7200639748 - BOOTS LADIES HOBART BLACK	VP253695	132.00	
			7200639748 - BOOTS LADIES HOBART BLACK	VP270470	48.40	
			7200639749 - SAFETY VEST	VP253695	12.10	
			7200640559 - VEST HI-VIS POLAR FLEECE	VP253695	23.65	
			7200640560 - JACKET R TAPE	VP253695	47.30	
			7200640563 - JACKET BIZ APEX MENS SOFTSHELL POLY FLEE	VP253695	11.00	
			7200640563 - JACKET BIZ APEX MENS SOFTSHELL POLY FLEE	VP270470	85.80	
			7200640564 - WINDCHEATER	VP253695	29.70	
			7200640578 - VEST HI-VIS POLAR FLEECE	VP253695	23.65	
			7200640579 - WINDCHEATER 1/2 ZIP HI-VIS FLEECE YELLOW	VP253695	53.35	
			7200640580 - WOMEN TROUSERS	VP253695	47.30	
			7200640581 - TROUSERS KG BASICS CARGO	VP253695	33.00	
			7200640586 - UNISEX SHIRT POLO	VP253695	37.40	
			7200640587 - UNISEX SHIRT POLO	VP253695	56.10	
			7200640588 - UNISEX SHIRT HI-VIS SPLICED Y/N L/SLEEVE	VP253695	80.85	
			7200640599 - VEST HI-VIS POLAR FLEECE	VP253695	83.05	
			7200640603 - TROUSERS KG BASICS CARGO NAVY, KINGGEE,	VP253695	99.00	
			7200640607 - POLO AP LADIES PATERSON		35.10	
			7200640618 - UNISEX SHIRT HI-VIS SPLICED Y/N L/SLEEVE	VP253695	53.90	
			7200640638 - TROUSERS KG BASICS CARGO NAVY, KINGGEE,	VP253695	146.30	
			7200640642 - SHORTS BASICS	VP253695	50.60	
			7200640974 - LADIES JOGGERS	VP270470	132.90	
			7200640975 - RAIN JACKETS		143.80	
			7200642073 - POLO AP PETERSON MEN		59.20	

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			7200642073 - POLO AP PETERSON MEN	VP253695	11.00	
			7200642073 - POLO AP PETERSON MEN	VP270470	11.00	
			7700638480 - UNISEX SHIRT L/S WITH LOGO	VP253695	80.85	
EF111555	19/05/2023	TOTALLY WORKWEAR				132.00
			7200634954 - BOOTS WHYALLA BLACK	VP253695	132.00	
EF111884	31/05/2023	TOTALLY WORKWEAR				5,497.05
			7200636743 - CORPORATE STAFF UNIFORMS FOR CRAIGIE		380.00	
			7200641294 - BIZ COLLECTION MEN'S 'CHAMBRAY' 100% COT	VP253695	55.00	
			7200641299 - JUMPER WOOL BLEND NAVY, SIZE XL	VP253695	49.50	
			7200641301 - JACKET KINGGEE 4 IN 1 HI-VIS TAPED WATER	VP253695	84.70	
			7200641302 - VEST HI-VIS POLAR FLEECE	VP253695	23.65	
			7200641374 - VEST REVERSABLE OXFORD POLY	VP253695	33.00	
			7200641724 - RAINWEAR SET TUFLITE YELLOW, SIZE S	VP253695	33.00	
			7200642037 - EMB WITH COMPANY LOGO		2,316.60	
			7200642037 - EMB WITH COMPANY LOGO	VP253695	297.00	
			7200642079 - UNISEX SHIRT HI-VIS SPLICED Y/N L/SLEEVE	VP253695	80.85	
			7200642080 - UNISEX SHIRT HI-VIS SPLICED Y/N L/SLEEVE	VP253695	80.85	
			7200642083 - TROUSERS KG BASICS CARGO NAVY, KINGGEE,	VP253695	155.10	
			7200642085 - TROUSERS KG BASICS CARGO NAVY, KINGGEE,	VP253695	66.00	
			7200642086 - TROUSERS KG BASICS CARGO NAVY, KINGGEE,	VP253695	148.50	
			7200642087 - JACKET FLYING HI-VIS R/TAPE, SIZE XL	VP253695	113.30	
			7200642533 - RAIN JACKET LARGE		71.90	
			7200642534 - JACKET KINGGEE 4 IN 1 HI-VIS TAPED WATER	VP253695	79.20	
			7200642633 - VEST HI-VIS POLAR FLEECE Y/N W/W, SIZE M	VP253695	23.65	
			7200642634 - VEST HI-VIS POLAR FLEECE Y/N W/W, SIZE X	VP253695	23.65	
			7200642635 - VEST HI-VIS POLAR FLEECE Y/N W/W, SIZE S	VP253695	23.65	
			7200642636 - VEST HI-VIS POLAR FLEECE Y/N W/W, SIZE S	VP253695	23.65	
			7200642637 - VEST HI-VIS POLAR FLEECE Y/N W/W, SIZE L	VP253695	23.65	
			7200642640 - WINDCHEATER 1/2 ZIP HI-VIS FLEECE YELLOW	VP253695	29.70	
			7200642642 - WINDCHEATER 1/2 ZIP HI-VIS FLEECE YELLOW	VP253695	29.70	
			7200643229 - ZIP SIDED ANKLE BOOTS	VP253695	121.00	
			7200643465 - UNISEX SHIRT HI-VIS	VP253695	200.75	
			7200643466 - SHORTS BASICS	VP253695	75.90	
			7200643467 - UNISEX SHIRTS L/SLEEVE	VP253695	53.90	
			7200643676 - CAP BASEBALL STYLE NAVY	VP253695	38.50	
			7200643676 - CAP BASEBALL STYLE NAVY	VP270470	55.00	
			7200643813 - JACKET HI-VIS TAPED WATER	VP253695	79.20	
			7200643920 - ZIP SIDED ANKLE BOOTS	VP253695	121.00	
			7200643921 - JACKET HI-VIS TAPED WATER	VP253695	79.20	

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			7200643936 - WINDCHEATER JUMPER FLEECE YELLOW	VP253695	29.70	
			7200643937 - JACKET FLYING HI-VIS	VP253695	47.30	
			7200643940 - PANORAMA LADIES WARE		48.40	
			7200643943 - SHIRT POLO POLYESTER	VP253695	235.40	
			7200643944 - TROUSERS BASICS CARGO NAVY	VP253695	66.00	
EF111896	31/05/2023	TOWN TEAM MOVEMENT LTD				1,232.00
			680 - CONSULTANT FEES		1,232.00	
EF111417	15/05/2023	T-QUIP				2,201.10
			118247 # 26 - PARTS ONLY		272.55	
			118584#14 - PARTS ONLY		33.45	
			118696 # 14 - PARTS ONLY		71.00	
			118934#31 - PARTS ONLY		59.80	
			118988#26 - PARTS ONLY		623.70	
			118989#26 - PARTS ONLY		18.15	
			118990#26 - PARTS ONLY		164.55	
			119210 #31 - GEARBOX PARTS		957.90	
EF111887	31/05/2023	T-QUIP				1,869.55
			119262 #31 - FILTER		88.80	
			119266 #31 - PARTS 1GNE037		211.75	
			119413 #14 - COVER ASM		66.45	
			119500 #10 - PARTS 1HGO177		120.20	
			119546 - PARTS ONLY		332.90	
			119548 - PARTS ONLY		18.15	
			119617 #3 - PARTS		1,031.30	
EF111595	31/05/2023	TRACKSTERS				119.70
			28645 - OUT OF SEASON HIRE REFUND		119.70	
EF111413	15/05/2023	TRAILER PARTS PTY LTD				39.72
			1391923 - HYDRAULIC MASTER CYLINDER		39.72	
EF111419	15/05/2023	TRANEN REVEGETATION SYSTEMS				5,401.55
			107185 - HILLARYS ANIMAL BEACH		5,401.55	
EF111425	15/05/2023	TRIDENT PLASTICS (SA) PTY LTD				91,506.32
			302300 - 240 LITRE BIN	01318A	35,168.00	
			302337 - 660 LITRE BINS COMPLETE	01318A	22,984.36	
			302392 - 360 LITRE BIN	01318A	33,353.96	
EF111420	15/05/2023	TRITON ELECTRICAL CONTRACTORS PTY LTD				35,605.79
			24670TE - MOISTURE SENSORS	01321	886.60	
			24913TE - BLUE LAKE PARK	01321	264.00	
			INV-1962 - OCEAN REEF PARK	01321	7,985.18	
			INV-1963 - P234905	01321	11,897.28	
			INV-1964 - MCCUBBIN PARK - WOODVALE	01321	14,572.73	
EF111888	31/05/2023	TRITON ELECTRICAL CONTRACTORS PTY LTD				8,399.05
			24896TE - STORM WATER PUMPS	01321	528.00	
			24959TE - CONTROLLER, MODEM AND ANTENNA	01321	198.00	
			24961TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	5,479.10	
			24962TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	516.45	
			24964TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	374.00	
			24978TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	132.00	

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			24980TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	379.50	
			24981TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	132.00	
			24985TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	198.00	
			24986TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	330.00	
			24987TE - QUALIFIED ELECTRICIAN (NORMAL WORKING HO	01321	132.00	
EF111443	15/05/2023	TRUCK UNIT TRUST T/AS W A HINO SERVICE	SALES &			314.52
			296095 - PARTS		314.52	
EF111911	31/05/2023	TRUCK UNIT TRUST T/AS W A HINO SERVICE	SALES &			685.76
			296495 - PARTS ONLY		68.75	
			296604 - LENS RR LAMP 1HLP164		617.01	
EF111552	19/05/2023	TRUSTEE FOR BRALUDAMA TRUST (RESORT SORRENTO BEACH)	(QUALITY			7,663.00
			175550 - INTERNATIONAL ARTIST ACCOMMODATION		6,270.00	
			175955 - INTERNATIONAL ARTIST ACCOMMODATION		1,194.00	
			175956 - INTERNATIONAL ARTIST ACCOMMODATION		199.00	
EF111841	31/05/2023	TRUSTEE FOR BRALUDAMA TRUST (RESORT SORRENTO BEACH)	(QUALITY			1,872.00
			175823 - INTERNATIONAL ARTIST ACCOMMODATION		796.00	
			175825 - INTERNATIONAL ARTIST ACCOMMODATION		1,076.00	
EF111472	15/05/2023	TRUSTEE FOR GREAT SCOTT FAMILY T/AS ARBORWEST TREE	LY TRUST			3,982.00
			INV-1569 - LAGERSTROEMIA INDICA 'NATCHEZ' 45L	01621	3,982.00	
EF111429	15/05/2023	TRUSTEE FOR HIEU HA FAMILY TRUST (BEANS CAFE)	ST (2			263.90
			2BEANS035 - MUFFINS, SNACKS & FRUIT PLATTER		263.90	
EF111894	31/05/2023	TRUSTEE FOR J & E TROTT TRUST & TRUSTEE FOR MATTHEW	& THE			3,465.00
			23116 - HEALTH & SAFETY REPRESENTATIVES COURSE		2,090.00	
			23588 - IN-HOUSE SAFETY REP TRAINING (5 DAYS)		1,045.00	
			23589 - HEALTH AND SAFETY 1 DAY COURSE		330.00	
EF111664	31/05/2023	TRUSTEE FOR J & J MARSHALL FAMILY TRUST (BARDFIELD)	ILY			1,650.00
			45095 - REACTIVE MATERIALS - SPORTS INFRASTRUCTU		1,650.00	
EF111918	31/05/2023	TRUSTEE FOR RANSBERG UNIT TRUST (WA PREMIX)	JUST T/AS			2,744.50
			NE8215/02 - CRN MARINE TCE & PARNE	00520	267.30	
			NE8215/03 - LESS THAN 3.4M3 - CREAM COLOURED CONCRET	00520	926.86	
			NE8215/04 - SELKIRK DRIVE	00520	748.44	
			NE8215/05 - FIREBALL WAY	00520	427.68	
			NE8215/07 - LESS THAN 3.YULE ROAD	00520	374.22	
EF111925	31/05/2023	TRUSTEE FOR THE GALLOP INVESTMENT TRUST (WALDECKS KINGSLEY)	MENT			2,605.18
			23-00052644 - PLANTS, POTS & POTTING MIX		2,605.18	

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EF111274	15/05/2023	TRUSTEE FOR THE JANSEN GRAY TRUST T/AS GEOFF'S TREE	FAMILY			26,270.20
			J02304054805 - CONSTELLATION DRIVE, OCEAN REEF	03520A	358.60	
			J02304055141 - PAW ADJOINING WADE COURT, DUNCRAIG	03520A	193.60	
			J02304065111 - ROBIN AVE, SORENTO ROBIN PARK	03520A	980.10	
			J2212153472 - PRUNE ALL PALM TREES IN MEDIAN STRIP OF	03520A	3,339.60	
			J2302204469 - STUMP GRINDING - VARIOUS	03520A	3,478.20	
			J2304055034 - STUMP GRINDING INCLUDING DISPOSAL OF EXC	03520A	348.70	
			J2304055158 - STUMP GRINDING INCLUDING DISPOSAL OF EXC	03520A	448.80	
			J2304065048 - PICNIC PARADE, BURNS BEACH	03520A	653.40	
			J2304065050 - PICNIC PARADE, BURNS BEACH	03520A	653.40	
			J2304113938 - FAIRWAY CIRCLE CONNOLLY	03520A	642.40	
			J2304115022 - 34 BURLEY GRIFFIN MEWS, JOONDALUP	03520A	301.40	
			J2304115052 - OZARK GARDENS, JOONDALUP	03520A	653.40	
			J2304124937 - DORADO BEACH CRES, CONNOLLY SIDE VERG	03520A	701.80	
			J2304125026 - SOUTHERN TERRACE, CONNOLLY FAIRWAY CI	03520A	653.40	
			J2304125107 - AQUARIUS RAMBLE, OCEAN REEF	03520A	301.40	
			J2304125147 - LEEWAY DRIVE, OCEAN REEF	03520A	602.80	
			J2304135027 - TIMBERCREST RISE, WOODVALE	03520A	653.40	
			J2304145023 - PAGE DRIVE, MULLALOO	03520A	452.10	
			J2304145151 - TIMBERLANE DRIVE, WOODVALE	03520A	301.40	
			J2304145155 - TIMBERLANSE DRIVE, WOODVALE	03520A	301.40	
			J2304145156 - TIMBERLANE DVE, WOODVALE	03520A	301.40	
			J2304174613 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	7,614.20	
			J2304195262 - CARIDEAN STREET, HEATHRIDGE	03520A	653.40	
			J2304195263 - KOOLYN GROVE, KINGSLEY	03520A	326.70	
			J2304205032 - BEECHWOOD GROVE, HILLARYS	03520A	653.40	
			J2304245170 - GEDDIES PARK, DUNCRAIG	03520A	701.80	
EF111743	31/05/2023	TRUSTEE FOR THE JANSEN GRAY TRUST T/AS GEOFF'S TREE	FAMILY			80,707.00
			J2302254355 - SUPPLY GROUND CREW FOR GENERAL PRUNING W	03520A	2,068.00	
			J2303024692 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	950.40	
			J2303104592 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	950.40	
			J2303174588 - TREE REMOVAL INCLUDING DISPOSAL	03520A	1,900.80	
			J2304054939 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	358.60	

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			J2304055148 - BLAIRGOWIE HEIGHTS, KINROSS	03520A	950.40	
			J2304065154 - JASPER WAY, EDGEWATER	03520A	981.20	
			J2304114594 - TREE REMOVAL & DISPOSAL	03520A	1,706.10	
			J2304114952 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI RAVEN LANE JOONDALUP	03520A	331.10	
			J2304125033 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	950.40	
			J2304125049 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	717.20	
			J2304125106 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	1,900.80	
			J2304125162 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	358.60	
			J2304125163 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	358.60	
			J2304135099 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	358.60	
			J2304135174 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	950.40	
			J2304145165 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	358.60	
			J2304145175 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI GRANGEMOUTH TURN KINROSS	03520A	717.20	
			J2304145221 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI BURLEY GRIFFIN MEWS JOONDALUP	03520A	1,692.90	
			J2304145234 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI THE GRANGE MULLALOO	03520A	1,309.00	
			J2304174934 - SUPPLY AND OPERATE AN ELEVATED 16M WORK	03520A	1,175.35	
			J2304175152 - SUPPLY AND OPERATE AN ELEVATED 5M WORK	03520A	753.50	
			J2304185223 - SUPPLY AND OPERATE AN ELEVATED 5M WORK	03520A	452.10	
			J2304185247 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	1,075.80	
			J2304185260 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	1,706.10	
			J2304195420 - PENISTONE PARK, GREENWOOD	03520A	1,890.90	
			J2304205018 - WILLIAMS PLACE, OCEAN REEF	03520A	3,916.00	
			J2304205164 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI JUSTIN DRV SORRENTO	03520A	3,412.20	
			J2304205226 - SUPPLY AND OPERATE AN ELEVATED 5M WORK P	03520A	979.55	
			J2304244946 - SUPPLY AND OPERATE AN ELEVATED 19M WORK	03520A	1,052.70	
			J2304245146 - TREE REMOVAL INCLUDING DISPOSAL	03520A	2,423.30	
			J2304245176 - SUPPLY AND OPERATE AN ELEVATED 19M WORK	03520A	701.80	
			J2304275369 - SUPPLY AND OPERATE AN ELEVATED 16M WORK	03520A	490.05	
			J2304275421 - SUPPLY AND OPERATE AN ELEVATED 16M WORK	03520A	816.75	
			J2304295267 - SUPPLY & OPERATE AN ELEVATED 16M WORK	03520A	1,533.95	

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			J2305015172 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI GIBSON PARK PADBURY	03520A	2,209.90	
			J2305015282 - GILES ROAD, PADBURY	03520A	666.60	
			J2305015365 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	950.40	
			J2305015457 - STUMP GRINDING INCLUDING DISPOSAL OF EXC SWIFT ST GREENWOOD & ANACAPRI RD HILLARYS	03520A	100.10	
			J2305025422 - STUMP GRINDING INCLUDING DISPOSAL OF EXC	03520A	97.90	
			J2305035284 - TREE REMOVAL INCLUDING DISPOSAL OF PRUNI	03520A	950.40	
			J2305085036 - SUPPLY AND OPERATE AN ELEVATED 5M WORK P	03520A	301.40	
			J2305085160 - BUCKTHORN COURT, DUNCRAIG	03520A	301.40	
			J2305085417 - SUPPLY AND OPERATE AN ELEVATED 5M WORK P	03520A	452.10	
			J2305085419 - SUPPLY AND OPERATE AN ELEVATED 19M WORK	03520A	1,579.05	
			J2305194611 - MARMION AVE CYCLE PATH	03520A	28,934.40	
			J2305195533 - MUELLER COURT, PADBURY	03520A	1,311.20	
			J2305195684 - WALTER PADBURY BLVD	03520A	602.80	
EF111868	31/05/2023	TRUSTEE FOR THE JAYEMEF FAMILY & A.M WOOD T/AS STAR	TRUST			1,760.00
			27321 - SUPPLY AND CUT OF NEW LOOP ON BITUMEN		1,760.00	
EF111832	31/05/2023	TRUSTEE FOR THE SHEPHARD FAMILY TRUST (POOL ROBOTICS PERTH)	TRUST			477.11
			23-00001310 - SERVICE OF POOL ROBOTIC CLEANER WAVE 100		477.11	
EF111447	15/05/2023	TRUSTEE FOR WA LIMESTONE UNIT T/AS WA LIMESTONE CO	TRUST			4,019.80
			WA10450 - OCEAN REEF RD - LIMESTONE	VP248139	812.06	
			WA8828 - WATTLE AVE, QUARRY	VP248139	2,364.82	
			WA8829 - 75MM LIMESTONE	VP248139	842.92	
EF111454	15/05/2023	TRUSTEE FOR WANNEROO AGRICULTURAL MACHINERY UNIT	TRUST			3,710.95
			56612 - SCHEDULED SERVICING		3,710.95	
EF111427	15/05/2023	TURF CARE WA PTY LTD				2,917.20
			INV-6247 - REEL MOWING TURF AREAS AT WARRANDYTE AND		1,012.00	
			INV-6406 - REEL MOWING TURF AREAS AT PERCY DOYLE WE		616.00	
			INV-6425 - 5 GANG TRIPLEX, CATCHER REQUIRED FOR REE		616.00	
			INV-6452 - PERCY DOYLE SOCCER 1 IN DUNCRAIG	VP350044	673.20	
EF111898	31/05/2023	TURF CARE WA PTY LTD				1,620.30
			INV-6474 - PERCY DOYLE SOCCER 1 DUNCRAIG	VP350044	673.20	
			INV-6486 - TRIPLEX MOWER AND CATCHER (5 CYLINDER) T	VP350044	273.90	
			INV-6493 - TRIPLEX MOWER AND CATCHER (5 CYLINDER) T	VP350044	673.20	
EF111969	31/05/2023	TURF DEVELOPMENTS WA PTY LTD				4,791.60
			15545 - REACTIVE MATERIALS - TREE MAINTENANCE		4,791.60	
EF111907	31/05/2023	UES (INT'L) PTY. LTD. (UES INTERNATIONAL)				135.48
			329510 - LOCK DROP		135.48	

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EF111437	15/05/2023	ULVERSCROFT LARGE PRINT BOOKS				2,268.05
			I146066AU - BOOKS & AUDIO FOR BOOKS ON WHEELS		41.14	
			I147961AU - AUDIO AND LARGE PRINT BOOKS		854.40	
			I148127AU - AUDIO AND LARGE PRINT FOR BOOKS		335.25	
			I148128AU - AUDIO AND LARGE PRINT BOOKS		301.81	
			I148270AU - BOOKS & AUDIO FOR BOOKS ON WHEELS		116.81	
			I148271AU - BOOKS & AUDIO FOR BOOKS ON WHEELS		58.40	
			I148273AU - AUDIO AND LARGE PRINT FOR BOOKS ON WHEEL		560.24	
EF111906	31/05/2023	ULVERSCROFT LARGE PRINT BOOKS				504.19
			I149147AU - AUDIO AND LARGE PRINT FOR BOOKS ON WHEEL		203.26	
			I149167AU - AUDIO AND LARGE PRINT FOR BOOKS ON WHEEL		300.93	
EF111374	15/05/2023	UMBERTO PARDINI				4,000.00
			1 - CAE 23 WINNER: MOST OUTSTANDING ARTWORK		4,000.00	
EF111436	15/05/2023	UNICARD SYSTEMS PTY. LIMITED				10,004.50
			INV-73613 - CLC - MEMBERSHIP CARDS & KEY TABS		10,004.50	
EF111905	31/05/2023	UNICARD SYSTEMS PTY. LIMITED				2,839.10
			INV-73810 - RFID WRISTBANDS.		2,839.10	
EF111439	15/05/2023	UNIDATA PTY LTD				6,785.97
			20094 - NEON HOSTING SERVICES		6,785.97	
EF111440	15/05/2023	UNITING GLOBAL PTY LTD				8,740.65
			INV-0516 - CLEANING SERVICES	03922	298.98	
			INV-0517 - FLINDERS HALL	03922	744.01	
			INV-0518 - CARPET AND SOFT FURNISHINGS SHAMPOO	03922	52.80	
			INV-0520 - WINDOW CLEANING	03922	792.00	
			INV-0521 - HEATHRIDGE CLUBROOMS	03922	557.04	
			INV-0522 - RELIEF CLEAN FOR WOC	03922	1,993.20	
			INV-0523 - JOONDALUP ADMIN - 1ST FLOOR		112.75	
			INV-0524 - RELIEF CLEAN AT JOONDALUP ADMIN		124.58	
			INV-0525 - RELIEF CLEAN FOR JOONDALUP ADMIN		124.58	
			INV-0526 - CLEANING GENERAL ROBIN		199.36	
			INV-0527 - JOONDALUP ADMIN	03922	373.73	
			INV-0528 - HAWKER PARK TOILETS		199.36	
			INV-0530 - ROBIN PARK TOILETS		199.36	
			INV-0531 - CLEANING GENERAL COJ ADMIN		124.58	
			INV-0555 - CLEANING SERVICES		199.36	
			INV-0560 - CLEANING OF VARIOUS HALLS		1,516.80	
			INV-0565 - STRIP AND SEAL VINYL	03922	779.35	
			INV-0566 - CLASS 2 - CLEANER (MONDAY TO FRIDAY)	03922	99.66	
			INV-0567 - CLASS 1 - CLEANER (MONDAY TO FRIDAY)	03922	249.15	
EF111908	31/05/2023	UNITING GLOBAL PTY LTD				85,338.27
			INV-0561 - ADMIRAL PARK TOILETS		2,890.74	
			INV-0568 - CLEANING GENERAL ADMIN COJ		124.58	
			INV-0569 - MARMION BEACH TOILETS		199.36	

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			INV-0570 - CONNOLLY HALL	03922	564.45	
			INV-0578 - CLEANING PUBLIC TOILETS 01 -13/04/23		8,400.64	
			INV-0579 - CLEANING COMMUNITY CENTERS APRIL 2023	03922	58,652.73	
			INV-0589 - CLEANING PUBLIC TOILETS 21-30/04/23		3,987.47	
			INV-0590 - SUPPLY AND SERVICE SANITARY BINS 22L	03922	2,368.84	
			INV-0597 - HEATHRIDGE CC CAPET CLEANING		132.00	
			INV-0598 - 11 X COASTAL		973.80	
			INV-0601 - CLASS 2 - CLEANER (SATURDAY)	03922	773.89	
			INV-0602 - CLASS 3 - CLEANER (SATURDAY)	03922	1,044.68	
			INV-0610 - PENISTONE SPORTS	03922	830.27	
			INV-0619 - CARPET AND SOFT FURNISHINGS SHAMPOO	03922	1,927.20	
			INV-0620 - JOONDALUP LIBRARY - OTTOMAN CLEAN	03922	99.66	
			INV-0621 - WINDOW CLEANING	03922	1,329.24	
			INV-0622 - CLASS 1 - CLEANER (MONDAY TO FRIDAY)	03922	373.73	
			INV-0623 - CLASS 4 - CLEANER (SATURDAY)	03922	664.99	
EF111438	15/05/2023	UNITIX				1,001.55
			57089 - WRISTBAND SUPPLY FOR CRAIGIE LEISURE		1,001.55	
EF111400	15/05/2023	VEOLIA RECYCLING & RECOVERY PTY LTD				538,188.29
			166745 - SERVICE CHARGE		-1,045.53	
			166746 - GREENWASTE	03217	445,349.50	
			52808482 - BULK BIN FOR WHITFORDS NODES PARK 2022/2	03217	1,043.97	
			53109368 - PROCESSING OF GARDEN ORGANIC WASTE (ARIS)	03218	83,170.56	
			53109472 - PROCESSING OF GENERAL WASTE WOC APR 23	VP216843	2,340.80	
			53187964 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE CRAIGIE LEIS CTR)	03217	1,101.42	
			53187972 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE FLEUR FREAME PAVILLION)	03217	198.84	
			53187999 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE HEATHRIDGE PARK)	03217	198.84	
			53188019 - SERVICE 1.5 M3 BIN (GENERAL WASTE - NON MOWING SHED MACDONALD PARK)	03217	298.28	
			53188027 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE WOC)	03217	661.10	
			53188035 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE CENTRAL PARK)	03217	149.13	
			53188043 - SERVICE 1.5 M3 BIN (GENERAL WASTE - NON JOONDALUP SPORTS ILUKA)	03217	298.95	
			53188051 - SERVICE 1.5 M3 BIN (GREEN WASTE - NON RE JOONDALUP SPORTS ILUKA)	03217	47.34	
			53188060 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE LOWER CARPARK JOONDALUP)	03217	546.80	
			53188078 - SERVICE 3 M3 BIN RECYCLE PAPER JOONDALUP ADMIN	03217	93.72	

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			53188086 - SERVICE 660 LITRE BIN (GENERAL WASTE - N WHITFORDS HOCKEY	03217	93.72	
			53188094 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE WINTON RD DEPOT	03217	99.42	
			53188107 - SERVICE 1.5 M3 BIN (GENERAL WASTE - NON WARWICK LEIS CTR	03217	298.98	
			53188123 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE MULLALOO SURF CLUB	03217	585.11	
			53188369 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE KINGSLEY REC CENTRE	03217	497.09	
			53188570 - SERVICE 660 LITRE BIN (RECYCLE PAPER & C WHITFORDS LIBRARY	03217	93.72	
			53194671 - SERVICE 660 LITRE BIN (GENERAL WASTE - N SPIERS CENTRE HEATHRIDGE	03217	46.86	
			53196764 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE PINNAROO	03217	894.83	
			53210132 - SERVICE 660 LITRE BIN GENERAL WASTE FOR GRGWA	03217	31.24	
			53215558 - SERVICE 3 M3 BIN (GENERAL WASTE - NON RE PINNAROO	03217	1,093.60	
EF111866	31/05/2023	VEOLIA RECYCLING & RECOVERY PTY LTD				5,589.61
			53188385 - MULTI-USE DWELLINGS - DOMESTIC REFUSE -	03217	5,589.61	
EF111256	15/05/2023	VERTIV (AUSTRALIA) PTY LTD				20,679.45
			65165571 - CRAC AND UPS MAINT (YR 2) AS PER QUOTE.		20,679.45	
EF111909	31/05/2023	VIEWTECH 3D PTY LTD				1,336.50
			INV-C2453 - VIEWTECH 3D TOURS		1,336.50	
EF111158	15/05/2023	VILMA J FLANAGAN				1,054.56
			134287 - RATES REFUND		1,054.56	
EF111120	15/05/2023	VISION EQUITY FUTURE TRUST				1,164.84
			117974 - RATES REFUND		1,164.84	
EF111441	15/05/2023	VOCUS PTY LTD T/AS VOCUS COMMUNICATIONS				48,181.08
			P1004193 - INTERNET SERVICES		14,170.40	
			P1004533 - CLOUD BACKUP FOR VEEAM		34,010.68	
EF111910	31/05/2023	VORGEE PTY LTD (VORGEE)				451.55
			174393 - SUPPLY OF SWIMWEAR, ACTIVEWEAR AND ASSOC	02222	451.55	
EF111137	15/05/2023	W J WILLIAMS				228.00
			2730268 - REFUND CRAIGIE LEIS CTR		228.00	
EF111294	15/05/2023	WA BUS AND COACHLINES PTY LTD (HORIZONS WEST BUS AND				2,389.82
			127073 - AUTUMN SHP 2023 BUS CHARTER		2,389.82	
EF111767	31/05/2023	WA BUS AND COACHLINES PTY LTD (HORIZONS WEST BUS AND				2,677.50
			128046 - BUS SERVICE 36 PAX PICKUP & FUEL		2,677.50	
EF111452	15/05/2023	WA STRUCTURAL CONSULTING ENGINEERS PTY LTD				660.00
			S230065-01 - VALENTINES DAY STAGE INSPECTION		660.00	
EF111915	31/05/2023	WA STRUCTURAL CONSULTING ENGINEERS PTY LTD				1,650.00
			S230152-01 - PUBLIC ARTWORK - ENGINEERING REVIEW		770.00	
			S230158-01 - ENGINEERING SITE VISIT AND LETTER		880.00	

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EF111618	31/05/2023	WADE TURNBRIDGE				152.00
			2786451 - REFUND		152.00	
EF111459	15/05/2023	WAIVPAY LTD				157.50
			INV-5789 - \$50 LAKESIDE GIFT VOUCHERS		157.50	
EF111444	15/05/2023	WALGA				99.00
			288 - PLANT RECOGNITION AND RESTORATION		99.00	
EF111517	17/05/2023	WANNEROO BASKETBALL ASSOCIATION INC				15,400.00
			339 - WOLVES BASKETBALL SPONSORSHIP 70%		15,400.00	
EF111513	15/05/2023	WANNEROO ELECTRICS UNIT TRUST				17,077.50
			B45805 - TESTING AND TAGGING - TESTING OF LEADS, YOUTH SERVICES EQUIPMENT	03022	231.00	
			G28343 - WINTON RD - ANNUAL SOLAR INSPECTION	03022	588.50	
			G46173 - CRAIGIE LEISURE POWER SOCKET	03022	203.50	
			G46298 - WHITFORDS NODES	03022	341.00	
			H28465 - POLE INTEGRITY INSPECTIONS KINGSLEY AREA	03022	15,713.50	
EF111533	17/05/2023	WANNEROO ELECTRICS UNIT TRUST				287.65
			H46071 - CURRAMBINE CC REPAIRS	03022	287.65	
EF111559	19/05/2023	WANNEROO ELECTRICS UNIT TRUST				27,379.00
			BKHG28476 - TESTING OF EXIT SIGNS OR EMERGENCY LIGHT	03022	24,112.00	
			G28347 - MULTI STORY CAR PARK SOLAR INSPECTION		918.50	
			G46353 - HODGES DRIVE CONNOLLY	03022	2,249.50	
			G46364 - WEST COAST DRIVE	03022	99.00	
EF111970	31/05/2023	WANNEROO ELECTRICS UNIT TRUST				158,013.53
			B28460 - JOONDALUP ADMIN	03022	135.30	
			B28477 - RCD TESTING PARKS - TEST AND RECORD RCD	03022	2,838.00	
			B28494 - JOONDALUP ADMIN	03022	135.30	
			B28512 - JOONDALUP ADMIN REPAIRS	03022	458.70	
			B28513 - JOONDALUP LIBRARY REPAIRS	03022	1,098.90	
			B28515 - JOONDALUP CIVIC REPAIRS	03022	264.00	
			B28517 - LOTTERIES HOUSE REPAIRS	03022	1,447.93	
			B45002 - JOONDALUP ADMIN	03022	1,893.60	
			B45803 - TESTING AND TAGGING - TESTING OF LEADS,	03022	330.00	
			B45804 - TESTING AND TAGGING - TESTING OF LEADS,	03022	841.50	
			B46116 - ELECTRICAL WORKS - JOONDALUP ADMIN	03022	7,065.47	
			B46252 - BROADBEACH PARK REPLACE AERATOR	03022	6,163.52	
			B46327 - CURRAMBINE COMMUNITY CENTRE	03022	93.50	
			B46343 - JOONDALUP LIBRARY CABLE	03022	209.12	
			B46372 - WARWICK C/H LIGHTS	03022	86.90	
			B46375 - KEY WEST LIGHTS	03022	412.50	
			B46376 - BRIDGEWATER PARK LIGHTS	03022	99.00	
			B46380 - HEATHRIDGE C/C REPAIRS	03022	495.00	
			B46382 - JOONDALUP ADMIN LIGHTS	03022	93.50	
			B46383 - JOONDALUP ADMIN - CEO OFFICE	03022	8,511.72	

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			B46398 - JOONDALUP ADMIN	03022	86.90	
			B46399 - JOONDALUP ADMIN LIGHTS	03022	80.30	
			B46401 - PRINCE REGENT PARK REPAIRS	03022	144.10	
			B46407 - JOONDALUP ADMIN		703.18	
			B46409 - POWER SHUTDOWN	03022	3,011.80	
			B46423 - JOONDALUP LIBRARY LIGHTS	03022	804.10	
			B46427 - JOONDALUP LIBRARY DATA POINT	03022	117.41	
			B46433 - JOONDALUP ADMIN		112.20	
			B46442 - JOONDALUP ADMIN LIGHTS	03022	427.90	
			B46449 - TEST OPERATION AND REPAIR – CHECK OPERAT	03022	550.00	
			B46450 - HILLARYS BEACH LIGHTS	03022	99.00	
			B46456 - BURNS BEACH TOILETS WIRES	03022	366.14	
			B46458 - JOONDALUP ADMIN LIGHTS	03022	976.80	
			B46460 - BARRIDALE PARK NO POWER	03022	99.00	
			B46461 - JOONDALUP ADMIN LIGHT	03022	90.20	
			B46464 - JOONDALUP C/C CHARGING STATION	03022	90.20	
			B46466 - HEATHRIDGE C/R EXTRACTOR FAN	03022	99.00	
			B46467 - HEATHRIDGE C/R POWERPOINTS	03022	189.20	
			B46484 - JOONDALUP SPORTS TEST & REPAIR	03022	3,657.07	
			B46489 - JOONDALUP ADMIN LIGHTS	03022	90.20	
			B46510 - CONNOLLY C/C NO POWER TO ALARM	03022	341.00	
			B46524 - ELECTRICAL TRADES PERSON - SATURDAY	03022	312.40	
			B46537 - HEATHRIDGE C/RTEST OPERATION AND REPAIR	03022	99.00	
			B46539 - JOONDALUP ADMIN CEILING LIGHTS	03022	449.90	
			B46541 - RENEW T8 FLUORESCENT TUBE	03022	80.30	
			B46553 - HEATHRIDGE C/C WEATHERPROOF LIGHT	03022	1,056.00	
			B46554 - CHICHESTER PARK	03022	341.00	
			B46555 - CLC STEAM ROOM	03022	341.00	
			B46557 - JOONDALUP ADMIN	03022	2,877.60	
			B46571 - JOONDALUP ADMIN RECEPTION	03022	459.25	
			B46578 - JOONDALUP ADMIN	03022	319.00	
			B46579 - JOONDALUP ADMIN - REFURB WORKS	03022	46,713.06	
			B46588 - JOONDALUP RECEPTION	03022	180.40	
			B46594 - JOONDALUP ADMIN	03022	80.30	
			B46606 - CHICHESTER PARK	03022	726.00	
			B46630 - COJ ADMIN COOMUNITY SAFETY DATA CABLING	03022	213.40	
			B46634 - JOONDALUP ADMIN LEVEL 1	03022	90.20	
			B46635 - JOONDALUP ADMIN GND FLR	03022	129.80	
			B46655 - FLUORESCENT TUBE	03022	80.30	
			D28479 - RCD TESTING PARKS	03022	3,498.00	
			D28571 - CHRISTCHURCH PARK REPAIRS	03022	319.00	
			D28572 - NEIL HAWKINS REPAIRS	03022	242.00	
			D28573 - ILUKA SPORTS COMPLIANCE REPAIRS	03022	411.13	
			D46384 - GENEFF PARK	03022	1,038.40	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			D46387 - MAWSON PARK	03022	708.40	
			D46434 - ATMA PARK	03022	539.00	
			D46446 - MONTAGUE PARK REPAIRS	03022	644.60	
			D46448 - CLC - INSTALL 8 WIFI ACCESS POINTS	03022	1,604.28	
			D46451 - WHITFORDS SENIOR CITIZENS CENTRE	03022	222.20	
			D46452 - GROVE CHILD CARE	03022	355.30	
			D46455 - DELAMERE PARK	03022	233.20	
			D46469 - HEATHRIDGE PARK REPAIRS	03022	638.00	
			D46470 - CHRISTCHURCH PARK REPAIR FLOODLIGHTS	03022	435.60	
			D46473 - FLINDERS PARK FOOTPATH LIGHTING REPAIR	03022	376.20	
			D46500 - WOODVALE LIBRARY REPAIRS	03022	1,718.75	
			D46593 - JUNIPER PARK TOILETS	03022	99.00	
			D46601 - AREA 4 PADBURY	03022	3,877.50	
			D46604 - MARRI PARK	03022	996.93	
			D46628 - MULTI STOREY CAR PARK	03022	99.00	
			D46667 - PENISTONE CLUBROOMS	03022	341.00	
			G45834 - ELECTRICAL TRADES PERSON - NORMAL HOURS		90.20	
			G46181 - CRAIGIE LEISURE	03022	257.40	
			G46241 - TIMBERLANE PARK	03022	1,845.80	
			G46286 - CRAIGIE LEISURE LIGHTS	03022	1,191.30	
			G46487 - CLC LIGHT CONTROL PANEL	03022	231.00	
			G46495 - GROVE CCC HWS LEAK	03022	182.60	
			G46504 - PENISTONE PARK	03022	4,314.31	
			G46505 - FORREST PARK CLUBROOMS	03022	2,053.70	
			G46508 - WARWICK HOCKEY	03022	99.00	
			G46515 - MACDONALD PARK REPAIRS	03022	99.00	
			G46516 - SORRENTO BEACH PARK REPAIR LIGHTS	03022	99.00	
			G46520 - TEST OPERATION AND REPAIR - CHECK OPERAT	03022	99.00	
			G46523 - WONDERLAND DAY CARE DUNCRAIG	03022	128.70	
			G46531 - RENEW 10 AMP DOUBLE POWER OUTLET - SUPPL	03022	93.50	
			G46542 - RENEW T8 FLUORESCENT TUBE 18W-58W. SUPPL	03022	458.70	
			G46545 - CASTLECRAG PARK REPAIRS	03022	470.80	
			G46552 - RENEW T8 FLUORESCENT TUBE 18W-58W. SUPPL	03022	185.90	
			G46556 - CALECTASIA PARK REPAIRS	03022	95.70	
			G46564 - EMERALD CLUBROOMS	03022	99.00	
			G46566 - WHITFORDS EAST PARK REPAIRS	03022	99.00	
			G46569 - POWERPOINT	03022	267.30	
			G46570 - KURRAJONG PARK	03022	321.75	
			G46573 - TEST OPERATION AND REPAIR - CHECK OPERAT	03022	99.00	
			G46574 - WOODVALE LIBRARY	03022	1,125.85	
			G46575 - WHITFORDS WEST PARK	03022	701.80	
			G46581 - HEATHRIDGE C/R CHANGEROOMS	03022	469.70	
			G46596 - CAMBERWARRA PARK	03022	412.50	
			G46603 - WHITFORDS EAST PARK	03022	276.38	

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			G46617 - EMERALD PARK CLUBROOMS	03022	222.20	
			G46620 - CASTLECRAG PARK	03022	7,532.14	
			G46621 - ELECTRICAL TRADES PERSON - NORMAL HOURS	03022	646.03	
			G46622 - FLEUR FREAME	03022	412.50	
			G46623 - TEST OPERATION AND REPAIR - CHECK OPERAT	03022	292.05	
			G46627 - SEACREST CLUBROOMS	03022	563.20	
			G46636 - LEXCEN PARK SHED	03022	99.00	
			G46642 - SEACREST CLUBROOMS	03022	99.00	
			G46643 - RENEW T5 FLUORESCENT TUBE	03022	210.10	
			G46644 - CURRAMBINE C/C	03022	409.20	
			G46647 - MOOLANDA PARK	03022	314.60	
			G46648 - ACRAIGIE LEISURE CENTRE	03022	82.50	
			G46651 - HEATHRIDGE C/C	03022	566.50	
			G46659 - TEST OPERATION AND REPAIR - CHECK OPERAT	03022	361.90	
			G46664 - GREENWOOD SCOUT	03022	86.90	
			H46206 - COX PLACE	03022	1,095.71	
			K46213 - HEATHRIDGE PARK	03022	856.90	
			K46271 - REVITALISE PARK REPAIR LIGHTS	03022	144.10	
			K46285 - SOUTHERN CROSS PARK	03022	94.60	
			K46299 - ESORRENTO SOUTH TOILETS	03022	121.55	
			K46377 - CHICHESTER PARK, WOODVALE REPAIRS	03022	1,585.65	
			K46412 - SANTIAGO PARK REPAIRS	03022	144.10	
			K46419 - ADMIRAL PARK REPAIRS	03022	144.10	
			K46420 - ADMIRAL PARK REPAIRS	03022	189.20	
			K46424 - OCEAN REEF BOAT	03022	99.00	
			K46425 - SORRENTO C/H	03022	264.00	
			K46426 - HEATHRIDGE CLUBROOMS	03022	99.00	
			K46430 - CHARONIA PARK	03022	99.00	
			K46431 - ELECTRICAL TRADES PERSON - NORMAL HOURS	03022	90.20	
			K46447 - WORK OPERATION CENTRE	03022	121.55	
			K46453 - WARWICK OPEN SPACE REPAIRS	03022	663.30	
			K46454 - ELLERSDALE PARK REPAIRS	03022	1,679.70	
			K46480 - PENISTONE PARK REPAIRS	03022	99.00	
			K46481 - KINGSLEY MEMORIAL	03022	321.20	
			K46482 - SORRENTO FOOTBALL LIGHTS	03022	99.00	
			K46483 - GLENGARRY PARK TOILETS	03022	99.00	
			K46490 - WORKS OPERATIONS CENTRE	03022	2,039.40	
			K46492 - TEST OPERATION AND REPAIR - CHECK OPERAT	03022	209.00	
			K46497 - ELECTRICAL TRADES PERSON	03022	135.30	
			K46501 - HEATHRIDGE PARK REPAIRS	03022	99.00	
			K46560 - BELDON PARK	03022	718.30	
			K46576 - BELDON PARK	03022	135.30	
			K46665 - SANTIAGO PARK TOILETS	03022	716.10	
			T46514 - PENISTONE PARK	03022	330.00	
112806	5/05/2023	WANNEROO STAMP CLUB				37.12
			28558 - REFUND OF HIRE FEE			37.12
EF111514	15/05/2023	WATER CORPORATION				70,329.76

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			9003068853 20/04/23 - PADBURY CIR, SORRENTO		35.26	
			9003073089 19/04/23 - MARMION BEACH T/C		376.97	
			9003073126 20/04/23 - 189 WEST COAST DR SORRENTO LOT 301		2,223.84	
			9003073134 20/04/23 - 141 WEST COAST DR SORRENTO LOT 300 RES 2		333.58	
			9003077098 19/04/23 - BRADEN PARK DRINK FOUNTAIN		10.85	
			9003081345 20/04/23 - ROBIN AVE, SORRENTO		59.66	
			9003096395 - GRANT STREET DUNCRAIG		263.06	
			9003097056 24/04/23 - AYTON WAY DUNCRAIG		32.54	
			9003121001 19/04/23 - SEACREST DR, SORRENTO		78.65	
			9003148028 26/04/23 - BROADBEACH BVD HILLARYS		496.30	
			9003158015 26/04/23 - FORREST RD, PADBURY		705.12	
			9003165274 26/04/23 - KIMBERLEY RD HILLARYS		51.53	
			9003172175 26/04/23 - NORTHSHORE DR KALLAROO		246.79	
			9003184360 24/04/23 - GIBSON AVENUE		5.42	
			9003187641 24/04/23 - GIBSON PARK		37.97	
			9003198471 27/04/23 - WHITFORDS AV HILLARYS		349.85	
			9003200906 21/04/23 - CHURTON CR, WARIWICK		5.42	
			9003216609 24/04/23 - BEACH RD DUNCRAIG		51.53	
			9003217484 24/04/23 - RIMU PL DUNCRAIG		73.22	
			9003223294 26/04/23 - HAWKER AV WARWICK LOT 10346		18.98	
			9003228001 24/04/23 - GROVE CHILD CARE WATER		721.26	
			9003229266 24/04/23 - DORCHESTER HALL WATER		447.48	
			9003229274 24/04/23 - WARWICK COMM HALL		360.70	
			9003231622 24/04/23 - WARWICK SPORTS CENTRE		3,023.88	
			9003238234 19/04/23 - PENISTONE ST, GREENWOOD		84.07	
			9003270517 28/04/23 - MERRICK WAY DUNCRAIG		24.41	
			9003270525 20/04/23 - MERRICK WAY, DUNCRAIG		48.82	
			9003279773 20/04/23 - BLACKALL DR GREENWOOD		32.54	
			9003281080 19/04/23 - BEECH RD, KINGSLEY		1,426.35	
			9003285604 20/04/23 - 5 CALECTASIA ST GREENWOOD		447.48	
			9003285612 20/04/23 - CALECTASIA ST, GREENWOOD		393.24	
			9003295490 18/04/23 - KINGSLEY COMM VISION/SILVER CHAIN		254.93	
			9003393402 20/03/23 - CAMBERWARRA DR CRAIGIE		279.34	
			9003393592 17/03/23 - MAYHILL PL, CRAIGIE		10.85	
			9003590799 28/04/23 - KINGSLEY DR, KINGSLEY		282.05	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			9003594917 28/04/23 - ALTHAEA WAY WOODVALE L		62.38	
			9003603668 27/04/23 - MOOLANDA BVD KINGSLEY		54.24	
			9003615458 28/04/23 - TRAPPERS CT, WOODVALE		252.22	
			9003616952 03/04/23 - TRAPPERS DR WOODVALE LOT 557		736.63	
			9003616952 27/04/23 - TRAPPERS DR WOODVALE		173.57	
			9003731969 11/04/23 - WINTON RD JOONDALUP ELCAR PARK DRINK FOUNTAIN		8.14	
			9003758387 14/04/23 - CALEDONIA T/C		35.26	
			9003801605 14/04/23 - CHRISTCHURCH PARK TOILET WATER		40.68	
			9010448942 26/04/23 - AMALFI DR HILLARYS LOT 141		8.14	
			901175363 20/04/23 - SIR JAMES MCCUSKER PARK DRINK FOUNTAIN		130.18	
			9013371135 17/04/23 - DELAMERE AV CURRAMBINE LOT 1574		674.76	
			9014414766 20/04/23 - BURNS BEACH RD ILUKA LOT12803 RES 45122		767.50	
			9015727641 17/04/23 - WOC LEASE FEE WATER CORPORATION		44,333.03	
			9020667284 11/04/23 - CENTRAL WALK DRINK FOUNTAIN		16.27	
			9021647613 19/04/23 - SHEPHERDS BUSH DR KINGSLEY		32.54	
			9021752536 24/03/23 - CAMBERWARRA PARK FOUNTAIN		18.98	
			9024117263 19/04/23 - ASSEMBLY WAY, GREENWOOD		8.14	
			9024117263 20/02/23 - ASSEMBLY WAY, GREENWOOD		21.70	
			9024907046 20/04/23 - BYRNE CL PADBURY		9,661.46	
EF111971	31/05/2023	WATER CORPORATION				75,324.83
			9003096395 21/04/23 - GRANT ST DUNCRAIG		470.78	
			9003198455 26/04/23 - HILLARYS ANIMAL BEACH TOILET WATER		2,887.11	
			9003254533 19/04/23 - MADRONA CR		8.13	
			9003313206 12/05/23 - BANKS AV HILLARYS		268.49	
			9003327106 12/05/23 - SCAPHELLA AV MULLALOO		35.26	
			9003331834 16/05/23 - OCEANSIDE PROM MULLALOO		1,472.62	
			9003331850 16/05/23 - OCEANSIDE PROM MULLALOO		520.70	
			9003331877 12/05/23 - OCEANSIDE PROM MULLALOO		295.61	
			9003337419 15/05/23 - BALGA WAY MULLALOO		8.14	
			9003340036 15/05/23 - DAMPIER AVE KALLAROO		21.70	
			9003343712 12/05/23 - KOORANA RD MULLALOO		37.97	
			9003349567 12/05/23 - BANKS AV HILLARYS		35.26	
			9003352862 15/05/23 - 23 BATAVIA PLACE KALLAROO		24.41	
			9003359036 15/05/23 - BELROSE PARK TOILET WATER		97.63	
			9003361451 17/05/23 - FORREST RD PADBURY		157.30	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			9003375247 19/05/23 - 751 WHITFORDS AVE CRAIGIE		10,923.94	
			9003378536 16/05/23 - GRADIENT WAY BELDON		35.26	
			90033823847 05/05/23 - BURNS BEACH RD SHOULD BE 9003823847		124.75	
			9003393402 17/05/23 - CAMBERWARRA DR CRAIGIE		113.90	
			9003393592 16/05/23 - MAYHILL PL CRAIGIE CAMBERWARRA PARK DF		8.13	
			9003630973 10/05/23 - CHANNEL DR HEATHRIDGE		132.89	
			9003633437 11/05/23 - PRINCE REGENT DR HEATHRIDGE		89.50	
			9003650560 09/05/23 - SAIL TCE HEATHRIDGE		75.94	
			9003650579 09/05/23 - HEATHRIDGE COMMUNITY CENTRE WATER		176.28	
			9003680946 12/05/23 - EMERALD WAY EDGEWATE		496.30	
			9003785510 23/03/23 - ILUKA BEACH FORESHORE SHOWERS WATER		86.78	
			9003792673 23/05/23 - CONSTELLATION DR OCEAN REEF		97.63	
			9003826685 11/05/23 - FALKLAND PARK TOILET WATER		40.68	
			9003829245 11/05/23 - MACNAUGHTON CLUB		54.24	
			9014745434 05/05/23 - BEACHSIDE DR BURNS BEACH		35.26	
			9015727641 16/05/23 - WOK LEASE FEE OCEAN REEF ROAD, CRAIGIE		44,333.03	
			9016054127 05/05/23 - BRAMSTON VISTA		97.63	
			9016138945 18/05/23 - COYLE RD CRAIGIE		2,391.98	
			9020349729 9/05/23 - MCINTYRE PARK DRINK FOUNTAIN		8.14	
			9024926968 04/05/23 - STANDARD WATER SERVICE		9,661.46	
EF111458	15/05/2023	WATERLINK ELEMENTS PTY LTD (WATER-LINK IRRIGATION)				8,134.50
			499 - TRAPPERS DRIVE WOODVALE		1,100.00	
			514 - GALSON PARK & POYNTER PARK		7,034.50	
EF111118	15/05/2023	WATERWISE LANDSCAPING PTY LTD				61.65
			BPU22/0762 - BUILDING PERMIT REFUND		61.65	
EF111460	15/05/2023	WAY FUNKY COMPANY PTY LTD				1,204.72
			INV120263 - CRAIGIE LEISURE CENTRE-SWIMWEAR	02222	1,204.72	
EF111453	15/05/2023	WCP CIVIL PTY LTD				322,204.39
			28818 - ASPHALT SHARED PATH UPGRADE - JOONDALUP		27,346.00	
			28914 - CONNOLLY DRIVE WORKD		164,449.33	
			28915 - VIRGLIA STREET WORKS		130,409.06	
EF111657	31/05/2023	WEB KEY IT PTY LTD (ABLEDOCS)				4,596.90
			766 - ACCESSIBILITY TRAINING FOR MARKETING		4,596.90	
EF111312	15/05/2023	WESFARMERS KLEENHEAT GAS PTY LTD				2,259.15
			6206796 05/05/23 - CRAIGIE LEISURE CENTRE GAS		2,259.15	
EF111450	15/05/2023	WESKERB PTY LTD				74,714.92
			04623 - DALTON CRESCENT, KINGSLEY	02522	640.02	
			4610 - NIMROD PLACE, HILLARYS	02522	22,242.28	

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			4611 - MAWSON CRESCENT, HILLARYS	02522	12,819.26	
			4619 - PLOVER WAY, KINGSLEY	02522	745.62	
			4622 - WHITECAP COURT, EDGEWATER	02522	640.02	
			4624 - LUCERNE GARDENS, EDGEWATER	02522	640.02	
			4625 - TYRELL COURT, EDGEWATER	02522	323.22	
			4627 - BUCHAN PLACE, HILLARYS	02522	16,031.70	
			4628 - JUNO COURT, KALLAROO	02522	7,167.63	
			4629 - EDITH CLOSE, KINGSLEY	02522	10,860.51	
			4632 - CRINUM COURT, WOODVALE	02522	801.64	
			4634 - SHENTON AVE, JOONDALUP	02522	1,803.00	
EF111557	19/05/2023	WESKERB PTY LTD				29,026.83
			4568 - LAMBERTIA STREET, GREENWOOD	02522	29,026.83	
EF111398	15/05/2023	WESPRAY ON PAVING PTY LTD				385.00
			INV-0968 - GLENMERE PARK , WARWICK		385.00	
EF111099	15/05/2023	WEST AUSTRALIAN NEWSPAPERS	IMITED			7,455.71
			1001864820230430 - VOICE 23 MARCH 2023		7,455.71	
EF111574	31/05/2023	WEST AUSTRALIAN NEWSPAPERS	IMITED			14,632.65
			1001864820230331 - MARCH CHARGES		13,206.65	
			126845 05/05/23 - NEWSPAPERS FOR LIBRARY ADMINISTRATION		432.00	
			126880 19/05/23 - SUBSCRIPTION PAYMENT NO 01268804		752.40	
			281827 24/04/23 - NEWSPAPERS FOR WHITFORDS LIBRARY		60.40	
			8467 15/05/23 - NEWSPAPERS FOR DUNCRAIG LIBRARY		181.20	
EF111183	15/05/2023	WEST COAST SPRING WATER (AUSSIE NATURAL SPRING WATER)				55.00
			2670198 - WATER BOTTLES		55.00	
EF111639	31/05/2023	WEST COAST SPRING WATER (AUSSIE NATURAL SPRING WATER)				33.00
			2677407 - WATER BOTTLES		33.00	
EF111449	15/05/2023	WESTERN IRRIGATION PTY LTD				50,607.36
			G43982 - PRO 900 HIGH POWER VALVE LOCATOR		2,498.38	
			G43988 - VALVE BOX RAINBIRD STANDARD WITH LID 12"	03822	3,740.00	
			G43989 - SPRINKLER RAINBIRD 6504 FC S/S	03822	2,797.96	
			G43990 - SPRINKLER	03822	203.46	
			G43991 - SPRINKLER RAINBIRD	03822	2,706.00	
			G43992 - TOOLS	03822	150.26	
			G44014 - PIPE PVC 50MM	03822	1,637.48	
			G44016 - SPRINKLER HUNTER	03822	7,425.00	
			G44017 - NOZZLE RAINBIRD		107.25	
			G44017 - NOZZLE RAINBIRD	03822	3,078.35	
			G44018 - PIPES		220.00	
			G44018 - PIPES	03822	6,843.10	
			G44019 - FITTING PVC	03822	72.88	
			G44020 - PVC PIPES	03822	461.01	
			G44021 - SPRINKLER TORO	03822	88.44	
			G44022 - PVC PIPES	03822	1,207.69	
			G44023 - FITTING POLY RISER EXTENSION	03822	116.60	
			G44024 - FITTING PVC	03822	1,502.71	
			G44032 - CHICHESTER PARK		11.77	
			G44032 - CHICHESTER PARK	03822	317.39	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			G44091 - NOZZLE HUNTER ROTATOR	03822	193.55	
			G44092 - SPRINKLER	03822	2,727.34	
			G44126 - VALVE BOX RAINBIRD STANDARD	03822	8,852.80	
			G44200 - PVC TELESCOPIC COUPLING	03822	124.30	
			G44201 - SPRINKLER HUNTER	03822	797.51	
			G44202 - NOZZLE TORO	03822	90.75	
			G44203 - SPRINKLER TORO	03822	259.38	
			G44204 - SPRINKLER RAINBIRD	03822	2,376.00	
EF111914	31/05/2023	WESTERN IRRIGATION PTY LTD				17,279.87
			G43887 - SPRINKLER RAINBIRD	03822	3,036.00	
			G43956 - RETIC ITEMS		117.98	
			G43997 - RETIC ITEMS		75.63	
			G44276 - FITTING PVC COUPLING 40MM	03822	2,372.26	
			G44278 - VALVE 15MM BRASS SNIFTER (VACUUM RELEASE	03822	275.00	
			G44306 - SPRINKLER RAINBIRD 6504 FC S/S	03822	2,453.88	
			G44419 - FITTING PVC TELESCOPIC COUPLING	03822	22.11	
			G44420 - FITTING PVC COUPLING	03822	94.06	
			G44421 - HUNTER SPRINKLER	03822	297.83	
			G44455 - SPRINKLER HUNTER	03822	1,188.00	
			G44565 - SPRINKLER HUNTER	03822	1,485.00	
			G44659 - PVC PRESSURE PIPES	03822	732.27	
			G44660 - IRRIGATION VALVE		5,016.00	
			G44662 - TORO 570 POP UP	03822	113.85	
EF111515	15/05/2023	WESTERN POWER				10,431.00
			CORPB0658510 - MACDONALD AVE PADBURY LIGHTING		10,431.00	
EF111972	31/05/2023	WESTERN POWER				3,026.04
			CORPB0657584 - VEGETATION ENCROACHMENT		3,026.04	
EF111516	15/05/2023	WHITFORD COMMUNITY RATEPAYERS AND RECREATION ASSOCIATION				449.24
			1275 - BUS HIRE		449.24	
112811	5/05/2023	WHITFORD LIBRARY PETTY CASH				192.15
			PETTY CASH P/E 27/04/23 - PETTY CASH REIMBURSEMENT P/E 27/04/23		192.15	
EF111926	31/05/2023	WHITFORD MASTERS SWIMMING CLUB INC				5,890.00
			29052023 - COMMUNITY FUNDING PROGRAM - SMALL GRANT		5,890.00	
EF111922	31/05/2023	WHOSONLOCATION				849.00
			INV-40637 - ANNUAL SUBSCRIPTION 2022/2023		849.00	
EF111455	15/05/2023	WINC AUSTRALIA PTY LIMITED (WINC AUSTRALIA)				4,240.14
			246896 - STATIONERY		145.75	
			9041597472 - STATIONERY		147.09	
			9042178688 -		58.92	
			9042191806 - CASTAWAY 2 PLY LUNCHEON NAPKINS 310X310M		510.40	
			9042193615 - BATTERY CREDIT RE INV 9042059548		-16.01	
			9042196838 - STATIONERY		986.59	
			9042202243 - STATIONERY		56.60	
			9042234057 - STATIONERY		71.68	
			9042234061 - STATIONERY		126.39	
			9042235984 - STATIONERY		244.73	

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			9042237677 - VERBATIM ACTIVE NOISE CANCELLING HEADSET		147.94	
			9042237768 - STATIONERY		9.41	
			9042244721 - STATIONERY		17.71	
			9042249832 - STATIONERY		147.11	
			9042258917 - STATIONERY		55.76	
			9042260943 - STATIONERY		35.09	
			9042263348 - STATIONERY		105.53	
			9042272321 - KLEENEX 4715 FACIAL TISSUE BOX 2 PLY WHI		46.63	
			9042305641 - REFER TO 9042178688		-58.92	
			9042305646 - OFFICEMAX HATCOAT STAND WOODEN END CAPS		47.92	
			9042311042 - STATIONERY		120.03	
			9042311358 - STATIONERY		202.25	
			9042311398 - WINC MICROFIBRE TECHNICAL CLEANING CLOTH		27.32	
			9042336389 - STATIONERY		57.28	
			9042336507 - STATIONERY		68.84	
			9042337575 - STATIONERY		160.18	
			9042339354 - STATIONERY		188.10	
			9042362233 - STATIONERY ETC		152.80	
			9042362237 - STATIONERY		153.96	
			9042374365 - STATIONERY		73.79	
			9042386017 - STATIONERY		149.27	
EF111920	31/05/2023	WINC AUSTRALIA PTY LIMITED (WINC AUSTRALIA)				8,469.25
			9042281369 - UVEX AC-PD CLEAR DISPOSABLE EAR PLUG DIS		201.30	
			9042287321 - STATIONERY ETC		524.28	
			9042336291 - DOCUMENT FRAME		427.96	
			9042343642 - STATIONERY		1,662.01	
			9042386994 - STATIONERY		327.80	
			9042409580 - STATIONERY		70.70	
			9042409979 - STATIONERY		84.18	
			9042420141 - LOGITECH H110 STEREO HEADSET		576.38	
			9042420204 - STATIONERY		96.54	
			9042420515 - STATIONERY		239.75	
			9042431846 - KENSINGTON SPACE SAVING FOOT REST		46.53	
			9042432385 - CANON LS-82Z DESKTOP CALCULATOR		1,961.76	
			9042433071 - STATIONERY		180.10	
			9042433814 - STATIONERY		47.41	
			9042443882 - STATIONERY		216.04	
			9042444184 - STATIONERY		120.75	
			9042444318 - CORPORATE EXPRESS NAME CARD SOFT PLASTIC		190.76	
			9042455585 - STATIONERY		81.71	
			9042465661 - STATIONERY		360.16	
			9042466542 - WILTSHIRE 24 PIECE CUTLERY SET		141.94	
			9042474764 - STATIONERY		290.98	
			9042495319 - ENERGIZER BATTERIES		41.09	
			9042498185 - STATIONERY		231.89	
			9042506991 - STATIONERY		89.45	
			9042509343 - STATIONERY		132.64	
			9042514808 - STATIONERY		28.19	

ATTACHMENT 12.7.1

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Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
			9042519327 - STATIONERY		96.95	
EF111917	31/05/2023	WITHERINGTON FAMILY TRUST T/AS WA LIBRARY SUPPLIES				4,505.79
			133566 - TYPHOON FLIP TABLE		4,306.00	
			133724 - CUSTOM ACRYLIC SERIES HOLDER WITH SIDES		199.79	
EF111461	15/05/2023	WOMEN OF WORLD STAGE INC.				3,125.00
			14 - LIVE PERFORMANCE HARMONY WEEK DINNER		1,250.00	
			15 - CATERING FOR HARMONY WEEK		1,875.00	
EF111451	15/05/2023	WOODLANDS DISTRIBUTORS PTY LTD				18,229.20
			5773 - DEGRADABLE DOG WASTE BAGS	01220	18,229.20	
112836	25/05/2023	WOODVALE LIBRARY PETTY CASH				359.75
			19052023 - PETTY CASH REIMBURSEMENT		359.75	
112822	10/05/2023	WORKERS COMPENSATION NOMINAL INSURER T/A ICARE WORKERS INSUR				428.60
			1018889386 - INSURANCE		428.60	
EF111391	15/05/2023	WRAPTURE DESIGNS PTY LTD T/AS SIGNS	SONIC			770.00
			INV-7966 - REMOVAL OF DECALS FROM FLEET VEHICLE		770.00	
EF111463	15/05/2023	XCELLERATE IT PTY LTD				24,414.53
			2524 - KOFAX ANNUAL SOFTWARE ASSURANCE RENEWAL		24,414.53	
EF111462	15/05/2023	XSENTIAL PTY LTD				710.60
			9188 - SERVICE/REPAIR		710.60	
EF111807	31/05/2023	YESPAR FAMILY TRUST T/AS MEDIA ON MARS				2,200.00
			INV-0773599 - ARTWORK & STYLE GUIDE -JF		2,200.00	
EF111464	15/05/2023	YHI POWER PTY LTD				106.37
			68021544 - PARTS ONLY		106.37	
EF111927	31/05/2023	YHI POWER PTY LTD				899.08
			68021576 - PARTS NPK K105D31L 12V 750CCA MF SLI		131.45	
			68021619 - PARTS NPK K105D31R		256.96	
			68021669 - PARTS ONLY		297.94	
			9036003487 - 12V BATTERY		212.73	
EF111499	15/05/2023	ZBIGNIEW MIELCZAREK				190.00
			04/05/23 - BUS DUTIES REIMBURSEMENT		190.00	
EF111465	15/05/2023	ZIPFORM PTY LTD				1,229.87
			215919 - DISTRIBUTION SANTIAGO PARK COMMUNITY CONSULT SPORTS FLOODLIGHT UPGRADE		1,180.37	
			216030 - COURIER LEAFY CITY DLX ENVELOPES		49.50	
EF111929	31/05/2023	ZOO BUSINESS MEIDA PTY LTD				143.00
			154611 - 2022 MUSIC SUBSCRIPTION FOR THE CRAIGIE		143.00	
					10,032,440.09	

**CEO's Delegated Payments List - Regulation 13(1)
Local Government (Financial Management) regulations 1996 ATTACHMENT 1
LIST OF MUNICIPAL PAYMENTS - Payment Detail for Month of May 2023**

Payment No	Payment Date	Payee	Invoice Description	Contract	Invoice Amount	Payment Amount
Cancelled payments issued in May 2023						
EF111223	30/05/2023	MILLREEF HOLDINGS PTY LTD ATF NO. 2 TRUST	MILLER			0.00
EF111426	19/05/2023	THE TRUSTEE FOR JOONDALUP AVIATION TRUST (HARVEY)	TRUST NO. 2			0.00
						0.00
Cancelled payments issued prior to May 2023						
EF111045	10/05/2023	CARROL WANNELL				-344.00
			EF111045 -			-344.00
EF110800	11/05/2023	D WYNNE				-4,187.00
			EF110800 -			-4,187.00
EF110792	19/05/2023	N V GORNELL				-63.00
			EF110792 -			-63.00
112262	8/05/2023	RICHARD KEAY				-150.00
			112262 -			-150.00
						-4,744.00
NET PAYMENT AMOUNT						\$10,027,696.09

CEO's Delegated Payments List - Regulation 13(1)
Local Government (Financial Management) regulations 1996 ATTACHMENT 2
LIST OF BOND PAYMENTS - Payment Detail for Month of May 2023

Payment No	Payment Date	Payee	Invoice Description	Invoice Amount	Payment Amount
Payments					
EF111087	11/05/2023	COLLENE MORRISON			750.00
			BOND	750.00	
EF111090	11/05/2023	CRAIG PARAMOR			2,500.00
			BOND	2,500.00	
EF111083	11/05/2023	EMILY J SUMNER			750.00
			BOND	750.00	
EF111086	11/05/2023	G LOWE-GUEST			750.00
			BOND	750.00	
EF111088	11/05/2023	GITABEN PATEL			750.00
			BOND	750.00	
EF111562	23/05/2023	JESSICA REYES			2,500.00
			BOND	2,500.00	
EF111560	23/05/2023	JULIE ANN WALSH			750.00
			BOND	750.00	
EF111084	11/05/2023	KINGSLEY JUNIOR FOOTBALL CLUB			750.00
			BOND	750.00	
EF111089	11/05/2023	LUCIE NORMAN			750.00
			BOND	750.00	
EF111564	29/05/2023	MARIE ACACIO			750.00
			BOND	750.00	
EF111085	11/05/2023	NORTHCLIFFE SURF LIFE SAVING CLUB			750.00
			BOND	750.00	
EF111082	11/05/2023	NORTHERN WARRIORS VETERANS FOOTBALL CLUB			750.00
			BOND	750.00	
EF111563	29/05/2023	OCEAN RIDGE JUNIOR FOOTBALL CLUB			750.00
			BOND	750.00	
EF111561	23/05/2023	REX B ASHMAN			750.00
			BOND	750.00	
EF111091	11/05/2023	SUREFENCE WA			2,675.90
			BOND	2,675.90	
				16,675.90	

CEO's Delegated Payments List - Regulation 13(1)
Local Government (Financial Management) regulations 1996 ATTACHMENT 2
LIST OF BOND PAYMENTS - Payment Detail for Month of May 2023

Payment No	Payment Date	Payee	Invoice Description	Invoice Amount	Payment Amount
NET PAYMENT AMOUNT					\$16,675.90

ATTACHMENT 12.7.3

attachment 3

MUNICIPAL AND BOND FUND CHEQUES, EFT'S & VOUCHERS FOR THE MONTH OF MAY 2023			
VOUCHER	DATE	DETAILS	AMOUNT
		Municipal Cheques & EFT Payments	
Creditor Payments	May-23	112806 - 112837 & EF111092 - EF111559 & EF111565 - EF111973	10,032,440.09
			- 4,744.00
			10,027,696.09
		Municipal Vouchers	
3526A	02/05/23	Corporate Credit Card Payment	15,187.78
3527A	02/05/23	Payroll FE 28/04/23	2,147,217.93
3528A	21/04/23	PrePays FE 28/04/23	4,234.50
3529A	03/05/23	Click Super Direct Debit	347,506.43
3530A	04/05/23	Magistrates Court - lodgement	166.30
3531A	08/05/23	Summonses Issued	14,050.00
3532A	01/05/23	Bank Fees	20,201.82
3533A	09/05/23	Magistrates Court - lodgement	166.30
3534A	10/05/23	Summonses Issued	8,703.50
3535A	11/05/23	Summonses Issued	8,594.70
3536A	12/05/23	Summonses Issued	9,569.00
3537A	16/05/23	Corporate Credit Card Payment Top up	25,000.00
3538A	16/05/23	Payroll FE 12/05/23	2,151,849.76
3539A	03/05/23	PrePays FE 12/05/23	1,122.55
3540A	17/05/23	Click Super Direct Debit	342,962.64
3541A	18/05/23	Summonses Issued	9,177.50
3542A	18/05/23	Click Super Direct Debit	247.05
3543A	29/05/23	Magistrates Court - lodgement	9,967.30
3544A	24/05/23	Summonses Issued	4,636.00
3545A	30/05/23	Payroll FE 26/05/23	2,172,962.88
3546A	23/05/23	PrePays FE 26/05/23	735.61
3547A	31/05/23	Click Super Direct Debit	351,704.67
3548A	31/05/23	Corporate Credit Card Payment	16,001.14
			7,661,965.36
		Bond Cheques & EFT Payments	
Creditor Payments	May-23	EF111082 - EF111091 & EF111560 - EF111564	16,675.90
			-
			16,675.90
		TOTAL	17,706,337.35

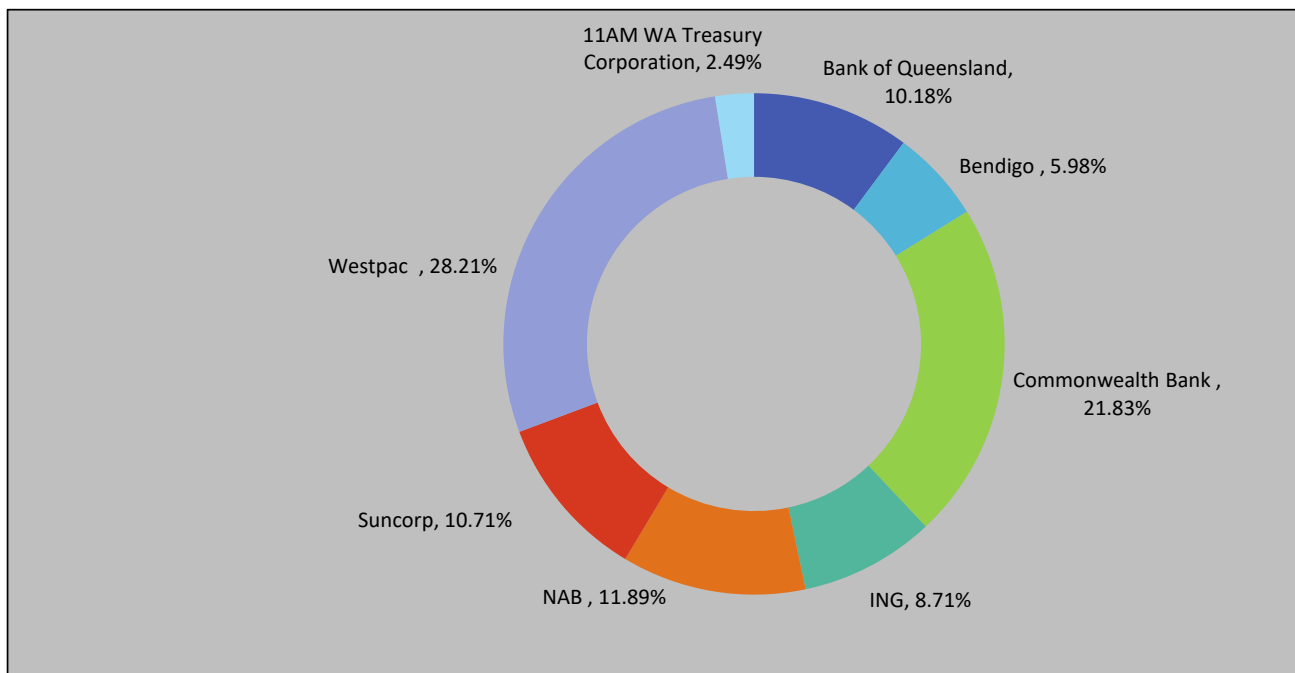


City of Joondalup
Financial Activity Statement
for the period ended 31 May 2023

	Notes	Revised Budget	YTD Revised Budget	YTD Actual	YTD Variance \$	YTD Variance %
OPERATING REVENUE						
Rates		(104,755,668)	(104,755,668)	(104,797,978)	42,310	0%
Specified Area Rates		(730,291)	(730,291)	(729,188)	(1,103)	(0)%
Grants and Subsidies	1	(2,038,336)	(1,856,400)	(1,914,582)	58,182	3%
Contributions Reimbursements and Donations	2	(1,450,988)	(1,204,909)	(1,519,899)	314,990	26%
Profit on Asset Disposals	3	(117,783)	(116,783)	(156,088)	39,305	34%
Fees and Charges	4	(41,391,038)	(39,970,931)	(40,513,314)	542,383	1%
Interest Earnings	5	(5,714,076)	(5,330,019)	(5,882,066)	552,047	10%
Other Revenue/Income	6	(1,139,290)	(1,048,290)	(2,427,698)	1,379,408	100%
Total Operating Revenue		(157,337,472)	(155,013,291)	(157,940,813)	2,927,522	2%
OPERATING EXPENSES						
Employee Costs	7	68,419,553	62,588,169	61,216,590	1,371,579	2%
Materials and Contracts	8	56,177,718	50,946,744	46,854,150	4,092,594	8%
Utilities (gas, electricity, water etc.)		5,890,995	5,338,970	5,362,664	(23,694)	(0)%
Depreciation & Amortisation of Non-Current Assets	9	30,623,048	28,031,768	27,537,900	493,868	2%
Loss on Asset Disposals	10	137,379	109,761	29,081	80,680	74%
Interest Expenses		259,161	233,353	233,239	114	0%
Insurance Expenses		1,603,165	1,596,830	1,598,897	(2,067)	(0)%
Total Operating Expenses		163,111,020	148,845,595	142,832,521	6,013,074	4%
(SURPLUS)/DEFICIT FROM OPERATIONS		5,773,548	(6,167,696)	(15,108,292)	8,940,596	100%
OPERATING NON-CASH ADJUSTMENTS						
Depreciation & Amortisation of Non Current Assets		(30,623,048)	(28,031,768)	(27,537,900)	(493,868)	(2)%
Loss on Asset Disposal		(137,379)	(109,761)	(29,081)	(80,680)	(74)%
Profit on Asset Disposals		117,783	116,783	156,088	(39,305)	(34)%
Movement in Non-current Items	11	(100,000)	(100,000)	8,218	(108,218)	(100)%
OPERATING CASH (SURPLUS)/DEFICIT		(24,969,096)	(34,292,441)	(42,510,967)	8,218,525	24%
NON-OPERATING REVENUE						
Capital Grants and Subsidies	12	(10,983,164)	(8,167,099)	(11,392,281)	3,225,182	39%
Capital Contributions	13	(96,590)	(96,590)	(51,767)	(44,823)	(46)%
Equity Distribution - TPRC		(3,333,333)	(3,333,333)	(3,333,332)	(1)	(0)%
Other Non-Operating (GST Reimb TPRC Land Sales)	14	(188,477)	(188,477)	(350,235)	161,758	86%
Total Non-Operating Revenue		(14,601,564)	(11,785,499)	(15,127,615)	3,342,116	28%
CAPITAL EXPENDITURE						
Capital Projects	15	2,924,716	2,325,411	1,540,449	784,962	34%
Capital Works	16	45,623,370	36,607,012	31,942,846	4,664,166	13%
Vehicle and Plant Replacements	17	2,314,443	2,221,443	936,512	1,284,931	58%
Total Capital Expenditure		50,862,528	41,153,866	34,419,807	6,734,059	16%
CAPITAL (SURPLUS)/DEFICIT		36,260,964	29,368,367	19,292,192	10,076,175	34%
(SURPLUS)/DEFICIT FROM OPERATIONS AND CAPITAL		11,291,868	(4,924,074)	(23,218,775)	18,294,700	100%
FUNDING						
Proceeds from Disposal	18	(520,955)	(431,955)	(372,000)	(59,955)	(14)%
Loans - Repayment of Principal		909,513	909,513	909,513	-	0%
Payments of Principal Portion of Lease Liability		492,769	375,556	375,556	-	0%
Transfer from Trust		(115,172)	-	-	-	0%
Transfer from Reserve		(33,626,268)	-	-	-	0%
Transfer to Reserve		30,734,481	-	-	-	0%
Opening Funds		(9,148,338)	(9,148,338)	(9,148,338)	-	0%
CLOSING FUNDS	19	17,898	(13,219,298)	(31,454,044)	18,234,745	100%

INVESTMENT SUMMARY

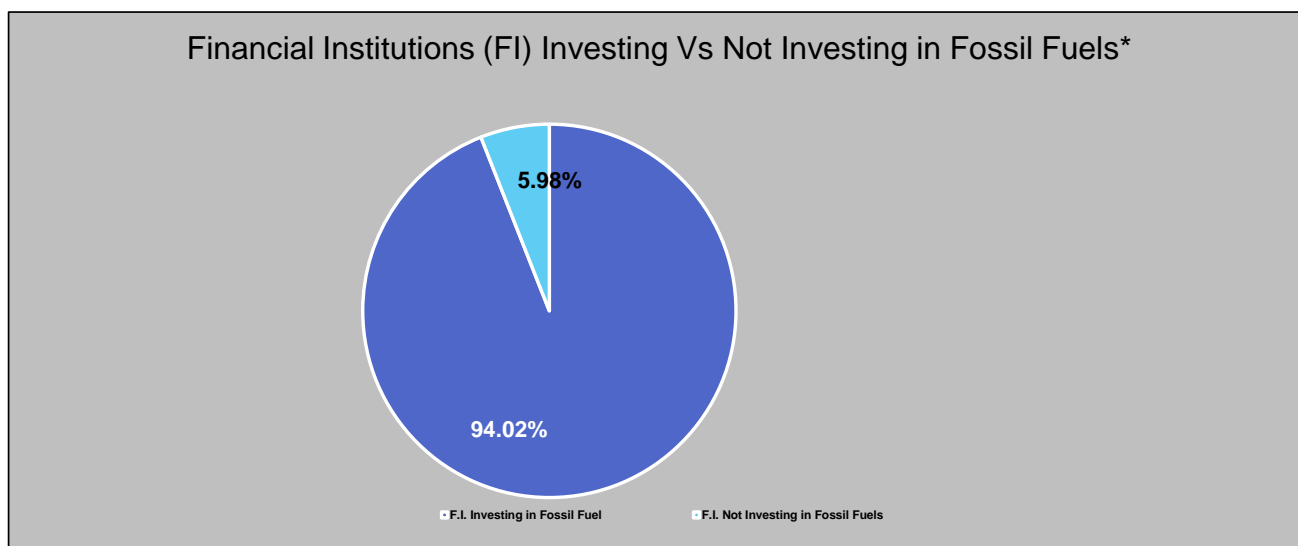
May-23



Municipal Funds	\$68,251,781	YTD Return	3.20%
Reserve Funds	\$87,362,638	Benchmark	4.35%
	<u>\$155,614,419</u>	RBA Rate	3.85%

Investment Policy Limits					
	LT Rating	Limit		LT Rating	Limit
Bank of Queensland	A-*	10%	NAB	AA-	25%
Bendigo	A-*	10%	Rural Bank	A-*	10%
Commonwealth Bank	AA-	25%	Suncorp	A+	15%
ING	A+	15%	Westpac	AA-	25%
			11AM WATC	AA+	25%

*S&P Long Term Rating BBB, Based on the investment policy the Long Term Rating Used is (A-) Based on Moody's and Fitch Rating



*Based on Market Forces ratings (<http://marketforces.org.au/>)



NOTES TO AND FORMING PART OF THE FINANCIAL ACTIVITY STATEMENT FOR THE PERIOD ENDED 31 MAY 2023

1. Grants and Subsidies \$58,182

This favourable variance arises from Other State Operating Grants and Subsidies \$58,183, including \$10,000 Heritage Grant and \$10,000 Clubs in Focus grant not in current budget estimates, as well as timing of the \$16,907 Waterwise Grant and \$15,370 grant invoice raised in excess that has been reversed in June 2023.

2. Contributions Reimbursements and Donations \$314,990

This favourable variance is mainly driven by higher than estimated insurance contributions \$103,568 due to classification as capital revenue in budget estimates, additional sponsorships received \$84,000, timing of the MRD Marmion Avenue Median Reimbursement \$77,566 relative to budget estimates, and Other Miscellaneous Reimbursements \$62,500 being higher than estimated fuel tax credits year to date from the ATO.

3. Profit on Asset Disposals \$39,305

This favourable variance arose from higher than estimated profit on disposal of fleet and plant \$39,305.

4. Fees and Charges \$542,383

	YTD Budget	YTD Actual	Variance
a) Sports and Recreation Fees	\$8,818,172	\$9,304,874	\$486,702
b) Refuse Charges	\$22,097,408	\$22,180,913	\$83,505
c) Building and Development Fees	\$1,574,499	\$1,630,953	\$56,454
d) Parking Fees	\$3,011,236	\$2,940,637	(\$70,599)
Other Fees and Charges	\$4,469,616	\$4,455,937	(\$13,679)
	<u>\$39,970,931</u>	<u>\$40,513,314</u>	<u>\$542,383</u>

a) Favourable variances arose from higher than estimated Admission Fees \$169,566, Membership Fee \$124,322, Park Hire \$115,348, Learn to Swim Program \$56,808 and Hire of Facilities \$50,186.

b) A favourable variance arose mainly from New Standard Refuse Establishment Fee \$37,027 due to higher than estimated additional bin requests.

c) This favourable variance was due to higher revenue from Building Permits \$54,011.

d) This unfavourable variance arose from Multi Storey Car Park Monthly Fees (\$97,763) which continues to track below estimates, partially offset by higher Off-Street Parking Fees \$66,266.

**5. Interest Earnings****\$552,047**

This favourable variance arose mainly due to higher than estimated Interest from Other Financial Institutions \$501,270 due to the cumulative impact of higher interest rates.

6. Other Revenue/Income**\$1,379,408**

This favourable variance arose primarily due to Net Revenue from Catalina Estate Land Sales \$1,426,553, partially offset by lower rebates received (\$88,825).

7. Employee Costs**\$1,371,579**

	YTD Budget	YTD Actual	Variance
a) Salaries and Wages	\$60,122,049	\$59,088,548	\$1,033,501
b) Other Employment Costs	\$2,466,120	\$2,128,042	\$338,078
	<u>\$62,588,169</u>	<u>\$61,216,590</u>	<u>\$1,371,579</u>

- a) Favourable timing variances for Salaries and Wages arose mainly from the cumulative impact of vacancies in various areas and current progress on a new workplace agreement for the inside workforce.
- b) Favourable variances mainly due to Fringe Benefits Tax \$341,152 because of lower parking FBT than estimated, as well as lower spend on Conferences and Seminars \$70,676, Staff Training \$54,580 and Study Assistance & Professional Development \$51,437. This is partially offset by higher Standard Labour Recovery – Capital Works (\$164,629) than originally estimated and higher Staff Recruitment Costs (\$53,911) due to more recruitment activity than estimated from staff turnover continuing to remain elevated above pre-covid levels.

8. Materials and Contracts**\$4,092,594**

	YTD Budget	YTD Actual	Variance
a) External Service Expenses	\$16,082,855	\$14,358,965	\$1,723,890
b) Professional Fees & Costs	\$2,600,658	\$1,644,289	\$956,369
c) Contributions & Donations	\$1,895,127	\$1,531,718	\$363,409
d) Public Relations, Advertising and Promotions	\$1,197,615	\$907,183	\$290,432
e) Waste Management Services	\$15,123,472	\$14,852,674	\$270,798
f) Administration	\$1,108,121	\$937,283	\$170,838
g) Members Costs	\$751,901	\$644,032	\$107,869
h) Travel, Vehicles & Plant	\$1,735,087	\$1,676,053	\$59,034
i) Other Materials	\$2,548,422	\$2,498,309	\$50,113
Other Materials & Contracts	\$7,903,486	\$7,803,644	\$99,842



\$50,946,744	\$46,854,150	\$4,092,594
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- a) Favourable timing variances arose mainly from External Contractors and Services \$1,539,819, including Parks \$464,330, Core System Replacement \$350,763, Data Collection \$196,098, Asset Management Administration \$159,376 due to office fit outs, Natural Areas \$128,755, Marketing \$126,176, City Projects \$122,850, Waste Management Services \$76,801, Community Safety \$62,569 and Cultural Services \$57,077, which may persist to the end of the year and result in overall underspend in these areas; this will be quantified once end-of-financial year processes are finalised. In addition, a favourable timing variance also occurred on Programme Activities \$93,819 mainly from progress of Economic Development activities \$87,149.
- b) A favourable timing variance arose mainly due to Consultancy \$501,292 and Research \$289,491, which may result in an underspend at the end of the year, which will be quantified once end-of-financial year processes are completed. Legal Expenses Recoverable is below budget \$65,419 as recovery actions commenced later than budget estimates, partially offset by an unfavourable variance on Legal Expenses (\$62,864) due to external legal advice sought on various matters, beyond budget estimates.
- c) Favourable variance arose from lower than estimated Sponsorship \$245,526, mainly arising from reduced spend on significant event in the current year.
- d) Favourable variance arose due to reduced expenditure General Advertising \$130,804 and Promotions \$74,422, including promotional activity for e-Waste and FOGO not incurred as previously estimated. Any savings arising will be quantified after end-of-financial-year processes are complete.
- e) Favourable variances were due to lower Processing-Recycling & Govt Levy \$92,755, Processing Bulk Hard Waste \$66,111 and Collection Bulk Hard Waste \$51,711 compared to estimates.
- f) Favourable variance arose from lower Printing costs \$76,833 due to more digital dissemination of information, as well as lower spend on other items such as Stationery \$21,786 and Photocopying \$21,386 due to ongoing transition to more paperless processes.
- g) Favourable variance arises from expenditure on Elected Members Conference and Training expenses \$58,940, and is likely to result in a saving at the end of the year.
- h) Favourable variance arose mainly from reduced vehicle maintenance and related costs.
- i) Favourable timing variance is due mainly to External Material Purchases-Contract \$31,518 from lower maintenance costs year to date .

9. Depreciation & Amortisation of Non-Current Assets

\$493,868

Favourable variance was mainly due to timing of assets written down as part of new asset capitalisations \$698,387 relative to budget estimates, partially offset by depreciation on open reserves (\$116,065) due to budget phasing, which is expected to rectify in the following month. The balances of variances are spread across several areas.



10. Loss on Asset Disposals \$80,680

Favourable variance arose due to lower than estimated Loss on Asset Disposal for Fleet and Plant \$80,680.

11. Movement in Non-current items (\$108,218)

This timing variance arose in respect of a reduction in Non-current Long Service Leave Liability compared to budget estimates.

12. Capital Grants and Subsidies \$3,225,182

	YTD Budget	YTD Actual	Variance
a) State Government Grants - Capital - Other	\$1,725,151	\$3,375,151	\$1,650,000
b) State Government Grants – Capital – MRRG Grant Roads	\$1,790,696	\$3,030,895	\$1,240,199
c) Commonwealth Grants & Subsidies Capital – Black Spot	\$707,355	\$851,355	\$144,000
d) Other Grants and Subsidies – Capital - Other	\$519,447	\$647,787	\$128,340
e) Commonwealth Grants – Capital - Other	\$1,393,579	\$1,453,579	\$60,000
Other Grants and Subsidies	\$2,030,871	\$2,033,514	\$2,643
	<u>\$8,167,099</u>	<u>\$11,392,281</u>	<u>\$3,225,182</u>

- a) Positive variance relates to RDC2031 Hepburn Ave - Lilburne to Walter Padbury \$1,150,000 due to grant funds received earlier and recognition of unspent grant income from State Urban Bike Trail Grant \$300,000. Milestone payments were received earlier than expected for FPN2299 Coastal Shared Path Design \$200,000.
- b) Favourable variance occurred mainly from RDC2027 Joondalup Dr/Hodges Dr Intersection Upgrade \$1,130,170. In addition favourable variances also arose due to final claims received for RDC2021 Whitfords Ave/Northshore Dr Roundabout \$196,000 and RDC2020 Warwick Rd/Erindale Rd Intersection Upgrade \$180,000. This is partially offset by grant funds pending for various Road Rehabilitation Projects (\$265,973) including RPR3276 Warwick Rd (EB) – Erindale to Wanneroo (\$71,563) with final claims to be processed once outstanding supplier commitments have been finalised.
- c) Favourable variance relates to the final claim received for SBS2090 Marmion Avenue and Cambria \$144,000, which was completed in March 2022.
- d) Positive variance is mainly due to a milestone payment received earlier than expected for MPP2058 Chichester Park Clubrooms Redevelopment \$100,000.
- e) Variance relates to funds received for LRCI Phase 3 earlier than anticipated and which, if unspent at 30 June, will be de-recognised from revenue and reported as a liability (unspent grants) at the end of the year.

**13. Capital Contributions****(\$44,823)**

This unfavourable variance mainly due to the classification of insurance reimbursement received from the Iluka Sports Complex Restoration Works as operating rather than non-operating.

14. Other Non-Operating Revenue**\$161,758**

This favourable timing variance arises from GST reimbursements in respect of TPRC land sales undertaken.

15. Capital Projects**\$784,962**

This favourable timing variance mainly arose due to current progress on various projects including CCTV Leisure Centre \$150,000, CCTV Reid Promenade MSCP \$147,800, Self-Serve Kiosk Replacement \$120,000, Cafes/Restaurants/Kiosks \$97,817, Filter Refurbishment 25m and Spa \$73,425 and IT Disaster Recovery Facilities \$50,041. The balances of variances are spread across a number of projects.



16. Capital Works

\$4,664,166

	No. Budgeted Projects	YTD Budget	YTD Actual	Variance	Key Variance
a) Major Road Construction Program (RDC)	11	\$2,551,819	\$1,612,421	\$939,398	RDC2025 - \$400,019 RDC2026 - \$275,717
b) Parks Development Program (PDP)	17	\$3,166,815	\$2,519,026	\$647,789	PDP2355 - \$294,203 PDP2351 - \$117,638
c) New Path Program (FPN)	12	\$878,758	\$387,161	\$491,597	FPN2298 - \$355,694
d) Parks Equipment Program (PEP)	36	\$2,732,160	\$2,250,282	\$481,878	PEP2707 - \$395,519
e) Slab Path Replacement (FPR)	9	\$1,277,622	\$825,966	\$451,656	FPR2268 - \$363,738
f) Streetscape Enhancement Program (SSE)	4	\$1,854,605	\$1,502,207	\$352,398	SSE2057 - \$162,881
g) Blackspot Program (SBS)	8	\$712,085	\$370,353	\$341,732	SBS2092 - \$148,522
h) Road Preservation/Resurfacing Program (RPR)	100	\$7,142,402	\$6,807,184	\$335,218	RPR3285 - \$255,147
i) Stormwater Drainage Program (SWD)	8	\$616,472	\$397,403	\$219,069	SWD2001 - \$91,872
j) Foreshore and Natural Areas Management Program (FNM)	7	\$303,101	\$155,957	\$147,144	FNM2102 - \$65,000
k) Local Traffic Management (LTM)	11	\$974,624	\$881,867	\$92,757	LTM2195 - \$62,489
l) Major Projects Program (MPP)	6	\$8,002,379	\$7,925,212	\$77,167	MPP2077 - \$60,000
m) Parking Facilities Program (PFP)	6	\$670,488	\$609,187	\$61,301	PFP2084 - \$41,811
n) Street Lighting Program (STL)	12	\$1,128,227	\$1,067,546	\$60,681	STL2052 - \$29,064
Other Programs	20	\$4,595,455	\$4,631,074	(\$35,619)	
	267	\$36,607,012	\$31,942,846	\$4,664,166	



- a) A favourable variance arose mainly due to RDC2025 Whitfords Ave/Gibson Ave Intersection Upgrade \$400,019 and RDC2026 Whitfords Ave/Kingsley Dr Intersection Upgrade \$275,717. Additional variances include RDC2024 Shenton Ave Upgrade Design \$109,527 and RDC2030 Moolanda Blvd Pedestrian Footbridge \$75,000.
- b) Favourable timing variance relates to delayed progress on PDP2355 Padbury N/E Cluster Parks Revitalisation \$294,203 now expected to be completed in October and PDP2351 Clifford Coleman Amenity Upgrades \$117,638, now due to be completed June. Additional variances include PDP2322 McCubbin Park Irrigation Renewals \$73,658, PDP2343 Ocean Gate Bore Renewal \$51,433 and PDP2371 Chichester Park Skate Park \$50,494.
- c) A favourable timing variance arose for two multi-year projects: FPN2298 Eddystone Ave Shared Path Upgrade \$355,694 currently in progress and FPN2299 Coastal Shared Path Design \$131,062 with costs below estimates at this stage.
- d) Favourable variance relates to PEP2707 Whitfords Nodes Park Health & Wellbeing Hub \$395,519 currently in progress and recently completed PEP2644 Park Vehicle Entry Renewal City Wide \$73,012. PEP2853 BMX Track Upgrades \$106,281 is in progress but experiencing delays and is now due to be completed in February. These are partially offset by PEP2786 Castlecrag Playspace Renewal (\$106,406), which is a timing variance, and PEP2625 Glenmere Park Playspace Renewal (\$68,566).
- e) A favourable variance relates to FPR2268 Marmion Ave – Edinburgh to Burns Beach \$363,738 and FPR2001 Path Replacement Program \$55,415. Partially offset by early completed project FPR2294 Joondalup Dr – Clarke to Collier (\$64,455) and FPR2293 Connolly Dr – Sussex to Burns Beach (\$52,320).
- f) Favourable variance relates to SSE2057 Leafy City Program \$162,881, SSE2055 Streetscape Renewal Program \$117,434 and SSE2059 Joondalup Drive Streetscape Upgrades \$54,202 due to less actuals than planned at this stage.
- g) SBS2092 Marmion Ave and Forrest Rd Intersection \$148,522, SBS2091 Marmion Ave and Coral St Intersection \$101,225 and SBS2093 Ocean Reef Rd & Gwendoline Dr \$79,492 are showing significant timing variances owing to delays in Western Power preliminary works that the City cannot undertake directly.
- h) Favourable variance mainly relates to project progress on RPR3285 Mawson/Shackleton Roundabout \$255,147, RPR3297 Peirse Way \$65,669, RPR3302 Hood Terrace \$64,331, RPR2004 RPR – Asphalt Overlay and Re-Kerbing \$61,511 and RPR3049 Hawkins Ave \$61,215. These are partially offset by RPR3326 Turramurra Way (\$107,608) and RPR3280 Wirilda Crescent (\$100,020) that have been completed ahead of schedule.
- i) Favourable timing variances relate to SWD2001 Stormwater Drainage Upgrading \$91,872 and delayed SWD2231 Sump Beautification – Minor Sites \$78,247.
- j) FNM2102 Duffy House Conservation Fencing now due for completion in June resulting in a timing variance of \$65,000.
- k) Timing variance relates to delays experienced in respect of LTM2195 Cowper/Parker Intersection Upgrade \$62,489 now expected to be completed only by August.
- l) The timing variance largely relates to MPP2077 Burns Beach Cafes/Kiosks/Restaurants \$60,000 reflecting current progress on the project.



- m) Favourable variances mainly relate to the timing of progress on PFP2084 Prince Regent Park Parking Improvements \$41,811.
- n) Favourable variance arises mainly from STL2052 Floodlight & Pole Replacement Program \$29,064 which is currently in progress.

17. Vehicle and Plant Replacements**\$1,284,931**

A favourable timing variance arose mainly in relation to capital acquisition of a tractor \$142,800, an Isuzu truck \$110,000, a verimower \$70,000 and a dual cab ute \$50,000.

18. Proceeds from Disposal**(\$59,955)**

A unfavourable variance arose mainly due to timing of proceeds received from the disposal of fleet (\$59,955).

19. Closing Funds**\$18,234,745**

	June 2022	May 2023
Current Assets		
Cash and Investments	\$140,479,487	\$138,511,821
Rates Outstanding, Sundry Debtors and Other Receivables	\$4,979,660	\$5,140,188
Accrued Income	\$372,344	\$2,547,008
Prepayments	\$738,765	\$427,653
Inventories	\$708,427	\$134,033
Total Current Assets	\$147,278,683	\$146,760,703
Current Liabilities		
Trade Creditors	\$2,709,216	\$3,325,859
Sundry Payables	\$11,458,125	\$5,808,976
Accrued Expenses	\$4,266,327	\$2,316,563
Other Payables	-	\$1,221,867
Borrowings	\$909,513	-
Lease Liability	\$492,772	\$63,925
Provision for Annual Leave	\$4,588,626	\$4,55,136
Provision for Long Service Leave	\$6,425,430	\$6,696,633
Provision for Purchased Leave	\$208,657	\$146,921
Provision for Workers Compensation Insurance	\$3,137,004	\$4,126,737
Provision for Sick Leave	\$982,117	\$955,781
Other Provisions	\$9,415	\$9,415
Total Current Liabilities	\$35,187,202	\$29,229,813
Net Current Assets	\$112,091,481	\$117,530,890
Add back: Borrowings	\$909,513	-
Add back: Lease Liabilities	\$492,772	\$63,925

ATTACHMENT 12.8.3

Appendix 3



Add back: Contract Liabilities for developer contributions	\$1,221,867	\$1,221,867
Less: Cash Backed Reserves	\$105,567,295	\$87,362,638
Closing Funds – Surplus/(Deficit)	\$9,148,338	\$31,454,044

TENDER 011/23 PROVISION OF LIGHT VEHICLE LOGBOOK SERVICING AND REPAIRS

SCHEDULE OF ITEMS

Item	Description					
1	10,000 km Intervals from 20,000 km up to 140,000 km					
1.1	Year 2022, Toyota Hiace, 2.8 litre engine, 4 cylinders, DSL auto transmission					
3 Units	20,000 km	30,000 km	40,000 km	50,000 km	60,000 km	70,000 km
	80,000 km	90,000 km	100,000 km	110,000 km	120,000 km	130,000 km
	140,000 km					
2	10,000 km Intervals from 30,000 km up to 220,000 km					
2.1	Year 2013-2021, Isuzu D Max, 4x4 drive, 3 litre engine, 4 cylinders, DSL auto transmission					
9 Units	30,000 km	40,000 km	50,000 km	60,000 km	70,000 km	80,000 km
	90,000 km	100,000 km	110,000 km	120,000 km	130,000 km	140,000 km
	150,000 km	160,000 km	170,000 km	180,000 km	190,000 km	200,000 km
	210,000 km	220,000 km				
3	10,000 km Intervals from 60,000 km up to 210,000 km					
3.1	Year 2016/17, Nissan Navara, NP300 Series II, 4x4 drive, 2.3 litre engine, 4 cylinders, DSL auto transmission					
5 Units	60,000 km	70,000 km	80,000 km	90,000 km	100,000 km	110,000 km
	120,000 km	130,000 km	140,000 km	150,000 km	160,000 km	170,000 km
	180,000 km	190,000 km	200,000 km	210,000 km		
4	10,000 km Intervals from 60,000 km up to 220,000 km					
4.1	Year 2017/18, Toyota Corolla Hatchback, 1.8 litre engine, 4 cylinders, ULP auto transmission					
6 Units	60,000 km	70,000 km	80,000 km	90,000 km	100,000 km	110,000 km
	120,000 km	130,000 km	140,000 km	150,000 km	160,000 km	170,000 km
	180,000 km	190,000 km	200,000 km	210,000 km	220,000 km	
5	10,000 km Intervals from 60,000 km up to 230,000 km					
5.1	Year 2013-2018, Isuzu D Max, 4x2 drive, 3 litre engine, 4 cylinders, DSL auto transmission					
27 Units	60,000 km	70,000 km	80,000 km	90,000 km	100,000 km	110,000 km
	120,000 km	130,000 km	140,000 km	150,000 km	160,000 km	170,000 km
	180,000 km	190,000 km	200,000 km	210,000 km	220,000 km	230,000 km
6	10,000 km Intervals from 70,000 km up to 140,000 km					
6.1	Year 2015, Toyota Hiace 7W0418010, 3 litre engine, 4 cylinders, DSL auto transmission					
1 Unit	70,000 km	80,000 km	90,000 km	100,000 km	110,000 km	120,000 km
	130,000 km	140,000 km				
7	10,000 km Intervals from 70,000 km up to 200,000 km					
7.1	Year 2016/17, Nissan Navara, NP300 Series II, 4x2 drive, 2.3 litre engine, 4 cylinders, DSL auto transmission					
12 Units	70,000 km	80,000 km	90,000 km	100,000 km	110,000 km	120,000 km
	130,000 km	140,000 km	150,000 km	160,000 km	170,000 km	180,000 km
	190,000 km	200,000 km				

TENDER 011/23 PROVISION OF LIGHT VEHICLE LOGBOOK SERVICING AND REPAIRS

Item	Description					
8	10,000 km Intervals from 90,000 km up to 110,000 km					
8.1	Year 2017, Renault Master, 2.3 litre engine, 4 cylinders, 6 speed AMT, DSL auto transmission					
1 Unit	90,000 km	100,000 km	110,000 km			
9	10,000 km Intervals from 100,000 km up to 230,000 km					
9.1	Year 2016, Nissan Pulsar Hatch C12 , 1.8 litre engine, 4 cylinders, ULP auto transmission					
3 Units	100,000 km	110,000 km	120,000 km	130,000 km	140,000 km	150,000 km
	160,000 km	170,000 km	180,000 km	190,000 km	200,000 km	210,000 km
	220,000 km	230,000 km				
10	10,000 km Intervals from 110,000 km up to 200,000 km					
10.1	Year 2014, Toyota Hilux, 4x2, 2.7 litre engine, 4 cylinders, ULP auto transmission					
1 Unit	110,000 km	120,000 km	130,000 km	140,000 km	150,000 km	160,000 km
	170,000 km	180,000 km	190,000 km	200,000 km		
11	10,000 km Intervals from 120,000 km up to 210,000 km					
11.1	Year 2016, Nissan X-Trail, 4X2 drive, 2.5 litre engine, 4 cylinders, ULP auto transmission					
2 Units	120,000 km	130,000 km	140,000 km	150,000 km	160,000 km	170,000 km
	180,000 km	190,000 km	200,000 km	210,000 km		
12	10,000 km Intervals from 130,000 km up to 200,000 km					
12.1	Year 2013, Toyota Hilux, 4x4 drive, 3 litre engine, 4 cylinders, DSL auto transmission					
1 Unit	130,000 km	140,000 km	150,000 km	160,000 km	170,000 km	180,000 km
	190,000 km	200,000 km				
13	15,000 km Intervals from 15,000 km up to 150,000 km					
13.1	Year 2022, Mr Triton 2.4D Auto 4x4					
2 Units	15,000 km	30,000 km	45,000 km	60,000 km	75,000 km	90,000 km
	105,000 km	120,000 km	135,000 km	150,000 km		
13.2	Year 2020/21, Mr Triton 2.4D Auto 4x2					
3 Units	15,000 km	30,000 km	45,000 km	60,000 km	75,000 km	90,000 km
	105,000 km	120,000 km	135,000 km	150,000 km		
14	15,000 km Intervals from 30,000 km up to 150,000 km					
14.1	Year 2017/20, Kia Cerato Hatch, 2.0 litre engine, 4 cylinders, 6 speed ULP auto transmission					
3 Units	30,000 km	45,000 km	60,000 km	75,000 km	90,000 km	105,000 km
	120,000 km	135,000 km	150,000 km			
14.2	Year 2015/ 16, Hyundai iLoad CRDI, 2.5 litre engine, 4 cylinders, DSL auto transmission					
2 Units	30,000 km	45,000 km	60,000 km	75,000 km	90,000 km	105,000 km
	120,000 km	135,000 km	150,000 km			
15	15,000 km Intervals from 30,000 km up to 165,000 km					
15.1	Year 2017, Volkswagen Caddy, Maxi, 1.9 litre engine, 4 cylinders, DSL auto transmission					
1 Unit	30,000 km	45,000 km	60,000 km	75,000 km	90,000 km	105,000 km
	120,000 km	135,000 km	150,000 km	165,000 km		

TENDER 011/23 PROVISION OF LIGHT VEHICLE LOGBOOK SERVICING AND REPAIRS

Item	Description					
16	15,000 km Intervals from 45,000 km up to 195,000 km					
16.1	Year 2017/18, Mitsubishi Triton MQ Ute, 4x2 drive, 2.4 litre engine, DSL auto transmission					
10 Units	45,000 km	60,000 km	75,000 km	90,000 km	105,000 km	120,000 km
	135,000 km	150,000 km	165,000 km	180,000 km	195,000 km	
17	15,000 km Intervals from 45,000 km up to 210,000 km					
17.1	Year 2017/19, Ford Transit Custom 290S / 300S (SWB) VN 3D Van, 2.2 litre engine, DSL Turbo auto transmission					
10 Units	45,000 km	60,000 km	75,000 km	90,000 km	105,000 km	120,000 km
	135,000 km	150,000 km	165,000 km	180,000 km	195,000 km	210,000 km
18	15,000 km Intervals from 60,000 km up to 180,000 km					
18.1	Year 2017, Volkswagen T6 Multivan & Transporter TDI340, 2.0 litre engine, 4 cylinders, 7 speed DSG, DSL auto transmission					
3 Units	60,000 km	75,000 km	90,000 km	105,000 km	120,000 km	135,000 km
	150,000 km	165,000 km	180,000 km			
19	15,000 km Intervals from 60,000 km up to 195,000 km					
19.1	Year 2015/18, Hyundai i40 Tourer VF4, 2.0 litre engine, 4 cylinders, ULP auto transmission					
5 Units	60,000 km	75,000 km	90,000 km	105,000 km	120,000 km	135,000 km
	150,000 km	165,000 km	180,000 km	195,000 km		
20	15,000 km Intervals from 105,000 km up to 240,000 km					
20.1	Year 2017, Renault Master, 2.3 litre engine, 4 cylinders, 6 speed AMT, DSL auto transmission					
1 Unit	105,000 km	120,000 km	135,000 km	150,000 km	165,000 km	180,000 km
	195,000 km	210,000 km	225,000 km	240,000 km		
21	15,000 km Intervals from 120,000 km up to 240,000 km					
21.1	Year 2016, Hyundai Elantra MD3 2.0 litre engine, 4 cylinders, ULP auto transmission					
2 Units	120,000 km	135,000 km	150,000 km	165,000 km	180,000 km	195,000 km
	210,000 km	225,000 km	240,000 km			
22	15,000 km Intervals from 135,000 km up to 225,000 km					
22.1	Year 2018, Hyundai Santa-Fe 7S Active SUV, 2.2 litre engine, DSL auto transmission					
1 Unit	135,000 km	150,000 km	165,000 km	180,000 km	195,000 km	210,000 km
	225,000 km					
23	15,000 km Intervals from 150,000 km up to 180,000 km					
23.1	Year 2012, Ford Ranger PX, 4x2 drive, 2.2 litre engine, 4 cylinders, DSL auto transmission					
1 Unit	150,000 km	165,000 km	180,000 km			
24	15,000 km Intervals from 150,000 km up to 240,000 km					
24.1	Year 2016, Holden Colorado MY162016 7 LT Wagon, 4X2 drive, 2.8 litre engine, 4 cylinders, DSL auto transmission					
1 Unit	150,000 km	165,000 km	180,000 km	195,000 km	210,000 km	225,000 km
	240,000 km					

TENDER 011/23 PROVISION OF LIGHT VEHICLE LOGBOOK SERVICING AND REPAIRS

ADDITIONAL SERVICES

ITEM	DESCRIPTION
1	Hourly labour rate for additional repairs
2	Parts and Materials Percentage Mark-up
3	Tyres Percentage Mark-up

TENDER 011/23 PROVISION OF LIGHT VEHICLE LOGBOOK SERVICING AND REPAIRS

SUMMARY OF SUBMISSION

Tenderer & Description of Response	Is it Compliant? Yes or No	Comment Against Criteria				Evaluation Score	Estimated Total Comparative Price	Rank
		Capacity	Demonstrated experience providing similar services	Demonstrated understanding of the required tasks	Social and economic effects on the local community			
<p>Northside Autos 2005 Pty Ltd as Trustee for Northside Nissan Unit Trust trading as Northside Nissan</p> <p>All requirements have been met.</p>	Yes	<p>It has been operating since 2006. The company is located in Wangara and is part of Eagers Automotive Limited (formerly AP Eagers Limited), which employs over 5000 staff. It has a service team comprised of an operations manager, a service manager, a senior service advisor, a service advisor, three Nissan master technicians, two Nissan GTR technicians, six certified technicians and five Nissmap apprentices. It indicated the company, as part of Eagers Automotive Limited, has access to most brands equipment and information (every brand on tender list of cars). It offers 24 hour assistance for all minor and major issues should these arise.</p>	<p>It demonstrated experience providing fleet servicing to various organisations including the City of Joondalup. It has been undertaking light vehicle logbook servicing and repairs to the City's fleet for the past three years. It stated the company also supports many other business fleets and major leasing companies' customers including Airmaster, Ford and Doonan, LeasePlan, Delta Group, SG Fleet, Custom Fleet and Fleetcare WA. The scope of works, period or dates of these contracts were not addressed however, it indicated the company has tailored individual agreements to these companies as all have specific needs.</p>	<p>It demonstrated a good understanding of the City's requirements. It stated the company will continue to offer free pickup and delivery of all vehicles and a loan car will be left onsite.</p>	<p>It indicated the company has many of its staff members reside within the City. It supports local businesses and sporting communities including financial sponsorship for sporting clubs (Ocean Ridge Junior Football Club as an example provided).</p>	63.3%	<p>\$406,631 3 Years <i>assuming no change in historical usage</i></p> <p>\$698,345 5 Years <i>(optional) assuming no change in historical usage</i></p>	1



Building sustainable neighbourhoods

LIVEABILITY AND DIVERSITY FOR FUTURE GENERATIONS

Housing Issues and Phase 2 Actions

June 2023

Report purpose

This report provides a summary of the key issues obtained through Phase 1 of the Local Planning Strategy review project. Phase 1 included:

- Community consultation undertaken by consultants Research Solutions
- Technical analysis, including:
 - a dwelling target review
 - housing supply and demand analysis
 - the analysis of all previous community consultations
 - a technical officer workshop.

This report also outlines the proposed actions to be undertaken through Phase 2 to investigate the key issues obtained from Phase 1.

Key Issues and Actions Summary:

Issues

- Lack of community alignment on preferred spatial location of density.
- Infill development changing the established suburban character in infill areas.
- Poor liveability and design outcomes for medium density housing.
- Poor sustainability outcomes for medium density housing.
- Loss of tree canopy in infill areas and resultant urban heat impacts.
- Increased on street parking in infill areas.
- Amenity impacts of infill developments on adjoining properties.
- Capacity of established infrastructure to service population growth due to infill development.
- Lack of developer contribution to neighbourhood improvement in infill areas.
- Misaligned developer and policy objectives and lack of policy understanding influencing built form outcomes.
- Complexity of planning framework results in difficulty to engage meaningfully with community.
- Reduced housing affordability.
- Limited access to housing.

Actions

Internal review/investigation:

- Develop issues investigation paper to:
 - Investigate potential planning mechanisms to address issues identified.
 - Summarise existing work done which addresses issues identified.
 - Summarise broader state planning influences which guide how the City can respond to issues identified.
- Undertake preliminary work to address the requirements of the Residential Accommodation for Ageing Persons Position Statement.
- Undertake internal review of the City's development application consultation materials.

Technical studies (consultant work):

- Undertake a review of the City's *Local Commercial Strategy* and update as appropriate.

Stakeholder engagement:

- Engage with service providers.
- Engage with industry bodies.
- Engage with the Department of Planning, Lands and Heritage

Table 1 outlines issues identified as part of Phase 1 of *Building Sustainable Neighbourhoods* through community consultation and technical analyses and the recommended actions to be undertaken as part of Phase 2 to address them.

Table 2 summarises the outcomes of a gap analysis undertaken of the City's current Local Planning Strategy to identify where strategic actions may require updating and recommends what technical studies and investigations are required to be actioned as part of Phase 2

Table 3 summarises a review of relevant state planning policies and position statements undertaken to understand whether technical work is required to bring the Local Planning Strategy into alignment with changes to the state planning framework. Table 3 also outlines actions identified to be undertaken as part of Phase 2 (as well as those that will be required as part of future phases).

Table 1 – Issue and Phase 2 action table

	Issue	Phase 2 Actions
Allocation of density	<p>Lack of community alignment on preferred spatial allocation of density.</p> <p>Issue description: Consultation outcomes reporting indicates a lack of community consensus as to where and how density should be allocated in the City. Comments are summarised as follows:</p> <ul style="list-style-type: none"> Discontent with the current allocation of density, specifically in medium density areas. Preference for higher density around activity centres and along corridors, stepping down in density into the suburb. Preference for density to be provided in precincts which include a combination of public transport infrastructure, commercial land uses, parks, and community services. Some preference for medium and high-density housing options to be dispersed throughout the City to allow for a diversity of housing options in a range of locations. Some preference for less concentrated, larger catchments of infill housing with lower densities to provide for a maximum of two or three houses on a block. Transitional approach to density criticised as fragmentation of land makes it difficult for consolidation of density in future. <p>The supply and demand analysis indicates the following in relation to housing:</p> <ul style="list-style-type: none"> The market demand analysis prepared by Urbis examines medium and high-density viability and success factors and finds broadly that market demand for these densities is influenced by amenity factors such as proximity to employment centres and commercial land uses, as well as access to public transport, public open space and views of significance. This aligns with community preferences for density to be located in precincts which include the above amenity factors but does not align with other community preferences for a more dispersed lower density model. It should also be noted that the City has an obligation under the strategic directions set out in the <i>Perth and Peel @ 3.5 million</i> suite of documents to ensure density allocation addresses the underpinning principles of urban consolidation. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> Issues investigation paper to undertake a review of the State Government's planning framework to understand requirements and criteria for the allocation of density in the City. Meet with representatives from the Department of Planning Lands and Heritage to understand the current approach to the allocation of density. <p>Further action to address this issue will be undertaken as part of the options development in Phase 3.</p>
Liveability outcomes for infill housing	<p>Infill development changing the established suburban character in infill areas.</p> <p>Issue description: Community consultation outcomes reporting indicates concern that new development in infill areas does not consider or maintain established suburban character. Comments are summarised as follows:</p> <ul style="list-style-type: none"> General consensus that new dwellings in infill areas are less attractive and that the changing character of the established suburbs is an issue. Preference for character differences between neighbourhoods in the City to be recognised and planning policy developed to ensure this character is maintained. Preference for established streetscape character to be reflected in medium density infill developments. Medium density areas would benefit from a positive, aligned vision of accepted design/character for low, medium, high and transitional density areas. 	<ul style="list-style-type: none"> No actions required for Phase 2 <p>Further action to address this issue will be undertaken as part of the options development in Phase 3 including but not limited to potential character studies for various planning catchments, and development of the local planning strategy in Phase 4.</p>

	Issue	Phase 2 Actions
	<p>Poor liveability and design outcomes for medium density housing.</p> <p>Issue description: Community consultation outcomes reporting indicates concern in relation to the liveability of infill housing developments in medium density areas. Comments are summarised as follows:</p> <ul style="list-style-type: none"> • Design of contemporary dwellings built at a medium density result in compromised liveability outcomes for future residents including, loss of outdoor space, smaller bedroom and living room sizes, lack of ventilation and lack of access to natural light. • Infill development should be delivered in a way which maintains liveability standards for the existing community. • There is acknowledgement of the tension between developer priorities to maximise return on investment and planning policy objectives for liveable development. • Community and technical officers identified that affordability factors contribute to designs which often result in poor liveability outcomes. A common example occurs where a single storey family home is developed on a small lot. Landowners often are unable to afford to build double storey, so they compromise on room sizes, landscaping or outdoor living area. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> • Issues investigation paper to explore actions currently being taken to address dwelling liveability in infill areas including but not limited to: <ul style="list-style-type: none"> ○ Local planning policies related to residential development ○ State Planning Policy 7.3 Residential Design Codes ○ Joondalup Design Review Panel ○ Any potential changes to the Building Code of Australia
	<p>Poor sustainability outcomes for medium density housing.</p> <p>Issue description: Consultation outcomes reporting indicates concern in relation to sustainability outcomes of infill housing developments in medium density areas. Comments are summarised as follows:</p> <ul style="list-style-type: none"> • Consensus that increased building footprints on smaller lots have adverse sustainability impacts, specifically: <ul style="list-style-type: none"> ○ Reduced tree canopy and landscaping ○ Heat island impacts ○ Less groundwater recovery ○ Increased energy use (non-passive solar designed homes) ○ Land fragmentation limiting future consolidation of density. • Some community preference for low maintenance housing typologies with smaller landscaped areas. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> • Issues investigation paper to explore actions currently being taken to address sustainability in infill areas including but not limited to: <ul style="list-style-type: none"> ○ Local planning policies related to residential development ○ State Planning Policy 7.3 Residential Design Codes ○ Any potential changes to the Building Code of Australia
	<p>Loss of tree canopy in infill areas and resultant urban heat impacts.</p> <p>Issue description: Consultation outcomes reporting indicates concern in relation to the reduction in established mature tree canopies in infill areas. Comments are summarised as follows:</p> <ul style="list-style-type: none"> • Increased density corresponds with increased overall built area and therefore reduced tree canopy cover and increased temperatures in suburbs. • Preference for improved street tree planting in infill areas to allow for improved shading, and to compensate for the loss of urban tree canopy from infill development. • Preference for loss of green space and trees to be offset with additional greening and tree planting of public land (verges and parks) and the creation of additional green spaces within medium and high-density areas. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> • Issues investigation paper to examine planning mechanisms available to local government to support retention of tree canopy. • Issue investigation paper to explore actions currently being taken to address urban tree canopy reduction including but not limited to: <ul style="list-style-type: none"> ○ Local planning polices relevant to residential development ○ State Planning Policy 7.3 Residential Design Codes ○ The City's Parks Development Program and Leafy City Program
	<p>Increased on-street parking in infill areas.</p> <p>Issue description: Consultation outcomes reporting indicates concern in relation to increased on-street parking in infill areas. Comments are summarised as follows:</p> <ul style="list-style-type: none"> • On-street parking is often the result of inadequate onsite parking provision for infill developments. • On-street parking results in compromised street safety for road users and pedestrians. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> • Issue investigation paper to examine parking issues and options relevant to medium density infill areas.

	Issue	Phase 2 Actions
	<ul style="list-style-type: none"> The established public transport network accessibility does not provide sufficient incentive for a reduction in personal vehicle ownership in the City of Joondalup. Therefore, given current transport behaviours in the City, infill developments with reduced car parking will likely result in increased additional street parking. Preference for visitor parking to be incorporated on site to avoid overflow onto the street. 	
	<p>Amenity impacts of infill developments on adjoining properties.</p> <p>Issue description: Consultation outcomes reporting indicates concern in relation to the adverse impacts of infill developments on adjoining established low density dwellings. Specifically, elements noted as having the greatest impacts on amenity were:</p> <ul style="list-style-type: none"> Overlooking/loss of privacy Overshadowing Impact of building bulk <p>These issues were also raised in detail in previous community consultations as summarised in the meta-analysis reporting.</p>	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> Issue investigation paper to examine actions currently being taken to address impacts of transitional density change in infill areas including but not limited to: <ul style="list-style-type: none"> Local planning policies related to residential development State Planning Policy 7.3 Residential Design Codes
	<p>Capacity of established infrastructure to service population growth due to infill development.</p> <p>Issue description: Consultation outcomes reporting indicates concern in relation to the capacity of existing infrastructure to cater to increasing population as a result of infill development. Comments are summarised as follows:</p> <ul style="list-style-type: none"> Question as to the capacity of the established road network and public transport network to accommodate increased trips/usage as a result of infill development. Question as to the capacity of established community infrastructure such as schools, main roads, water, power etc to accommodate increasing population as a result of infill development. Preference for sustainable transport infrastructure to encourage use of active modes of transport such as cycling and walking, as well as e-vehicles (e-bikes and e-scooters) in infill areas to reduce car dependence and improve connectivity. Preference for improved provision of state and local government transport infrastructure to support increased density. Preference for upgrades to social infrastructure such as parks, community facilities and other public spaces in infill areas. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> Issue investigation paper to review and synthesise existing projects being undertaken by the City regarding infrastructure and service provision, to understand how the City is planning for delivery of community, transport and other infrastructure including but not limited to: <ul style="list-style-type: none"> Integrated Transport Strategy Social Needs Analysis Parking and supply management plan Major road network review Bike plan Engage with service providers to seek preliminary information on potential capacity issues for various infrastructure portfolios. <p>Further action to address this issue is anticipated to be undertaken as part of Phase 4, strategy development, once a spatial option for the allocation of density is selected.</p>
	<p>Lack of developer contribution to neighbourhood improvement in infill areas.</p> <p>Issue description: Consultation outcomes reporting indicates preference for developer contributions to be sought from medium and high-density redevelopments occurring in infill areas to contribute to infrastructure and amenity upgrades in these neighbourhoods. Comments are summarised as follows:</p> <ul style="list-style-type: none"> Preference for additional community infrastructure such as community gardens, upgrades to community halls/common spaces and park upgrades to accommodate additional population. Stakeholder commentary included in outcomes reporting suggests that in lieu of stringent landscaping requirements for developments, which can make a development unviable, developers should be given the option of developer contributions in lieu of achieving these provisions. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> Issue investigation paper to explore issues and options for development contribution schemes for infill development.
Structural issue	<p>Misaligned developer and policy objectives and lack of policy understanding influencing built form outcomes.</p>	<p>Internal review/investigation:</p>

	Issue	Phase 2 Actions
	<p>Issue description: Consultation outcomes reporting and feedback from the technical officer workshop indicates issues experienced due to a lack of alignment between developer interests and policy objectives. Comments are summarised as follows:</p> <ul style="list-style-type: none"> • Developer interests to maximise return on investment are misaligned with the intent and objectives of planning policy to establish liveable and sustainable development outcomes. • Developer interests often look to maximise bedrooms and reduce build costs (i.e., single story builds) to improve return on investment. This results in a larger building footprint often at the expense of open space and landscaping area on a site which compromises liveability and sustainability outcomes for the development. • It was also noted that in some cases, developers or draftspersons did not have a comprehensive understanding of relevant Local Planning Policies prior to undertaking preliminary design works for a site, and therefore would run into numerous issues once the development application is lodged, often resistant to then make significant changes to the established design for the site. • Stakeholder commentary included in community consultation outcomes reporting acknowledges that in many cases the market is driven by the interests of investors and not the interests of future residents. 	<ul style="list-style-type: none"> • Undertake engagement with industry to understand development influences and how statutory planning mechanisms may be able to influence better outcomes including but not limited to: <ul style="list-style-type: none"> ○ Urban Design Institute of Australia ○ Individual developers
	<p>Complexity of planning framework results in difficulty to engage meaningfully with community.</p> <p>Issue description: Feedback from the technical officer workshop in relation to the above is summarised as follows:</p> <ul style="list-style-type: none"> • When engaging community members during the assessment of a development application, meaningful engagement with adjoining neighbours can be hindered by the complexity of the planning system which leaves community members feeling like they have not been heard or listened to. • For example, the City is not able to compel a developer to modify a particular design, where that design is compliant with the deemed to comply provisions of the R-Codes, even if a neighbour has objected to the design through consultation. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> • Undertake internal review of the City's development application consultation materials identify areas where greater transparency can be identified.
Housing supply, demand and affordability	<p>Reduced housing affordability.</p> <p>Issue description: Community consultation outcomes reporting indicates concern over the increased cost of housing. Comments are summarised as follows:</p> <ul style="list-style-type: none"> • Concerns expressed in relation to both the cost of purchasing and renting a property in the City. • Need for more affordable housing options across the City, which give greater opportunity for community members to reside in their suburb of choice. • Concerns upcoding increases property values for established single houses, thus reducing affordability for that typology. • Acknowledgment of the need to make compromises on either price, location or dwelling type to access housing in the City. • Affordability concerns are most prevalent among the City's younger demographic, downsizers and renters. <p>The supply and demand analysis indicates the following in relation to affordability:</p> <ul style="list-style-type: none"> • In 2021, 7.5% of all households in the City were classified as being in housing stress (spending more than 30% of gross household income on rent or mortgage repayments). • 2.3% of households had an unmet need for affordable housing in 2021. This is the percentage of households unable to access housing provided on the market without requiring rental assistance or being in rental stress for more than a year. 	<p>Internal review/investigation:</p> <ul style="list-style-type: none"> • Issues investigation paper to examine housing affordability broadly and identify whether there are any planning mechanisms available to local government to support housing affordability.
	<p>Limited access to housing.</p> <p>Issue description: Community consultation outcomes reporting indicates concern over the lack of housing available, the affordability of the available housing and the lack of diversity of housing options. Comments are summarised as follows:</p>	<p>Internal review/investigation:</p> <p>Issues investigation paper to examine planning mechanisms available to local government to:</p> <ul style="list-style-type: none"> • Incentivise higher density housing in activity centres

	Issue	Phase 2 Actions
	<ul style="list-style-type: none"> • Too little housing available for purchase or rent in the City. • Limited diversity in housing typologies and location to meet community needs. • Undersupply of 'downsizing' housing options which prevents empty nesters from retiring in place. • Limited supply of aged care accommodation. • Concern over lack of access to housing is highest among young people trying to enter the market and people currently renting. • Stakeholder interview feedback identified the need for additional social housing/crisis accommodation for people experiencing homelessness. <p>The supply and demand analysis indicates the following in relation to access to housing:</p> <ul style="list-style-type: none"> • The market demand analysis undertaken has found that 89% of dwellings in the City of Joondalup are single detached houses which is indicative of the limited diversity in housing options available. • Population projections to 2041 indicate the largest growth in the retirement age bracket (64 and over). • Future housing modelling indicates the need for between 5,273 – 8,065 additional dwellings by 2041. • Modelling indicates there will be continued increased demand for alternative forms of housing to single houses. • Sales data indicates that when provided, there is an appetite for alternative housing types beyond single houses in the City. 	<ul style="list-style-type: none"> • Support a diversity of dwelling types • Address the requirements of the WAPC <i>Residential Accommodation for Ageing Persons Position Statement</i>

Current Local Planning Strategy Gap Analysis

A gap analysis of the City's current *Local Planning Strategy* was undertaken to identify areas where strategic actions may require updating. The following outlines Phase 2 actions required to respond to actions in the LPS which were identified to have implications for the review of the *Local Planning Strategy*.

Table 2 – Current Local Planning Strategy Gap Analysis

Theme	LPS Action	Phase 2 Actions
4.3 Commercial Centres (outside the City Centre)	Actions identified through the gap analysis which were considered to have potential implications for the review of the Local Planning Strategy, related broadly to the City's commercial centres outside of the City centre and their operation.	<p>Technical Study:</p> <ul style="list-style-type: none"> • Review of the Local Commercial Strategy to update data and alignment with draft SPP 4.2 and SPP 7.2. • Updated Needs Assessment

State Planning Policy Review

A review of relevant state planning policies and position statements has been undertaken to understand whether technical work is required to bring the Local Planning Strategy into alignment with changes to the state planning framework. The following outlines actions identified as part of this review to be undertaken in Phase 2.

Table 3 – State planning policy review

State Planning Policy	Policy Overview	Phase 2 Actions
State Planning Policy 2.6: Coastal Planning (SPP 2.6)	SPP 2.6 provides for the long-term sustainability of Western Australia's coast and is relevant to local governments that contain coastal areas. The purpose of the policy is to provide guidance for	<p>Phase 2 – Action not required.</p> <p><i>Future action:</i></p>

State Planning Policy	Policy Overview	Phase 2 Actions
	<p>decision-making within the coastal zone including managing development and land use change, establishment of foreshore reserves and protecting, conserving and enhancing coastal values.</p> <p>SPP 2.6 outlines criteria for the consideration of development and settlement arrangements, including building height limits within local planning frameworks and management of water resources. It further acknowledges the importance of coastal planning strategies, coastal hazard risk management approaches, coastal foreshore reserves and community participation in coastal planning.</p>	<p>Action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of strategic options development. Anticipated to be Phase 4 – Strategy development.</p>
<p>Draft State Planning Policy 2.9: Planning for Water (SPP 2.9)</p>	<p>SPP 2.9 seeks to ensure that planning and development considers water resource management and includes appropriate water management measures to achieve optimal water resource outcomes. The policy establishes objectives relating to improving environmental, social, cultural and economic values of water resources; protecting public health through appropriate water supply and wastewater infrastructure; sustainable use of water resources and managing the risk of flooding and water related impacts of climate change on people, property and infrastructure.</p>	<p>Phase 2 – Action not required.</p> <p><i>Future action:</i> Action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of strategic options development. Anticipated to be Phase 4 – Strategy development.</p>
<p>State Planning Policy 3.6: Infrastructure Contributions (SPP 3.6)</p>	<p>SPP 3.6 sets out the principles and requirements that apply to the establishment and collection of infrastructure contributions in new and established areas. The policy establishes objectives to coordinate the efficient and effective delivery of infrastructure to support population growth and development; provide clarity on the acceptable methods of collecting and coordinating contributions for infrastructure and provide the framework for a transparent, equitable, and accountable system for apportioning, collecting, and spending contributions.</p>	<p>Phase 2 – Internal review/investigation</p> <ul style="list-style-type: none"> Issue investigation paper to explore issues and options for development contribution schemes for infill development. <p><i>Future action:</i> Further action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of strategic options development. Anticipated to be Phase 4 – Strategy development.</p>
<p>State Planning Policy 3.7: Planning in Bushfire Prone Areas (SPP 3.7)</p>	<p>SPP 3.7 provides a framework in which to implement effective, risk-based land use planning and development outcomes to preserve life and reduce the impact of bushfire on property and infrastructure. The policy emphasizes the need to identify and consider bushfire risks in decision-making at all stages of the planning and development process whilst achieving an appropriate balance between bushfire risk management measures, biodiversity conservation and environmental protection.</p> <p>The policy applies to all land which has been designated as bushfire prone by the Fire and Emergency Services Commissioner as well as areas that may have not yet been designated as bushfire prone but are proposed to be developed in a way that introduces a bushfire hazard.</p>	<p>Phase 2 – Action not required.</p> <p><i>Future action:</i> Action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of strategic options development. Anticipated to be Phase 4 – Strategy development.</p>
<p>Draft State Planning Policy 4.2: Activity Centres for Perth and Peel (SPP 4.2)</p>	<p>Draft SPP 4.2 and its Guidelines applies to the preparation and assessment of the relevant components of planning instruments that relate to activity centres within the Metropolitan (Perth), Peel and Greater Bunbury Region Scheme areas. Draft SPP 4.2 seeks to provide a consistent approach for the planning and development of a hierarchy and network of activity centres that meets community needs, and provides economic and environmental benefits, enables the distribution of a broad range of goods and services, and facilitates retail, commercial and mixed-use developments.</p> <p>The policy identifies that a needs analysis should be prepared as part of the background analysis step of preparing a local planning strategy. The analysis (Needs Assessment) provides an information base to support decision making by including an assessment of projected retail, commercial and entertainment land use needs of communities in a local government area and its surrounds.</p>	<p>Phase 2 – Technical study:</p> <ul style="list-style-type: none"> Review of the <i>Local Commercial Strategy</i> to align with the requirements of the draft SPP 4.2. <p><i>Future action:</i> Further action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of the review of the <i>Local Commercial Strategy</i> and strategic options development.</p>

State Planning Policy	Policy Overview	Phase 2 Actions
	Draft SPP 4.2 encourages the preparation of precinct structure plans for strategic, secondary district and specialized activity centres. neighbourhood and local activity centres may require either a precinct structure plan or local development plan, at the discretion of the decision maker.	
State Planning Policy 5.4: Road and Rail Noise (SPP 5.4)	<p>SPP 5.4 provides guidance for the performance-based approach for managing and mitigating transport noise associated with road and rail operations.</p> <p>This policy applies where noise sensitive land uses are located within a specified distance of a transport corridor, new or major road or rail upgrades are proposed where works propose an increase in rail capacity resulting in increased noise. The policy also sets out specific exemptions for where the policy requirements do not apply.</p> <p>SPP 5.4 supports noise impacts being addressed as early as possible in the planning process to avoid land use conflict and achieve better land use planning outcomes. Considerations for decision-makers include ensuring that the community is protected from unreasonable levels of transport noise, whilst also ensuring the future operations of transport corridors. SPP 5.4 is supplemented by the Road and Rail Noise Guidelines.</p>	<p>Phase 2 – Action not required.</p> <p><i>Future action:</i> Action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of strategic options development. Anticipated to be Phase 4 – Strategy development.</p>
State Planning Policy 7.2: Precinct Design (SPP 7.2)	<p>SPP 7.2 provides guidance for precinct planning with the intent of achieving good planning and design outcomes for precincts within Western Australia. The policy recognizes that there is a need to plan for a broader range of precinct-based contexts and conditions to achieve a balance between greenfield and infill development. Objectives of the policy include ensuring that precinct planning and design processes deliver good-quality built environment outcomes that provide social, economic and environmental benefit to those who use them.</p> <p>Precinct types include activity centres, station precincts, urban corridors, residential infill and heritage precincts. These areas are recognised as requiring a high-level of planning and design focus in accordance with a series of precinct outcome considerations as outlined in the policy. The policy also encourages the use of design review.</p>	<p>Phase 2 – Technical study:</p> <ul style="list-style-type: none"> Review of the Local Commercial Strategy to align with the requirements of the SPP 7.2. <p><i>Future action:</i> Further action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of the Local Commercial Strategy review and strategic options development.</p>
Residential Accommodation for Ageing Persons Position Statement	This position statement has been prepared by the WAPC to outline the requirement to support the provision of residential accommodation for ageing persons within Western Australia's local government planning framework. The position statement seeks to achieve consistent strategic planning consideration of residential accommodation needs for ageing persons in local planning strategies and consistent statutory planning guidance to standardise land use definitions and zoning permissibility for residential accommodation for ageing persons in local planning schemes.	<p>Phase 2 – Internal review/investigation:</p> <ul style="list-style-type: none"> Issues investigation paper to undertake preliminary work required to address the requirements of the WAPC's <i>Residential Accommodation for Ageing Persons Position Statement</i> to inform spatial options.
Draft Planning for Tourism Position Statement	<p>The intent of his position statement is to guide the appropriate location and management of tourism land uses through the planning framework and:</p> <ul style="list-style-type: none"> Facilitate acceptable development of new and evolving tourism opportunities Provide high-level of amenity in tourism areas Deliver quality land use planning outcomes 	<p>Phase 2 – Action not required.</p> <p><i>Future action:</i> Action to address this State Planning Policy may be required as part of future project phases dependent on the outcomes of strategic options development. Anticipated to be Phase 4 – Strategy development.</p>



HOUSING REVIEW

Phase 1 – Market Research and
Community Engagement

Part A - Housing Intentions and

Part B – Housing Issues



researchsolutions

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1.0 EXECUTIVE SUMMARY

The City of Joondalup's population is forecast to grow by 41,350 by 2050, and the State Government has set a target of 22,630 homes to be provided in the City by 2050, much of it delivered as infill. This will result in a significant change in the appearance and density of the City neighbourhoods. The City has commenced a review of its Local Planning Strategy and has commissioned Research Solutions to provide the consultation for the first stage of the housing review, which encompasses and is detailed in this report:

Part A - Housing Intentions project: a housing intentions survey of the City of Joondalup's adult residents.

Part B – Housing Issues project: This was to confirm that the issues and themes identified through past consultation activities remain relevant and to identify if there were any gaps or new issues which need to be considered in the Housing Review.

The Housing Intentions project was based on a robust and independent survey comprising a stratified random sample of 801 City of Joondalup residents. The sample was stratified to reflect the City's profile of residents by age and gender and then randomised within those quotas.

The Housing Intentions survey measured:

- The type of housing in which survey participants currently live;
- The type of housing that survey participants best feel will meet their housing needs in ten years;
- The minimally acceptable type of housing that survey participants would consider living in, in ten years.

The rigour and representativeness of the Housing Intentions survey provide the opportunity to quantify key housing issues identified in this and previous consultations to assist the City in understanding where residents place their priority.

Housing Issues consultation focused on both engaged and unengaged residents, the latter included: young people, seniors, CaLD, those renting and those who still lived with their parents, residents with a disability and those working in the disability industry and young families. The information received during the consultation was sourced through:

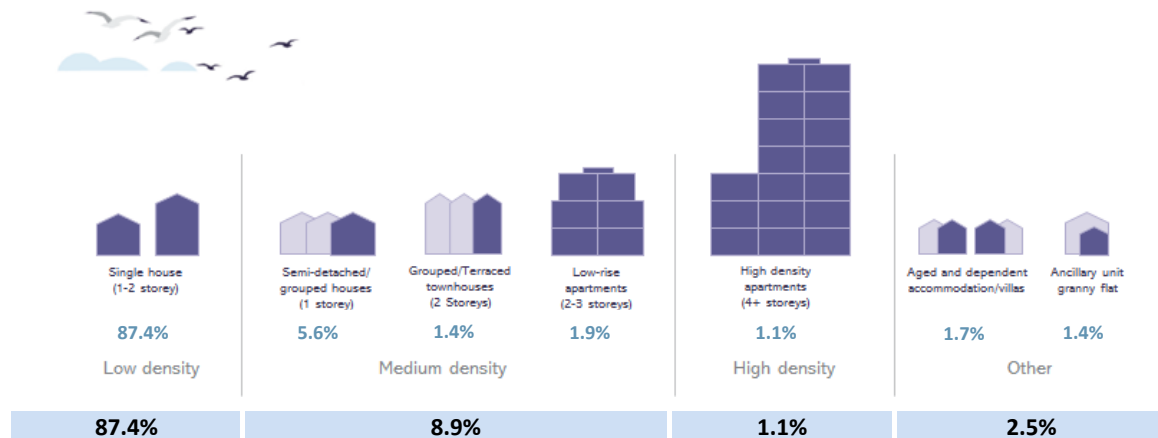
- An analysis of the results from the online comment form which were mainly from engaged residents: 489 residents.
- Intercept interviews with open-ended questions targeting the unengaged: young people, young families, seniors, and the elderly and CaLD: 53 residents.
- A three-day discussion board pre-recruiting renters and adults living at home, young families, and the elderly: 32 residents.
- Stakeholder interviews with providers of social services and housing, government bodies, private industry, and community groups: 13 Stakeholder organisations.
- Validation groups, one with engaged residents and one with unengaged residents: 14 residents.

1.1. Housing intentions

1.1.1. Current housing types

The vast majority of survey participants (87.4%) described their current residence as a single-storey or double-storey home with a backyard. Only 8.9% describe themselves as living in medium-density housing, and 1.1% in high-density housing.

Figure A – Distribution of housing types



As one would expect, age has a significant impact on current housing type:

- The under twenty-five age group, three-quarters of whom say they still live in the family home, a single house dwelling (85.8%).
- The twenty-five to thirty-four age group, half of whom now have a mortgage, are the group least likely to be living in low-density housing with one in four currently living in medium or high-density housing.
- Between the ages of thirty-five and seventy-four years, the type of home ownership remains fairly similar with ninety per cent of survey respondents in this age group living in low-density housing.
- The seventy-five years and over age group then begins to move away from low-density housing towards medium-density single-storey semi-detached houses and single-level villas or aged care accommodation.

Renters are the group least likely to live in low-density single-house accommodation (63.2%) and more likely to live in medium-density (21.8%) and high-density housing (8.8%).

1.2. Dwelling preferences in the future

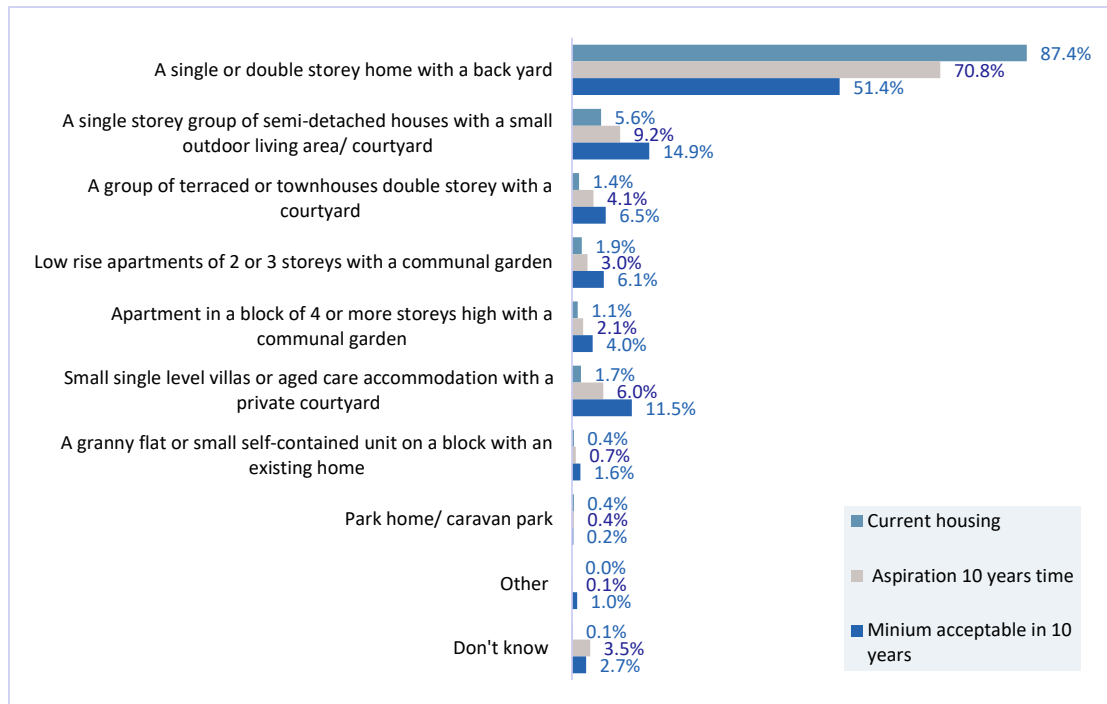
Outcomes from the housing issues consultation activities, and confirmed by the survey, suggest that one size does not fit all. While the greatest demand for housing near future will remain the single freestanding dwellings, there is some appetite for medium-density housing types including villas and townhouses with gardens of various sizes. There appears limited appetite for high-rise apartments.

Looking forward 10 years the survey measured dwelling preferences in two ways:

- The preferred type of dwelling.
- A minimum acceptable type of dwelling.

The survey participants show a shift away from low-density single houses towards medium-density housing, with the proportion of respondents selecting medium-density housing doubling between 2022 and 2032 as shown in the following Figure C.

Figure C – Current and future housing preferences.



Q3. And what is the minimum type of housing you would consider acceptable looking forward 10 years? n-801

Focusing on the younger members of the population coming through (18-34 age group) the acceptance of medium-density housing appears greater when looking forward ten years; whether this group retains its preference as they start families is difficult to predict.

Of the under-25 age group most of whom are currently living at home with their parents (77.4%), about a quarter aspire to be living in medium-density housing in ten years and a further ten per cent in high-density apartments. When considering the minimum type of housing that they would find acceptable, the acceptance of medium-density housing increases to 37.7% selecting medium-density housing (mainly 2 and 3-storey apartments) and 16.0% accepting high-density housing.

There are no real differences among other segments of the community, though as expected, seniors consider downsizing after the age of 75.

1.3. Housing Issues

Overall, the themes and issues raised in the consultation were consistent with those raised in previous studies on the subject of housing and in-fill undertaken by the City. When considered together, the themes coming from this consultation can be broadly categorised into four broad subjects:

- (1) Access to housing.
- (2) Liveability.
- (3) Sustainability.
- (4) Structural issues.

1.3.1. Access to housing

Access to housing emerged as a key concern, with community members expressing views that there is too little housing available, little if any is affordable and there is too little diversity in terms of style and location to meet need. This issue includes both homes to rent and homes to buy and is not well articulated in the previous meta-analyses. It is a very topical issue.

The need was most apparent among young people wishing to enter the market, people currently renting and elderly people looking for a lifestyle change. Stakeholders describe too little housing being available at all points along the housing continuum, inevitably pushing people down the housing ladder and causing a greater number of people to fall off the ladder altogether.

1.3.2. Liveability issues

Some have positive experiences with infill in and around their area. The validation workshops in particular provided examples of people who described infill in their street in terms of urban renewal rather than urban infill. Older rundown houses are slowly being replaced with two or at most three new attractive dwellings with landscaping, making the street more aesthetically pleasing.

"It's nicer to walk down the street. I don't have to feel embarrassed by the house next door that looks derelict with weeds up to the windows."

Many residents feel differently. In their experiences infill has resulted in streets and suburbs changing in character to become hotter, less attractive, noisier, and more congested. Streets are less walkable and there are perceptions that suburbs have become less safe.

Concern was also expressed about the loss of green space and recreational areas and places to play; the concept that public open space would be reduced is clearly misplaced but needs to be managed.

1.3.3. Sustainability issues

Sustainability relates to community alignment with sustainability goals. There is concern that current infill practices most often result in an increased environmental footprint (e.g. less groundwater recovery, hotter suburbs, higher energy usage from cooling/heating).

"Proper infill planning should include the planning of more shade-appropriate street trees and the sinking of powerlines across the City to allow the growth of tree canopies for shade and the cooling of suburbs."

There is a strong sense that the current infrastructure doesn't meet current needs nor plan for future demand for e-vehicles, including bikes and scooters. Upgraded transport infrastructure that supports sustainability goals should cater for emerging modes of transport.

"That means separate paths for e-bikes and people."

Many community members and stakeholders agree that poor infill policies and practices have made it more difficult to achieve sustainability goals, such as the removal of vegetation, design quality and land fragmentation.

“The transition to density is a flawed concept. The more land is subdivided the more difficult it will be to reassemble a parcel of land large enough to do anything meaningful with.”

1.3.4. Structural Issues

Stakeholders and members of the community listed a plethora of barriers to achieving the desired outcomes, the main ones being:

- (1) The complexity and hierarchical nature of the state planning system. Many feel the system leaves local government limited room to move.
- (2) The market failure to deliver high-density dwellings and stakeholder perceptions that the market for apartments is soft and will remain so.
- (3) Competing tensions between the investors looking to make a profit today and policy goals. Property developers are motivated to build in a way that maximises their return on investment with liveability and sustainability often being secondary considerations.
- (4) Lack of coordination between local and state government bodies and authorities responsible for delivering the infrastructure and services necessary to support an increase in population.
- (5) Many perceive local government approaches planning approvals in an ad hoc fashion. Decisions are made discretely without reference to adjoining properties, resulting in sub-optimal outcomes.
- (6) Many believe property developers exert too much influence over planning decisions.
- (7) A common perception is one of little oversight over building developments. There is a belief that once approval is given, Council appears to take little responsibility for any divergence between what is approved and the actual build.
- (8) There is a mistrust of local government and the motivations underpinning its planning strategy. Some perceive the purpose of infill development is to increase income without increasing services.

“Look there are barely enough shops now; people are already having difficulties accessing day care and schools.”

“In fairness, I can think of instances where the Council has tried to do the right thing, and they’ve been rolled. The developers just take the Council to the State Administration Tribunal which makes decisions in favour of the developer.”

“Quite often there is a difference between what they build and what’s on the plan. The City doesn’t check. They’re too concerned about unfenced pools than these developments.”

“They are just doing this for more rate income. The CEO is paid more than the Premier; for that sort of money I want better decisions.”

1.3.5. New Issues

Several new themes or variations on themes were identified in this consultation, chief among which were concerns about access to suitable housing to buy as well as to rent and social impacts. We can hypothesise that these issues emerged because

- The City consulted more broadly, deliberately targeting groups under-represented in previous consultations
- Need is more acute, and
- The problems are more visible (e.g. homelessness, vandalism etc).

The key issues raised were:

- (1) Access to housing in terms of both availability and affordability is raised as one of the four key issues above.
- (2) Social impacts cover a wide area and can be categorised as follows:
 - (i) A lack of affordable and appropriate accommodation leads to people falling into homelessness or staying in an unsafe environment
 - (ii) Design quality, lack of diversity of dwelling type, and location are perceived to have negative impacts on health and wellbeing and community cohesion
 - (iii) The impact of having more people in a confined space was felt to lead to crime, antisocial behaviour, and vandalism
 - (iv) The impact on access to social services outside those provided by the City such as medical services, hospitals, schools, day care etc.
- (3) Additional perspectives on liveability such as noise and perceived loss of public open space and recreational areas.
- (4) Additional perspectives on sustainability such as a potentially increased environmental footprint.

A further key theme is that the consultation provides evidence that much of the community is not anti-development or even anti-infill development per se. Few appear to dispute the need for more housing to accommodate both current and future needs, and even those who dispute population forecasts appear to accept environmental considerations as a driver for change.

However, there is widespread agreement that infill development must be delivered in a way that:

- at least maintains liveability standards for the existing community,
- delivers quality housing for intended residents, and
- demonstrates clear, measurable progress towards sustainability goals.
- The message was reiterated by stakeholders, the majority of whom dispute the claim that '*what the market wants*' is three-by-two dwellings with no garden. A lack of diversity in type and location results in sub-optimal outcomes, which neither meet the needs of the intended tenants or neighbours nor the wider community.

"People very often need support to maintain a tenancy, but the odds of success are much higher when they can be housed in a dwelling that suits them. Some people do very well in an apartment, others will succeed in a little villa with a garden."

1.3.6. The role of Local Government

When stakeholders were asked how local government could foster and support good housing outcomes, they suggested the following:

- (1) Developers want great flexibility and less bureaucracy. Some perceive that it is difficult to develop in the City of Joondalup.
- (2) Other stakeholders look for the City to implement policies that maximise opportunities in existing housing stocks, such as rates and penalties for long-term vacant dwellings and potential rate incentives to inject those houses into the rental market.
- (3) Few see the City as having a role in direct service provision but feel it should play a role in ensuring the correct placement of urban infill and advocating for more social and affordable housing.
- (4) The City also has a role to play in advocating for the appropriate infrastructure and services from State Government.
- (5) The City also has a role to play in coordinating and facilitating ongoing dialogue between all stakeholders, including State Government Departments, service providers, community groups and developers.

“The requirement for greenspaces makes it very hard to make a profit. We do less and less in Joondalup because the City is hard to work with.”

“We’d love more opportunities to sit down with local governments, like the City of Joondalup.”

1.3.7. Housing location

In terms of appropriate locations for infill dwellings, the majority of opinion appears consistent with the finding of previous consultations. While few community members made specific mention of Housing Opportunity Areas, their comments, and responses to the activities on the online community discussion board clearly demonstrate a preference for infill to be distributed throughout the City of Joondalup with greater density around activity areas, such as the Joondalup City Centre. The mapping exercise further suggests that the type of dwellings considered acceptable is in part dictated by the socioeconomic profile of each area. For example, a greater number of villas in less affluent suburbs, townhouses placed in more affluent suburbs and aged and assisted living facilities placed in older suburbs.

Consideration needs to be given to building heights; there is a strong preference for higher buildings to be located along busy corridors and stepping down to low-density dwellings further into the suburb.

1.4. Differences in housing issues amongst the unengaged segments

The survey indicated that there was no difference in the issues which were important to the engaged community compared to the unengaged community in general; however, there were some differences within the unengaged and hard-to-reach communities.

Young people

The under-25 age group and including the under-35 age group, were more receptive to medium-density housing and they were less concerned about building height and overshadowing; however, their greatest concerns were:

Housing affordability: 83.0% of the under 25 age group and 78.3% of the under 35 age group.

The impact of urban infill on property prices: 78.3% of the under 25 group, this was less of an issue for the under 35 age group.

Seniors

The great majority of seniors currently live in low-density single houses: 87.2%. In ten years, they report some downsizing; however, 62.9% still see themselves living in low-density housing and when asked about the minimum acceptable accommodation in ten years' time, 47.5% still wish to live in low-density housing. Overall the acceptability of medium-density housing increases from an aspirational 11.9% amongst this age group in ten years' time to medium-density housing becoming the minimum acceptable level of housing for 20.3% of this age group.

The group of seniors most likely to aspire to medium-density and particularly small single-level villas or aged care accommodation with a private courtyard in ten years' time are those aged 75 and above.

Most of the seniors own their home outright (73.2%) and their views are similar to the community in general; however, they are more likely to approach their Elected Member if they feel there is an issue.

The CaLD Community

The CaLD community defined as people speaking a language other than English at home is represented by 7.6% of survey participants and is well distributed by age, location and tenure in the sample. The housing tenure profile and support for various housing issues is similar to other groups; however, 23.0% of the CaLD community surveyed feel they have been negatively affected by infill, which is twice that of other groups.

Increased noise levels are the one issue that is more critically important to this group than other groups.

Disability

In all, fifteen per cent of the survey sample live with either a disability, a chronic condition or care for someone with one. This group tend to be older, with 57.5% aged 55 years and above, and few are under 35. Their issues are similar to those of the general community, but when asked what other issues they would like to include some members of this group specified that disability access and accessible pavements should be included in planning for the future.

Renters

Almost eleven per cent of the sample rented their home and half of these people were aged under 35. This group is more likely to live in and accept medium-density housing than other groups; in the future, up to one-third of those who rent are likely to accept medium-density housing as their minimum requirement.

The key issues for this group, as with young people generally, are:

- Housing affordability: 75.9%.
- The impact of urban infill on property prices: 64.4%.

Young people living with their parents

Over three-quarters of this group (12.9% of survey respondents) are under the age of 25 and live in low-density single homes. Their profile is similar to that of renters in that whilst only 1 in 5 of this group aspire to medium-density housing in ten years' time and less than ten per cent aspires to high-density housing when considering their minimum requirements medium density housing becomes more acceptable. The acceptance of increased density doubling to 37.9% of young people living with their parents who would live in medium-density housing, and 13.6% of this group would live in high-density housing if necessary.

The issues for this age group, as with renters and the under-25 age group are:

- Housing affordability: 85.4%
- The impact of urban infill on property prices: 73.8%

The diversity of housing is an issue of significantly higher importance to this age group with 56.3% expressing concern.

Families with young children

This group is defined as families with children under 12 years living at home and represents 20.6% of survey participants. This group tend to be aged between 25 and 54, with half of these respondents in the 35 to 44 age group. This group is more likely to feel that they need low-density single homes now and in the future, and 77.6% of this group currently has a house with a mortgage. Their concerns are similar to the population generally; however, they are the group most concerned about the impact of additional population on available places at local schools and day care centres.

This group is also the most likely to have engaged with the City, with 21.2% having been involved in consultation with the City in the last two years.

The engaged

In all 19.0% of survey participants are defined as engaged, having been engaged in consultation or a survey for the City or contacted their Elected Member in the last 2 years. The survey clearly demonstrates that there are no significant differences in the level of importance of housing issues between those people who are engaged and those who are unengaged as noted above. However, the report analyses the issues of critical interest to survey respondents who feel that they have been impacted by infill and those who have approached their local members in the last 2 years where there are some differences in the housing issues of these groups.

1.5. Housing Issues Conclusions

The range of themes identified in past consultations hold true today and are largely similar across all groups; what differs is where groups place the emphasis. Age, income, life-stage, and experience of infill all impact attitude. For example:

- Activities conducted as part of the housing issues study suggest that residents are more likely to be engaged if they feel they have been negatively affected by infill; a suggestion confirmed by the Housing Intentions survey. Their concerns are driven by the impacts they experience and witness in their streets and neighbourhoods.
- People with negative experiences are mainly concerned about liveability and everyone is concerned about environmental sustainability.
- Street trees and parking remain hot-button issues. Discussion suggests that sustainability should be added to the list: it appears to be of increasing importance as more people accept climate change is real and connect the impact of development on native fauna and suburban temperatures.

New issues have emerged with the widened brief. There is evidence for access and concern for social outcomes as new themes which should be incorporated into the review process.

- **Access to housing;** these people are mostly young and are driven by issues of affordability and availability.
- **Social issues** are exacerbated by the current situation of access to suitable housing, the impact of increased population density and also as the result of servicing more people with limited resources.

Future housing policy should clearly demonstrate how it will achieve liveability and sustainability goals and improve access to housing. It should also provide a mechanism for managing and measuring progress towards these goals.

2.0 INTRODUCTION

The Planning and Development Act 2005 requires all local governments to maintain a local planning scheme, part of which is conducting regular five-yearly reviews. Local planning strategies inform the local planning schemes and are generally prepared or reviewed as a prelude to the significant change in the Scheme. Processes associated with the preparation and review of local planning schemes and strategies are specified in the Planning and Development (Local Planning Schemes) Regulations 2015 (the Regulations).

The City of Joondalup (the City) has commenced a review of the City's Local Planning Strategy as a prelude to its five-yearly review of its Local Planning Scheme. This review particularly focuses on the housing component of the Local Planning Strategy.

The City's population is forecast to grow by almost 20,000 over the next 20 years, and the State Government has set the target of an additional 22,630 homes to be provided in the City by 2050, with much of it delivered as infill. This will result in a significant change in the appearance and density of City neighbourhoods.

The City has been consulting with the community since its housing intentions survey in 2009 on the subject of housing and infill. This consultation has resulted in the City's most recent design policy for infill at medium-density; however, there are enduring concerns among some community members regarding the impacts of infill housing and perceptions the current planning framework is under-delivering liveability outcomes.

Responding to ongoing community concern and advocacy around these issues, in May 2021, Council agreed to bring forward the review of the housing component of the City's Local Planning Strategy from the 2022/23 financial year to the 2021/22 financial year and is a key contextual influence for the project.

The City is taking a very measured approach to its review of its Local Planning Strategy and Local Planning Scheme No. 3 and has created two projects: Housing Review and '*Other Matters Review*'. These projects relate to the '*Housing Review*'. The Housing Review is a comprehensive review of housing and density issues across the entire City of Joondalup and includes all housing and accommodation issues, not just infill.

The City appointed Research Solutions in June 2022 to undertake two related projects:

Part A - Housing Intentions: a housing intentions survey of the City of Joondalup's adult residents.

Part B – Housing Issues: to fill gaps in knowledge regarding housing issues, particularly from previously unengaged residents.

This report is in two parts Part A – The Housing Intentions survey, providing robust, independent, and quantifiable data regarding the future housing intentions of City of Joondalup residents and Part B- The Housing Issues consultation which includes:

- Filling gaps in knowledge regarding housing issues from the perspectives of the previously unengaged stakeholder group, with '*unengaged*' being defined as either never having participated in a survey or consultation for the City of Joondalup or contacted an Elected Member about an issue of concern, or not done so within the past two years.
- Involving engaged stakeholders to confirm housing issues to be addressed by the housing review.

3.0 METHOD

Part A – the Housing Intentions survey and Part B – the Housing Issues research significantly overlap and hence have been put together in one report.

3.1. Part A – Housing Intentions

3.1.1. Objectives

This report focuses on identifying future housing needs in the City of Joondalup. Research Solutions has done this by:

- Identify the type of housing in which survey respondents live;
- Asking residents to identify the type of dwelling they feel will best meet their housing needs in ten years;
- Asking residents to define the minimum acceptable type of housing they would consider in ten years.

Extensive consultation in late August and throughout September 2022 identified a wide range of potential impacts of an increased population, these impacts were reduced to 16 broader impacts leading to the survey:

- Measuring the proportion of residents citing each of the impacts;
- Identifying if there are any other issues of concern;
- Measuring demographic information as appropriate to profile the sample, including hard-to-reach groups and identifying previously unengaged residents.

3.1.2. The Approach

As suggested in our proposal, the extensive consultation of housing issues was undertaken first with strong engagement with the unengaged sections of the community to identify the range of issues of concern, building upon existing consultation that the City had undertaken and the positives that the community perceived medium-density development could deliver.

Following the scoping meeting and the extensive consultation, a questionnaire was developed based on the objectives above and the findings of the consultation. The City worked hard to develop a scale of housing typologies with easy-to-understand descriptions to help the community describe their current housing situation and their expectations and needs for the future. These proved easy for survey participants to understand and classify their preferences and needs.

The telephone questionnaire was agreed upon with the City of Joondalup and circulated amongst Elected Members for comment.

The questionnaire was circulated to Elected Members and was programmed into the computer-assisted telephone interviewing (CATI) system and the interviewers briefed by Nicky Munro on Thursday, 6th October. A pilot study was undertaken on the 6th October achieving 30 interviews and the questionnaire was timed at 10 minutes. The purpose of the pilot survey was to ensure that the questions were understood, including the housing typologies, the questionnaire flowed smoothly, and the elicited the required information. The project manager reviewed the results of the pilot study, and no change was made to the questionnaire.

A stratified random sample was achieved by applying age and gender quotas to the survey producing a sample that is consistent with the distribution of the adult population in the City of Joondalup as described in the 2021 Census. The sample includes hard-to-reach groups such as:

- those living with a disability or with a chronic condition or caring for somebody with a disability (15.1% of respondents)

- people who speak a language other than English at home (representing culturally and linguistically diverse people) (7.6% of respondents)
- people who rent (10.9% of respondents)
- people with young children under 12 living at home (20.6% of respondents).
- people under the age of 25 (13.2%) and people under the age of 35 (22.4%)
- seniors in this survey identified as 55 years and over (43.3%).

An important feature of the survey was to reach a significant sample of unengaged residents; 81% of survey respondents were defined as unengaged (not having engaged in consultation with the City nor engaged with their Elected Members on an issue of concern in the last two years). A detailed profile of respondents is provided in the last section of this report.

The sample was collected by one of Research Solutions' field teams, Thinkfield. Both Research Solutions and Thinkfield are quality assured under the International Standards in Market, Opinion and Social Research - ISO 20252:2019. Almost ninety per cent of the interviews were conducted by telephone; however, to reach young people and those in rental accommodation, interviewers conducted face-to-face interviews with some of these people in places where young people gather. Overall, 11.3% of the sample was conducted as a face-to-face interview with a \$1 Scratch-n-Win ticket provided as a thank-you for participating. Supplementing the telephone surveys with face-to-face interviews to engage with the under-35 age group is now common practice amongst Band One Local Government surveys to ensure that a representative sample of young people is obtained.

One interview was undertaken with each household and both mobile and landline telephone numbers were used to reach respondents. A decision was made not to weight these samples as the stratified random sample approach with quotas ensured that the sample was representative of the latest Australian Bureau of Statistics data for the area (2021 Census).

Eight hundred and one (801) interviews were completed by Tuesday, 18th October. After the survey, ten per cent of the telephone interviews were validated to ensure that the survey answers had been recorded correctly, as mandated by The Research Society and by ISO quality assurance procedures.

On receiving the data file, Research Solutions thoroughly checked the data and coded the open-ended responses, ready for analysis. Part of the data checking revealed that some survey participants lived in mobile homes or demountable homes, and a new category was created for these people.

A detailed analysis of the findings was undertaken, including:

- A frequency count
- Cross-tabulations
- Tests of statistical significance – Chi-Square, Z-Test and the False Discovery Rate
- Other analysis as required.

3.2. Part B The Housing Issues

The consultation exercise comprised four activities, each targeting a different community segment.

- (1) **Activity One:** Confirm the issues previously raised through an open online consultation form.
- (2) **Activity Two:** Intercept interviews with unengaged residents from hard-to-reach groups
- (3) **Activity Three:** A three-day online community discussion with unengaged residents from other hard-to-reach or under-represented groups, e.g. people who rent or live in dwelling types other than a single home.
- (4) **Activity Four:** Stakeholder interviews to provide context and advice.

(5) **Activity Five:** Two online validation workshops, one with engaged and one with unengaged residents.

The formats of the various activities were consistent with IAP2 consultation principles. Specific topics explored were developed from the meta-analysis of past engagement activities and through consultation with the City.

3.2.1. Activity One: Confirming the issues

The City of Joondalup hosted an online consultation exercise, open to anyone who lives or owns property within the City of Joondalup and specifically intended to attract and consult with the already engaged on housing issues. Specifically to:

- Ensure all residents had an avenue to provide comments,
- Confirm the issues captured through previous consultations, and
- Identify and explore any additional issues that may have been missed.

Research Solutions developed the questionnaire from the meta-data provided by the City ready for programming.

The online consultation was hosted on the City of Joondalup's engagement page. The City advertised the opportunity through various channels to residents, including targeted emails to groups and individuals known to be engaged with the topic. The online consultation was programmed by the City, and the data was collected using SurveyMonkey between the 5th of September and the 17th October 2022. The collected data was provided in Excel format to Research Solutions for analysis.

Respondents were asked to review the list of issues and mark which they felt were or were not relevant to development in the City of Joondalup. They were then provided with the opportunity to add additional comments through an open-ended question.

Open-ended comments were analysed for themes and issues not previously captured, with the analysis reviewed by a second researcher.

Respondents were also given the opportunity to register their interest in receiving ongoing communication about the project.

After the exercise, a total of 489 residents had completed the consultation form in full, about a third of whom were unengaged residents. Just over half of all respondents took the opportunity to add further comments through the open-ended question. Many responses were very lengthy and are appended in full to this report.

3.2.2. Activity Two: Intercept Interviews

The consultation program included a series of intercept interviews with unengaged residents from community segments the City identified as hard-to-reach. These being:

- Young people
- Young families
- Elderly and seniors
- CaLD.

The questionnaire was developed by Research Solutions. The questionnaire was reviewed by the City before launch. On average, participants took 16 minutes to complete the intercept interview, which is more than twice as long as anticipated. This demonstrates the level of interest and relevance of the topic and the depth of response given by participants.

Data collection was undertaken by intercept interviews using professionally trained and experienced interviewers at several City of Joondalup facilities and various locations throughout the City. The data was

collected over a six-day period, from the 7th to the 12th of September 2022. Participants were asked a number of screening questions to ensure their eligibility. Eligibility was based on being a resident of the City and being in one of the intercept interview target segments (listed above). City of Joondalup residents who did not meet the eligibility criteria of the intercept interviews were directed to the City's online engagement page, where they could if they chose, participate in the online consultation.

Participants were asked three open-ended questions and some demographic questions.

Interviewers responded Research Solutions in an Excel spreadsheet, with verbatim responses manually coded and reviewed by a second researcher.

A total of 53 intercept interviews were conducted. Young men, in particular, and men in general, tend to be less well-represented in surveys and consultations; interviewers were further briefed to attempt a ratio of 2:3 male to female within each targeted segment.

3.2.3. Activity Three: Pop-up community discussion

The third activity of Part B: Housing issues, involved a three-day online community discussion. The purpose of the online community discussion was to explore housing issues among hard-to-reach groups and those previously under-represented in past consultation exercises, including:

- Renters and adults living at home with their parents
- People living in a range of dwelling types
- Young families, and
- The elderly.

Research Solutions designed the engagement activities and built the infrastructure for the online community discussion using the Recollective online platform. The results of discussion activities are detailed in section 8.0 and included:

- straight questions-and-answers,
- a mapping exercise to identify appropriate areas for infill development, where participants were presented with a high-level map of the City of Joondalup, and asked to identify areas appropriate to locate different dwelling types (see 8.3 for detail)
- a photo sort to explore attitudes to dwelling types, where participants were asked to match different with an appropriate dwelling
- a multi-media exercise to gather information about what people viewed as positive outcomes / good quality development.

The framework for the online community discussion is appended to this document, along with selected data sets of participants' responses.

Participants of the online community discussion were recruited by Thinkfield, an independent data collection and recruitment agency. Each of the City's six wards was represented. The recruitment process screened out people who are already engaged and people who work for the City. All participants were fully informed about the purpose of the discussion, with the discussion framed around the non-negotiables and project givens.

The framework for the online community discussion is appended to this document, along with selected data sets of participants' responses.

A total of 32 participants were recruited to the online community, and all participated. Overall, the online community successfully engaged participants over the three-day period, with moderators receiving positive feedback from a number of participants.

Outputs from the board were analysed, and the housing issues and challenges experienced were coded to ensure that concepts were captured in the community survey.

3.2.4. Activity Four: Stakeholder interviews

The City identified a range of stakeholders whom they felt could add value to the discussion. These included providers of social services and housing, government bodies, private industry and community groups, such as the Joondalup Urban Development Association (JUDA).

Research Solutions prepared a broad topic guide, which was provided to the City in advance.

Interviews were recruited from a list of stakeholders supplied by the City of Joondalup and were emailed in advance to advise them of the study and ask for their participation. Interviews were conducted at a time convenient for the stakeholder, either in person or on the phone/via Teams. Notes were taken at the time of the interview, and where necessary, participants were recontacted to clarify an issue or comment made. Most were happy to be identified as having participated. Their comments were reviewed for common themes and concerns, with the analysis itself reviewed by a second researcher.

In total, 18 stakeholders participated; these represented 13 of the 15 organisations targeted. Two interviews were not secured within the timeframe.

3.2.5. Activity Five: Online validation workshops

Following the analysis of the consultation outcomes, the consultants conducted two resident workshops to share the consultation process and to provide high-level findings. During the workshops, participants were given the opportunity to provide more feedback and build on the community vision. One workshop was held with engaged residents and the second with unengaged residents.

Engaged participants were recruited from those who had participated in Activity One: Confirming the issues. Participants of the unengaged workshop had not participated in this or previous City of Joondalup research within the past two years. The workshops were held between the 5th and 7th of November 2022.

Research Solutions developed the agenda for each workshop, which the City reviewed prior to the workshops being conducted. A copy of the agenda is appended to this report.

In total, 7 residents participated in the engaged workshop, and 7 participated in the unengaged workshop. Overall, the workshops had high levels of involvement, with participants agreeing with the findings ascertained from the previous stages and adding additional insights and context. Workshop participants joined early, and each workshop ran significantly over time due to their level of interest and engagement with the topic.

3.2.6. Demographic Profile of the Housing Issues exercises

The consultation exercise captured demographic information to better understand people's current circumstances and provide points of comparison between data sets.

Confirming the issues: people who completed the City's online consultation form tended to be older than those participating in other consultation activities. It is interesting to note that the previously unengaged residents who completed this consultation exercise have a similar profile to their already-engaged counterparts. This group had a higher proportion of homeownership than in other consultation activities, with almost half owning their own homes outright. The majority live in free-standing single homes. Higher proportions of this group of residents lived in Duncraig, Edgewater, Kallaroo, Kingsley and Woodvale than in other suburbs, with each contributing approximately 9% of the sample. Looking at residence by ward, 21.3% of respondents were from the Central ward and 20.2% from the North Central ward. Information about CaLD and disability status was not captured.

Intercept interviews: The intercept interviews overshot the target, delivering 53 of an expected 50 interviews. All participants met the criteria of unengaged City residents. Almost 70% of interviewees were under 45 years of age, and approximately one-fifth were under the age of 30. Seniors were well-represented, with 22.6% over

the age of 64, including 7.5% over 75 years. Families with children under 12 comprised almost 60% of the sample. Fewer among this group were homeowners: almost 30% either rented or live at home with their parents. Padbury and Duncraig accounted for almost 40% of the sample, which was a function of the location the interviewing took place. Recoded into wards, the sample appears better distributed around the City of Joondalup: the Central, South West and South wards each accounted for a little over 20% of the sample. Only 3 respondents (5.7%) lived in the North ward, with the remainder distributed between the North Central and South East wards. Almost ten per cent either identified as having a chronic condition or as caring for someone who does (9.5%), and a fifth spoke a language other than English at home.

Online Community Discussion: The online community discussion board included a total of 32 participants. The proportion of renters and people living at home was similar to the intercept interviewees, totalling a little over 20%. About 30% had children under the age of 12 at home. Residents represented 17 of the City's 21 suburbs.

The table below details the demographic profile of participants by activity.

	Confirming the issues (n-489)	Intercept interviews (n-53)	Pop-up community discussion (n-32)	Validation workshops (n-14)
Age:				
30 years or under	-	20.8%	15.6%	14.3%
31-45 years	-	50.9%	37.5%	35.7%
46-63 years	-	5.7%	25.0%	50.0%
64-74 years	-	15.1%	21.9%	-
75 years and over	-	7.5%	-	-
Age – Confirming issues: *				
24 and under	0.8%	-	6.3%	-
25 - 34	5.1%	-	18.8%	-
35 - 44	17.6%	-	25.0%	-
45 - 54	23.1%	-	21.9%	-
55-64	21.5%	-	6.3%	-
65-74	20.2%	-	21.9%	-
75 +	9.0%	-	-	-
Prefer not to say	2.7%	-	-	-
Gender:				
Male	-	35.8%	50.0%	50.0%
Female	-	64.2%	50.0%	50.0%
Home ownership:				
Own home outright	48.3%	18.9%	34.4%	35.7%
Own home with mortgage	45.8%	52.8%	43.8%	50.0%
Rent	3.1%	15.1%	15.6%	14.3%
Live with parents/other	2.8%	13.2%	6.3%	-
Household composition:				

	Confirming the issues (n-489)	Intercept interviews (n-53)	Pop-up community discussion (n-32)	Validation workshops (n-14)
Children under 12 years living at home	-	58.5%	28.1%	?
CaLD	-	20.8%	6.3%	16.7%
Live with a disability or chronic condition or care for someone who does	-	9.4%	3.1%	N/A
Suburb:				
Beldon	0.8%	1.9%	3.1%	7.1%
Burns Beach	1.6%	-	3.1%	-
Connolly	1.6%	-	6.3%	-
Craigie	2.5%	9.4%	6.3%	-
Currumbine	3.1%	1.9%	-	-
Duncraig	8.8%	17.0%	9.4%	14.3%
Edgewater	8.8%	5.7%	3.1%	7.3%
Greenwood	5.1%	5.7%	6.3%	-
Heathridge	3.5%	7.5%	6.3%	-
Hillarys	5.5%	3.8%	6.3%	14.3%
Iluka	2.2%	-	3.1%	-
Joondalup	7.0%	3.8%	9.4%	7.1%
Kallaroo	8.8%	1.9%	-	7.1%
Kingsley	8.4%	5.7%	9.4%	7.1%
Kinross	1.6%	1.9%	3.1%	-
Marmion	1.0%	3.8%	3.1%	7.1%
Mullaloo	2.9%	-	3.1%	-
Ocean Reef	3.5%	-	-	7.1%
Padbury	4.7%	20.8%	3.1%	7.1%
Sorrento	5.3%	1.9%	-	7.1%
Warwick	4.1%	-	6.3%	7.1%
Woodvale	9.2%	7.5%	9.4%	-

* Age categories are different for Activity One: Confirming issues than other activities. For Activity Three: Pop-up community discussion actual age was asked and could be recoded into different categories as required.

3.3. Project Messages

The study employed consistent messaging across the life of the consultation program (Part A: Housing intentions, Part B: Housing issues). This was to inform community members of the constraints placed on local governments by state government planning processes, thereby framing the consultation within the parameters of the non-negotiables and project givens. The key messages were:

- The City of Joondalup is undertaking a review of its Local Planning Strategy, which informs the Local Planning Scheme.
- The review is being undertaken in the knowledge of certain constraints imposed by state policy and planning legislation (section .1.2)
- Community consultation will inform the housing component of the City's Local Planning Strategy and provides a strategic planning framework for meeting the City's future housing needs, including where different housing densities and typologies should be located within the City.
- Building Sustainable Neighbourhoods is a strategic project that will undertake a comprehensive review of the housing component of the City's Local Planning Strategy.
- Building Sustainable Neighbourhoods will not be limited to the City's current Housing Opportunity Areas. Housing issues and residential density will be reviewed across all residential areas and precincts of the City.

3.3.1. Project limitations

This is qualitative research, and in general designed to target specific segments of the unengaged and not to be representative of the whole Joondalup community (Part A: the Housing Intensions survey covered this task), and the findings should not be treated as such.

While this consultation process has endeavoured to be inclusive, it is acknowledged there will always be voices missed.

3.3.2. Learnings and missed opportunities

As a topic, housing translates well to the digital environment. People are sufficiently invested to stay the course and contribute at a high level for the duration.

- Future projects could potentially make provision for how to manage data when participants over-deliver, for example, there were a significant amount of pictures and videos provided by the online community.
- Not all exercises work equally well online; the photo-sort delivered less than hoped for and would either need to be simplified or replaced if the exercise were repeated.
- Housing type and tenure information will be useful to track experience and sentiment over time and better understand residents' points of view.

3.3.3. Outcomes

In keeping with IAP2 principles, this project sought to broaden community involvement in the topic. Part B: Housing Issues categorised residents as either Engaged or Unengaged and targeted the two segments through separate activities. These groups were defined as:

- **Engaged** - people who had either contacted an Elected Member about an issue of concern or participated in a survey or other consultation for the City of Joondalup within the past two years.
- **Unengaged** - people who had neither contacted an Elected Member about an issue of concern nor participated in a survey or other consultation for the City of Joondalup within the past two years.

As a group of activities, the housing issues component of the consultation achieved an additional 260 'new' voices.

Both the intercept interviews and discussion participants were screened to exclude engaged residents of the City. The online consultation was open to all residents, and it is worth noting that while the majority of participants were already engaged, the exercise attracted 176 new voices (as depicted in the table below). This is a consequential number, and there would be a benefit in knowing how this cohort found the exercise. The

subsequent validation workshop with the engaged suggests that at least a proportion of this group was alerted to the opportunity by word-of-mouth.

Figure 1: Part B: Housing issues, participation by engagement type.

	Unengaged	Engaged	Total
Intercept interviews	53	0	53
Discussion board participants	32	0	32
Online consultation	176	313	489
Validation workshops	7	7*	14*
Total	268	313	581

** Note: the 7 Engaged participants in the validation workshop were also participants in the online consultation exercise and therefore do not add to the total number of participants.*

Part A

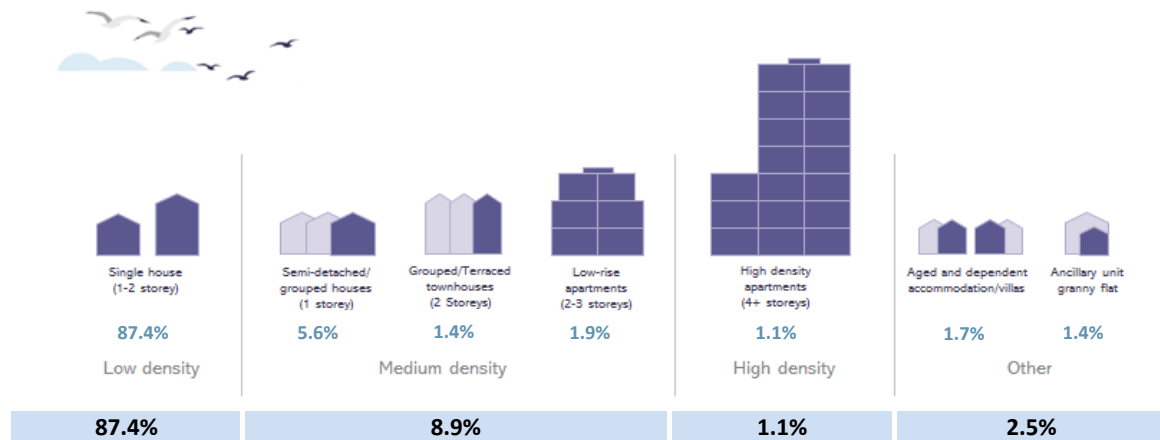
Housing Intentions



4.0 CURRENT HOUSING TYPES

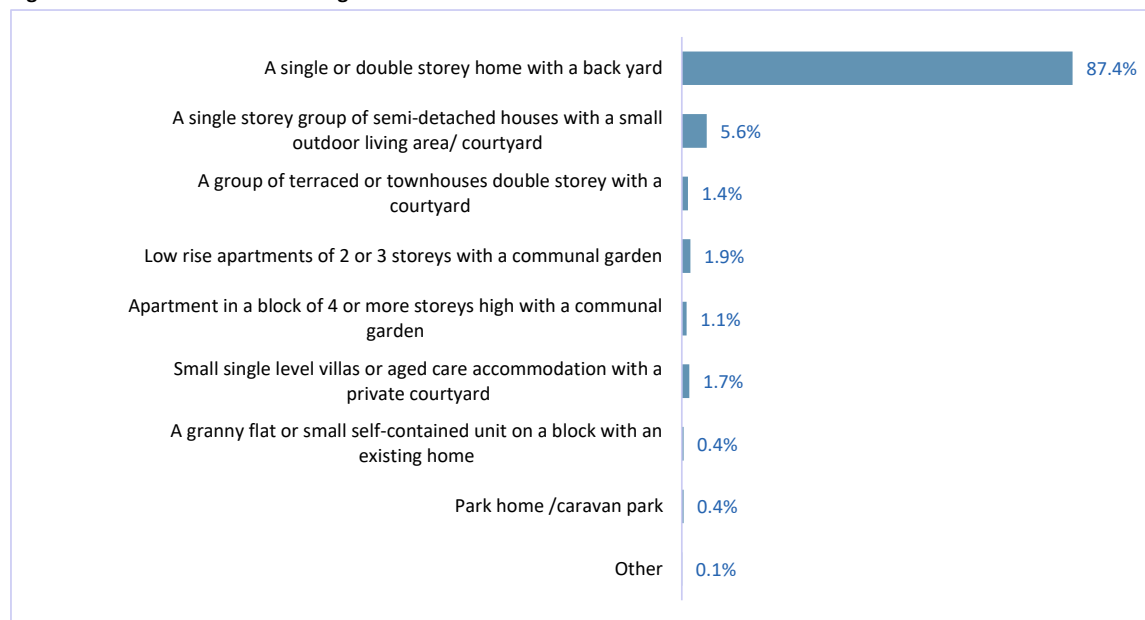
The vast majority of survey participants (87.4%) described their current residence as a single or double-storey home with a backyard, with the majority of the balance of respondents living in medium-density, single houses on a small lot. The balance of respondents was divided between high-density and other.

Figure 2 – Distribution of housing types



The distribution of housing types is shown in the following Figure.

Figure 3 -Residents’ current housing



Q1. Firstly, what type of housing do you currently live in? n-801

The results were similar by ward, except that survey participants in the North Ward had double the number of survey participants aged under 25 compared to the other wards, leading to significantly more medium and high-density accommodation listed and specifically low-rise apartments (5.6% of survey participants) and high-density apartments of four or more storeys (4.2%): 76.8% of survey participants in the North Ward lived in a single house low-density dwelling.

Age has a significant impact on housing types:

- Many of the under twenty-five age group appear to be still living at home in the family single house dwelling (85.8%), with apartments both low-rise (6.6%) and high-rise apartments (3.8%) being the most popular alternative.
- The twenty-five to thirty-four age group are more likely to have moved away from the single-family house, with a greater number than other age groups moving into both medium and high-density living; only 70.3% now live in a single home, 18.9% live in medium-density housing and 6.8% live in high-density apartments.
- Between the ages of 35 and 74, the type of home ownership remains fairly similar, with low-density single homes the main housing type, for ninety per cent or more of survey participants.
- The seventy-five and over age group is more likely to have moved away from low-density with 80.5% remaining in low-density single houses). They have moved towards medium-density single-storey semi-detached houses (11.5%) or small single-level villas or age care accommodation (8.0%). See below.

Figure 4 – Housing typologies by age

	24 and under	25 - 34	35 - 44	45 - 54	55-64	65-74	75 +
A single or double-storey home with a back yard	85.8%	70.3%	92.7%	93.3%	91.3%	89.7%	80.5%
A single-storey group of semi-detached houses with a small outdoor living area/ courtyard	0.9%	5.4%	5.5%	4.9%	4.3%	6.8%	11.5%
A group of terraced or townhouses double-storey with a courtyard	1.9%	6.8%	0.0%	1.8%	0.0%	0.9%	0.0%
Low-rise apartments of 2 or 3 storeys with a communal garden	6.6%	6.8%	1.8%	0.0%	0.9%	0.0%	0.0%
Apartment in a block of 4 or more storeys high with a communal garden	3.8%	6.8%	0.0%	0.0%	0.0%	0.0%	0.0%
Small single-level villas or aged care accommodation with a private courtyard	0.0%	1.4%	0.0%	0.0%	1.7%	0.9%	8.0%
A granny flat or small self-contained unit on a block with an existing home	0.9%	1.4%	0.0%	0.0%	0.0%	0.9%	0.0%
Park home /caravan park	0.0%	0.0%	0.0%	0.0%	1.7%	0.9%	0.0%
Other	0.0%	1.4%	0.0%	0.0%	0.0%	0.0%	0.0%
Total	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%
n-	106	74	109	163	115	117	113

Q1. Firstly, what type of housing do you currently live in? We are looking for a wide cross-section of people. Which of the following age groups are you in? n-797; 4 missing

Survey participants who own or are in the process of purchasing their home were almost all currently living in a single house low-density housing, as shown on the next page. Whilst the majority of those who rent (63.2% of respondents) live in single-house low-density housing, this group are statistically significantly more likely to live in more diverse housing including low-rise apartments (11.5% of renters), high-density apartments (8.0% of renters) and medium-density terraced houses or townhouses (5.7% of renters).

Figure 5 - Current Type of housing by tenure

	Own your home with a mortgage	Own your home outright	Rent / includes with a group of people	Live at home with parents
A single or double-storey home with a back yard	91.1%	88.9%	63.2%	94.2%
A single-storey group of semi-detached houses with a small outdoor living area/ courtyard	5.6%	7.5%	4.6%	1.0%
A group of terraced or townhouses double-storey with a courtyard	1.3%	0.3%	5.7%	1.0%
Low-rise apartments of 2 or 3 storeys with a communal garden	1.0%	0.0%	11.5%	1.9%
Apartment in a block of 4 or more storeys high with a communal garden	0.3%	0.0%	8.0%	1.0%
Small single-level villas or aged care accommodation with a private courtyard	0.0%	3.0%	4.6%	0.0%
A granny flat or small self-contained unit on a block with an existing home	0.3%	0.0%	1.1%	1.0%
Park home /caravan park	0.3%	0.3%	1.1%	0.0%
Total	100.0%	100.0%	100.0%	100.0%
n-	302	305	87	103

Q1. Firstly, what type of housing do you currently live in? Do you: n-797; 4 missing

Whilst there are real differences in current accommodation when comparing young people, seniors and renters. The proportion of respondents in each of the current types of accommodation is similar across other groups identified including: CaLD, people with a disability and their carers and families with young children.

5.0 DWELLING PREFERENCES IN THE FUTURE

Dwelling preferences in 10 years' time were measured two ways:

- The preferred type of dwelling.
- An acceptable type of dwelling.

5.1. Preferred type of dwelling

Using the same definition of dwelling types, in 10 years' time survey participants clearly show a shift away from low-density single housing towards medium-density housing, with the proportion of respondents selecting medium-density housing doubling from 8.9% in 2022 to 16.4% in 2032. Also, as survey participants age, there is a tripling of the level of interest in single-level villas or aged care accommodation to 6.0%.

Figure 6 – Preferred type of dwelling

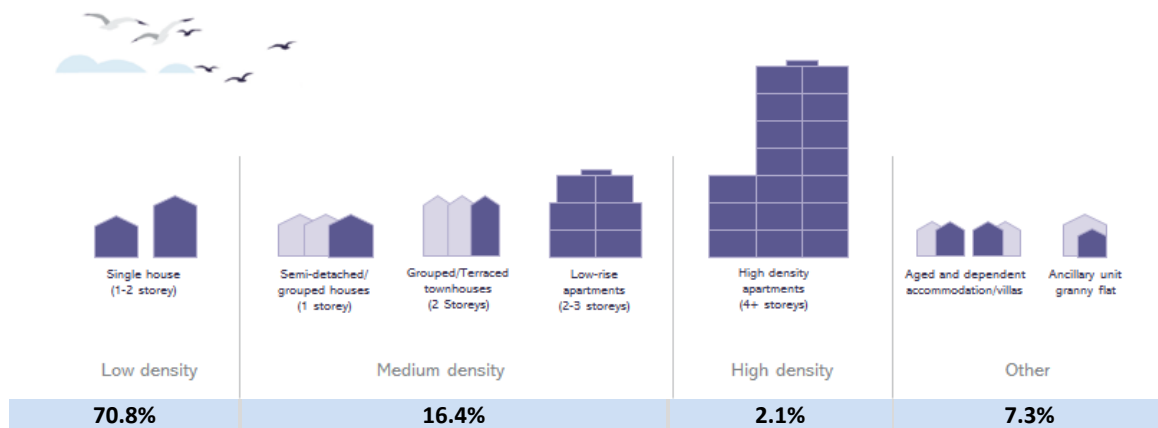
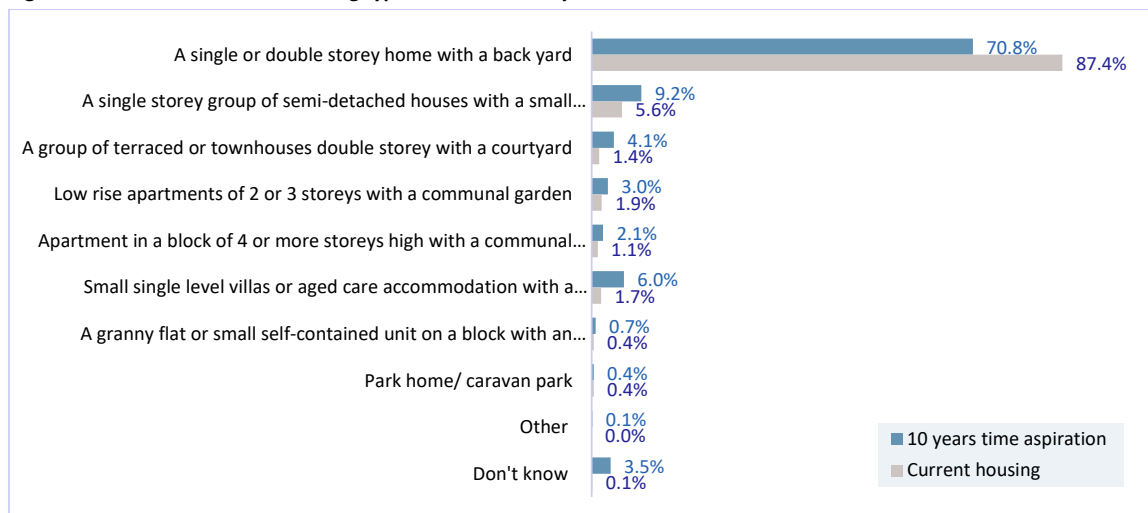


Figure 7 - The distribution of housing types is shown in 10 years' time



Q2. What type of dwelling do you see best meeting your housing needs in ten years' time. n-801

Current residents of single houses decreased by a quarter, either moving towards medium-density (12.8%), predominantly single-storey group semi-detached houses or moving towards single-level villas or aged care accommodation (4.3%).

Of those currently living in medium-density single-storey semi-detached houses, 20.0% see themselves moving towards single-house accommodation in 10 years' time, and twenty per cent see themselves moving towards small single-level villas or aged care accommodation or granny flats.

Again, the respondents' age group plays a large part in the type of dwelling that survey participants aspire to in ten years. The under-25 and over-75 age groups are least likely to see themselves living in low-density single-home accommodation in ten years; 59.4% and 52.2%, respectively.

Almost a quarter of the under-25 age group, see themselves living in medium-density accommodation, particularly group terraced houses, townhouses or low-rise apartments. A further 9.4% believe they will live in high-density apartment blocks of four or more storeys. As shown in fig 5 on the next page.

In the over seventy-five age group, half of this age group believe that they will be living in single-home dwellings in 10 years' time, with just over twenty per cent visualising living in small single-level villas or aged care accommodation and thirteen per cent living in medium-density accommodation in small semi-detached houses as shown below.

Figure 8 – Aspirational dwelling type by age group

	24 and under	25 - 34	35 - 44	45 - 54	55-64	65-74	75 +
A single or double-storey home with a back yard	59.4%	78.4%	89.0%	79.1%	70.4%	65.8%	52.2%
A single-storey group of semi-detached houses with a small outdoor living area/ courtyard	2.8%	4.1%	4.6%	11.0%	14.8%	11.1%	13.3%
A group of terraced or townhouses double-storey with a courtyard	10.4%	2.7%	1.8%	4.3%	2.6%	5.1%	1.8%
Low-rise apartments of 2 or 3 storeys with a communal garden	10.4%	4.1%	2.8%	0.6%	0.9%	0.9%	2.7%
Apartment in a block of 4 or more storeys high with a communal garden	9.4%	2.7%	0.9%	0.0%	0.9%	1.7%	0.9%
Small single-level villas or aged care accommodation with a private courtyard	0.0%	1.4%	0.0%	3.7%	5.2%	10.3%	20.4%
A granny flat or small self-contained unit on a block with an existing home	1.9%	0.0%	0.0%	0.6%	0.0%	1.7%	0.9%
Park home /caravan park	0.0%	0.0%	0.0%	0.0%	1.7%	0.9%	0.0%
Other	0.0%	1.4%	0.0%	0.0%	0.0%	0.0%	0.0%
Don't know	5.7%	5.4%	0.9%	0.6%	3.5%	2.6%	8.0%
Total	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%
n-	106	74	109	163	115	117	113

Q2. What type of dwelling do you see best meeting your housing needs in ten years' time? Which of the following age groups are you in? n-797; 4 missing

Current tenure did impact upon dwelling aspirations with those people who own their own home outright. These people are more likely to be older and therefore the group most likely to consider itself moving towards small single-level villas or aged care accommodation (12.8%). See the following Figure.

Survey respondents with mortgages were more likely to see themselves as remaining in low-density single-house accommodation for at least the next ten years; 80.8% of people with a mortgage consider themselves to be living in low-density housing in ten years' time.

Survey respondents currently living at home with their parents show the greatest diversity of housing in ten years' time, indicating that they will move out into a more diverse range of housing than other groups, though this shows some similarity to the aspirations of survey respondents in rental accommodation. Of respondents who live at home, 9.7% consider that they will live in low-rise apartments in ten years' time and 8.7% consider they will live in high-density high-rise apartments as shown in the Figure below.

Figure 9 - Aspirational housing type amongst different types of tenures

	Own your home with a mortgage	Own your home outright	Rent / includes with a group of people	Live at home with parents
A single or double-storey home with a back yard	91.1%	88.9%	63.2%	61.2%
A single-storey group of semi-detached houses with a small outdoor living area/ courtyard	5.6%	7.5%	4.6%	2.9%
A group of terraced or townhouses double-storey with a courtyard	1.3%	0.3%	5.7%	7.8%
Low-rise apartments of 2 or 3 storeys with a communal garden	1.0%	0.0%	11.5%	9.7%
Apartment in a block of 4 or more storeys high with a communal garden	0.3%	0.0%	8.0%	8.7%
Small single-level villas or aged care accommodation with a private courtyard	0.0%	3.0%	4.6%	1.9%
A granny flat or small self-contained unit on a block with an existing home	0.3%	0.0%	1.1%	1.9%
Park home /caravan park	0.3%	0.3%	1.1%	0.0%
Other	0.0%	0.0%	0.0%	1.0%
Don't know	1.0%	4.3%	8.0%	4.9%
Total	100.0%	100.0%	100.0%	100.0%
n-	302	305	87	103

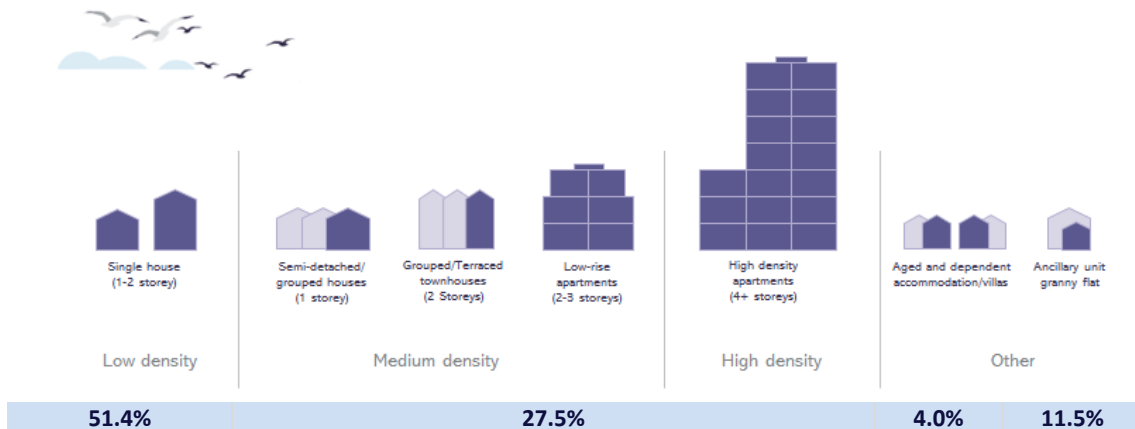
Q2. What type of dwelling do you see best meeting your housing needs in ten years' time? by Q7. Do you: n-798; 3 missing

There is no statistically significant difference in housing aspirations between wards, gender, the CaLD community, and people living with a disability, although respondents with children under 12 years living at home were more likely to aspire to a low-density single home with a back yard than were other groups.

5.2. The minimum acceptable type of housing

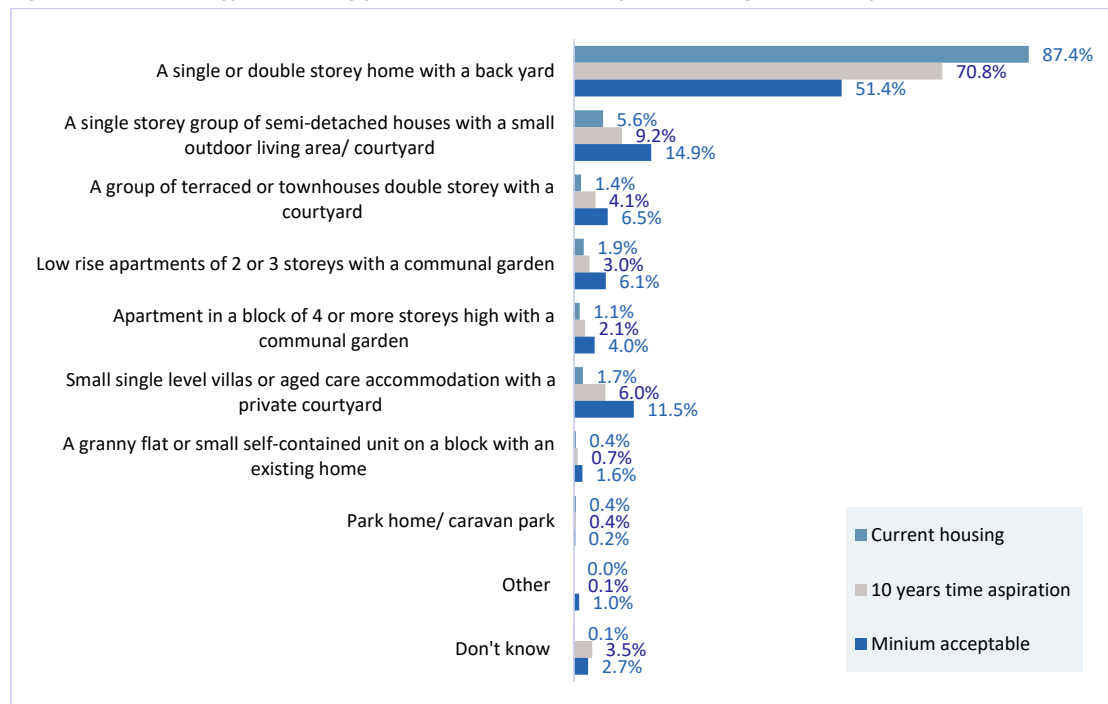
In considering the minimum type of housing acceptable to survey participants in ten years' time, only just over fifty per cent of survey participants would still expect to live in low-density single residential as shown in the following Figure.

Figure 10 – Minimum type of housing you would consider as acceptable looking forward 10 years



Q3. And what is the minimum type of housing you would consider as acceptable looking forward 10 years? n-801

Figure 11 - Minimum type of housing you would consider as acceptable looking forward 10 years.



Q3. And what is the minimum type of housing you would consider acceptable looking forward 10 years? n-801

Of survey participants currently living in low-density single-house accommodation, just over (56.9%) would accept low-density accommodation as their minimum acceptable level of housing in ten years' time. A quarter (24.7%) would move into medium-density accommodation, half of these moving into single-storey semi-

detached houses and ten per cent would accept small single-level villas or aged care accommodation. Again, there is little appetite amongst any of the groups for high-density apartment blocks of four or more storeys.

The majority of survey participants currently living in single-storey group, semi-detached houses (60.0%) would prefer to stay in this accommodation but twenty per cent would accept a small single-level villa or aged care accommodation (probably reflecting the age of this group of people). Interestingly, females were twice as likely to accept small single-level villas or aged care accommodations than their male counterparts.

It should be noted that the group who are most likely to cite low-density single residential dwellings as their minimum acceptable level of housing (63.8%) are those who engage with the City either through consultation, surveys or with their Elected Members. The unengaged segments are thirty per cent less likely to cite low-density accommodation as the minimum acceptable level of housing for them in ten years' time and the unengaged were almost twice as likely to accept medium-density or high-density accommodation as the engaged survey participants.

The under twenty-five age group has the lowest level of expectations of any of the age groups, except perhaps the seventy years plus age group. The under twenty five age group would accept:

- Low-density 32.1%
- Medium-density 37.7% (particularly low-rise apartments)
- High-density 16.0%.

The seventy-five years and older age group was also prepared to accept more diverse housing, possibly as a result of downsizing.

- Low-density 38.9%
- Medium-density 20.4% (with a focus on group semi-detached housing)
- High-density 0.9%
- Single-level villas or aged care accommodation with private court yard 31.0%.

The thirty-five to forty-four age group have the highest expectations with 73.4% stating that low-density single residential was their minimum acceptable level of housing.

Figure 12 – Minimum acceptable accommodation by age group

	24 and under	25 - 34	35 - 44	45 - 54	55-64	65-74	75 +
A single or double-storey home with a back yard	32.1%	52.7%	73.4%	56.4%	49.6%	53.8%	38.9%
A single-storey group of semi-detached houses with a small outdoor living area/ courtyard	8.5%	10.8%	9.2%	20.2%	22.6%	14.5%	14.2%
A group of terraced or townhouses double-storey with a courtyard	5.7%	10.8%	8.3%	8.6%	5.2%	6.0%	1.8%
Low-rise apartments of 2 or 3 storeys with a communal garden	23.6%	6.8%	3.7%	3.1%	3.5%	0.9%	4.4%
Apartment in a block of 4 or more storeys high with a communal garden	16.0%	6.8%	1.8%	1.2%	1.7%	2.6%	0.9%
Small single-level villas or aged care accommodation with a private courtyard	5.7%	0.0%	1.8%	8.0%	13.9%	16.2%	31.0%
A granny flat or small self-contained unit on a block with an existing home	2.8%	1.4%	0.0%	1.2%	1.7%	2.6%	1.8%
Park home /caravan park	0.0%	0.0%	0.0%	0.0%	0.9%	0.9%	0.0%
Other	3.8%	4.1%	0.0%	0.0%	0.0%	0.0%	0.9%
Don't know	1.9%	6.8%	1.8%	1.2%	0.9%	2.6%	6.2%

	24 and under	25 - 34	35 - 44	45 - 54	55-64	65-74	75 +
Total	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%
n-	106	74	109	163	115	117	113

Q3. And what is the minimum type of housing you would consider acceptable looking forward 10 years? n-797; 4 missing

As noted above, the minimum type of acceptable housing did vary by tenure, with those renting and those living at home with parents accepting that many may not achieve low-density, single residential in ten years' time; with only 35.6% and 33.0% respectively, low-density housing. Those in rental accommodation were more likely to accept single-storey group semi-detached houses as their medium-density accommodation rather than other types.

By comparison, those living at home with parents would accept low-rise apartments (21.4%) or high-density apartments (13.6%). See the following Figure.

Figure 13 - Minimum acceptable housing by housing tenure

	Own your home with a mortgage	Own your home outright	Rent / includes with a group of people	Live at home with parents
A single or double-storey home with a back yard	61.9%	51.8%	35.6%	33.0%
A single-storey group of semi-detached houses with a small outdoor living area/ courtyard	17.5%	13.8%	16.1%	9.7%
A group of terraced or townhouses double-storey with a courtyard	7.9%	4.3%	9.2%	6.8%
Low-rise apartments of 2 or 3 storeys with a communal garden	3.6%	2.6%	9.2%	21.4%
Apartment in a block of 4 or more storeys high with a communal garden	1.7%	1.6%	8.0%	13.6%
Small single-level villas or aged care accommodation with a private courtyard	4.0%	20.7%	11.5%	5.8%
A granny flat or small self-contained unit on a block with an existing home	1.0%	2.0%	1.1%	2.9%
Park home /caravan park	0.3%	0.0%	1.1%	0.0%
Other	0.3%	0.3%	3.4%	2.9%
Don't know	1.7%	3.0%	4.6%	3.9%
Total	100.0%	100.0%	100.0%	100.0%
n-	302	305	87	103

Q3. And what is the minimum type of housing you would consider acceptable looking forward 10 years? by Q7. Do you: n-798; 3 missing

There are no statistically significant differences in the results by ward or by gender nor is there a difference in the minimum type of acceptable housing amongst the CaLD community or those living with a disability or a chronic condition or looking after someone in that situation. Survey participants with children under 12 years of age at home, like the 35-44 age group where many of these are situated, were the groups most likely to consider a single or double-storey home with a back yard to be the minimum acceptable type of housing (69.7% of survey participants with children under 12 years and 73.4% of the 35-44 age group).

Part B

Housing Issues



6.0 ACTIVITY ONE: CONFIRMING THE ISSUES - ONLINE CONTRIBUTION

6.1. Summary

The online consultation to confirm housing issues is integral to this process: misalignment and distrust of the City have been captured in a number of previous consultations and are still evident in the open-ended comments made. The online consultation form was intended both to check in with residents who had already provided input on the topic to demonstrate that the City heard and is considering residents' concerns, to allow all residents to contribute to the discussion, and collect any issues not previously captured.

Participants were asked about the relevance of issues raised in previous consultations, with the list of statements drawn from the meta-analysis of issues previously raised, and input from City staff. Their responses to these questions and more than 250 additional, open-ended comments confirm the ongoing relevance of themes and issues already raised and suggest the growing importance of sustainability and social issues such as homelessness. This latter issue may represent a new consultation theme.

The comments also suggest that many residents appear to be open to the idea of infill, if well managed.

"Most people in the City are not opposed to additional housing however trust in the process needs to be restored and the City work for the needs of the residents by using long-established planning rules and not imported ideologies, to create quiet and pleasant neighbourhoods."

At the validation workshop, one respondent commented:

"You've hit the nail on the head. If well-managed. Control. The key is to control development, not just to let things happen."

Many of those involved in the online consultation are interested in and want to be part of the ongoing conversation about how their communities are developed and specifically, how urban infill is folded into the fabric of the City.

The comments also suggest there is an understanding of the potential for infill developments to deliver positive social outcomes and reduce environmental footprints, and respondents demonstrated some awareness of the complexities involved in delivering the promise of sustainable and liveable communities. The validation workshop subsequently highlighted some sympathy for the City, which is 'lower on the totem pole of the planning hierarchy,' but even so, there are suggestions that the City lacks a holistic vision for infill development and a perception that planning decisions are made discretely rather than with reference to each other. Further, some perceive the City lacks either the will or the ability to enforce regulations and that developers act without oversight.

Open-ended comments confirm preferences for a range of strategic and tactical measures already raised such as:

- Infill being distributed throughout the City;
- Infill around activity centres, not just transport hubs;
- Height restrictions, setbacks, minimum block sizes and building-to-garden plot ratios, and
- All infill development to include enough parking for residents on-site.

These comments are consistent with previously identified concerns about the liveability outcomes of infill development. Added to this is the perception that the type of dwellings delivered compromise long-term sustainability goals.

The comments suggest that environmental sustainability is becoming a matter of increasing importance, with native flora and fauna, waste management, energy efficiency, groundwater recovery and passive solar design examples of the topics raised.

Social issues such as homelessness and domestic violence are also on the community radar and may constitute a new theme.

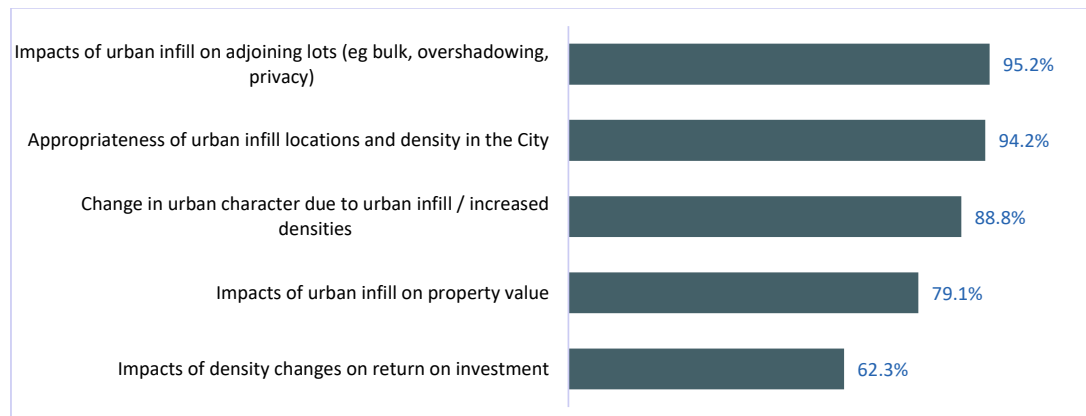
Of those who responded through the online consultation form, relatively few had personal concerns about access to appropriate housing, but those who did were older residents who described too little housing and too few housing options (in terms of type and location) available for people looking to streamline their lives in retirement. Independent living for the elderly and aged care accommodation are also perceived to be in short supply.

6.2. Relevant urban infill housing topics

The topics of relevance to almost all of those who completed the online consultation were the impacts of urban infill on adjoining lots and the appropriateness of urban infill locations and changes to the local character from increased density in the City.

One significant difference was uncovered in that respondents between 55 and 64 years of age were significantly more likely than any other age group to consider the impacts of urban infill on property values as a relevant housing issue.

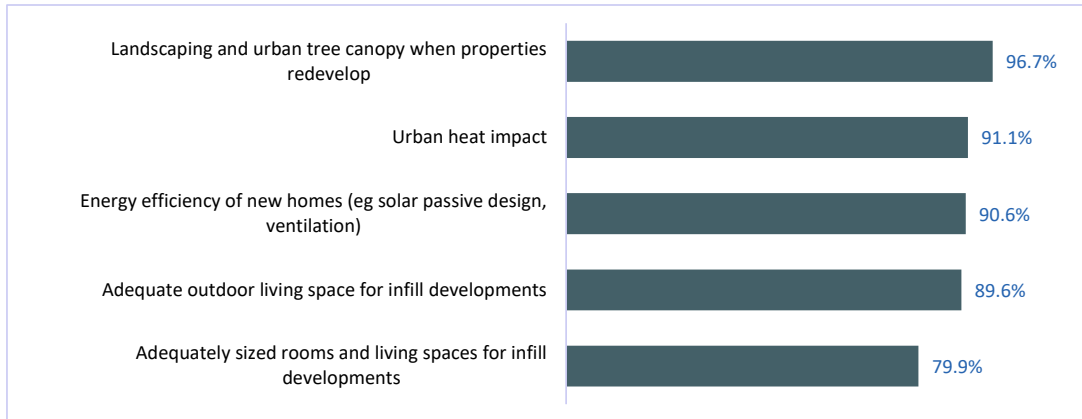
Figure 14 - Housing issues



Q3. Which of the following topics are relevant to infill housing in the City of Joondalup? n=472-484

6.3. Housing sustainability and liveability

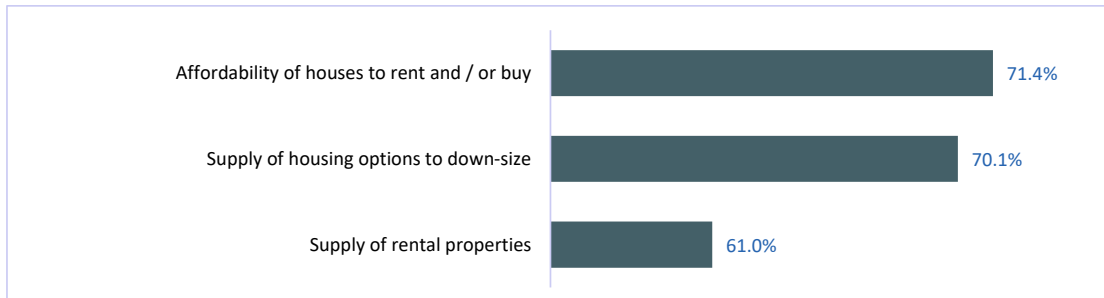
The topics perceived as most relevant to housing sustainability and liveability by those who completed the online consultation forum were landscaping and urban tree canopy when properties redevelop (96.7%) and urban heat impact (91.1%).

Figure 15 - to housing sustainability and liveability

Q4. Which of the following topics are relevant to housing sustainability and liveability in the City of Joondalup? n-474-482

6.4. Housing Availability

The housing availability topics most relevant to those who completed the online consultation form were affordability of houses to rent and or buy (71.4%) and the supply of housing options to downsize (70.1%).

Figure 16 – Housing availability

Q5. Which of the following topics are relevant to the availability of housing in the City of Joondalup? n-479-482

Analysis revealed significant differences by age:

- Respondents 75 years and older were significantly more likely to say the **supply of housing options to downsize** was relevant to the availability of housing in the City of Joondalup than their younger counterparts.

6.5. Open-ended comments

The open-ended comments made by participants display a wide range of stories of housing needs, strategic and tactical recommendations for improving infill outcomes and other housing-related issues. Many repeat issues have already been raised in the bank of statements. However, the frequency with which topics are broached in the open-ended comments underscores the relevance of previously stated concerns relating to:

- the impacts of urban infill on existing residents;

- liveability and sustainability outcomes, and
- the availability and affordability of housing.

The concern that infill will compromise local character and that so far, infill at medium density has resulted in compromised outcomes for future residents and compromised the quality of life for near neighbours. A closer examination of the answers may reveal slightly different tactical suggestions for managing infill development but the key themes remain:

- access to affordable and appropriate accommodation, in this case particularly for retirees and the aged;
- managing the impacts of an increased population on many different fronts such as traffic, public transport and the transport system generally, on public services and amenities and the natural environment;
- environmental sustainability;
- quality of life and the impacts of infill on residents, and
- concerns about the planning system.

Hot button issues include:

- street parking;
- the loss of trees and green space, and
- perceived negative impacts of infill development on existing residents.

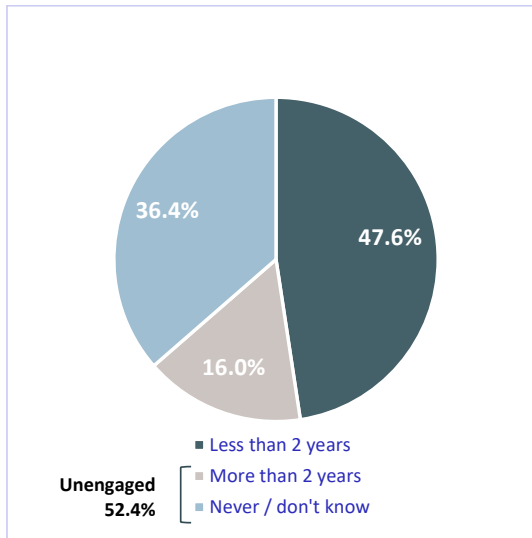
Open-ended comments provided also reveal a concern about broader social issues not strongly evidenced in previous consultations including recognition of Aboriginal history and the need for social housing. The latter appears to be an issue of growing concern, and there is a suggestion that homelessness is becoming visible in the suburbs. The comment below is provided by an elderly Heathridge resident.

“Social housing should be considered. I have lived in my house for 40 years and two weeks ago was astounded to find a homeless lady had set up camp on my verge. The Ranger said this would be dealt with but it seems no one can help. The City uses a volunteer service who hopefully will call this weekend but if she refuses to go what then? The police can only move her on if she is abusive (which she has been). The verge belongs to the City of Joondalup, and homelessness seems to be a growing problem. This is a problem that needs to be looked at.”

6.6. Engagement of online consultation respondents

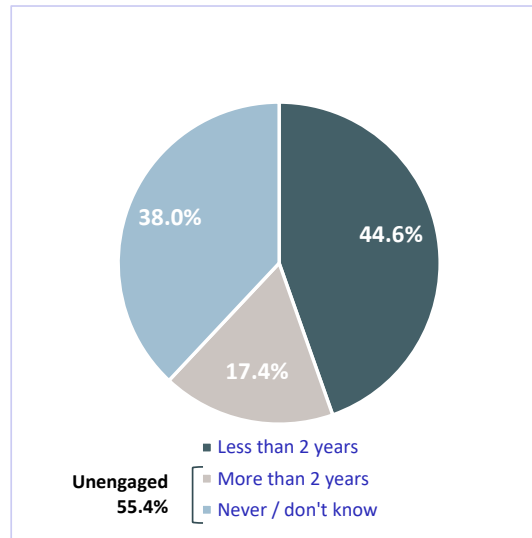
Almost 50% of respondents had taken part in a consultation or survey within the past two years and only slightly fewer had contacted their Elected Member about an issue of concern within the past two years.

Figure 17 - The last time the respondent took part in a survey or consultation for or about the City



Q10. When was the last time you took part in an online or face-to-face survey or consultation for or about the City of Joondalup? n-489

Figure 18 - Last time the respondent engaged with an Elected Member on an issue of concern

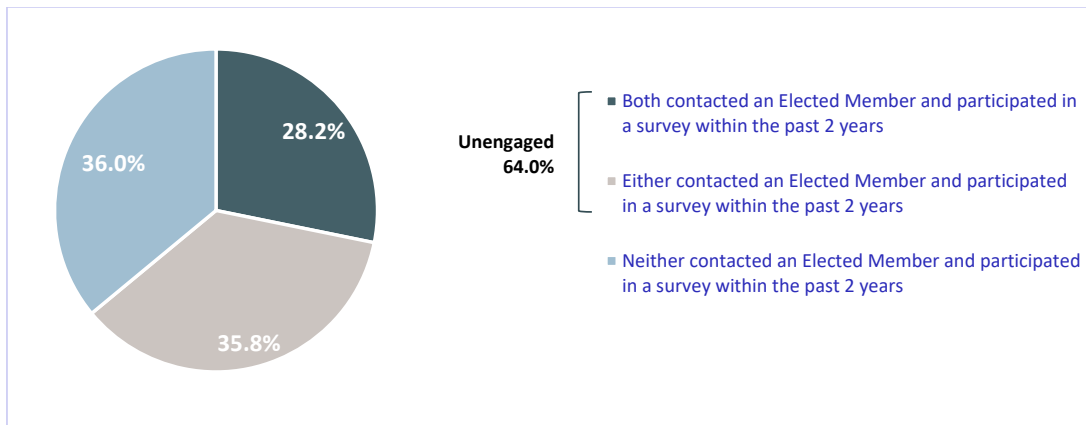


Q11. When was the last time you contacted the City or your Elected Member about an issue of concern to you? n-489

Importantly, the online consultation attracted a significant number of unengaged participants. A total of 176 respondents (36.0%) were unengaged and stated they had either never contacted an Elected Member about an issue of concern, or participated in a survey or consultation about the City of Joondalup, or had not done so within the past two years.

The remainder of respondents were engaged members of the community who stated they had either contacted their Elected Member about an issue of concern or participated in a survey or consultation within the past two years (35.8%) and almost thirty per cent had done both.

Figure 19 - Engaged v Unengaged



Combination of Q10 and Q11 above n-489

7.0 ACTIVITY TWO: INTERCEPT INTERVIEWS

7.1. Summary

The intercept interviews provided a different view of the issues of greatest concern to residents, a difference directly attributable to the profile of respondents, which included the lowest proportion of homeowners in Part B: Housing issues activities.

The top four housing issues raised by respondents directly relate to accessing housing. Over 86.8% of respondents listed affordability as the main challenge people are facing in meeting their housing needs. Notably, the top four issues cited relate to the ability to access appropriate housing: after affordability came the availability of housing (58.5%), housing type (35.8%) and housing location (26.4%). Currently, respondents perceive too little housing of any type is available in the City of Joondalup, and what is available is either poorly located, inappropriate, or unaffordable.

While the sample size is small and the results are not representative of Joondalup as a whole, they strongly suggest that not all segments of the community face the same challenges in accessing housing.

Asked how medium and high-density infill should be delivered over the next ten years, the most important concepts among respondents were:

- The location of infill development (close to services and amenities like shops, parks, and schools transport hubs) was raised by 60.4% of respondents, with a further 22% stating they felt high-density apartments in particular should be kept separate from single residential housing.
- Access to public transport and transport hubs was mentioned by more than 40%.
- Close to a third felt green space and parks should be a focus of infill development.

7.2. Main Housing Challenges

Respondents were asked to describe what they felt were the top three challenges either they or people like themselves currently face in meeting their housing needs in the City of Joondalup.

Almost 90% of respondents listed housing affordability as a challenge, with respondents making comments about affordability generally, rental affordability and the affordability of purchasing a home.

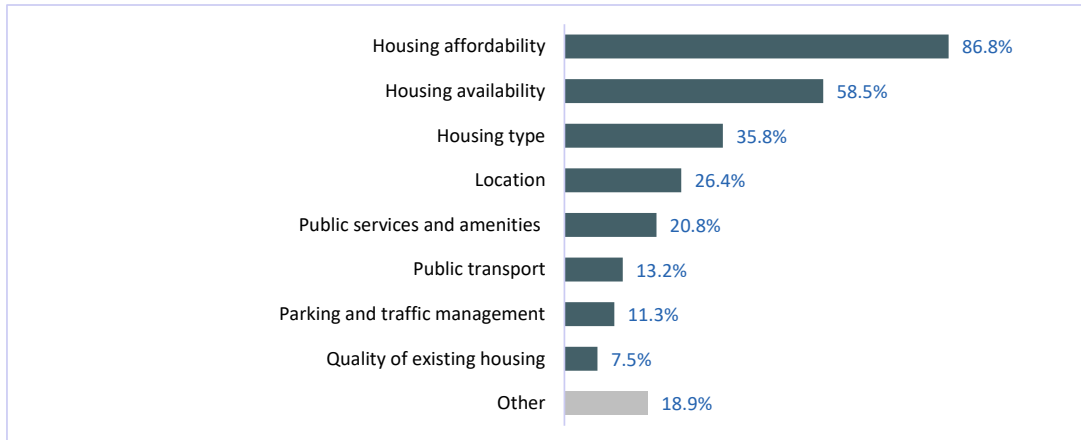
Almost 60% of respondents raised the availability of houses to rent or buy as an issue, with housing type a concern for just over a third (35.8%), followed by location (26.4%).

"Cost of buying a house, having to choose another area to get a home in your price range for a family, with a backyard."

"Hard to rent - too expensive and not enough houses."

The majority of remaining responses related to the impact of population growth on traffic, public services and amenities (including schools, shops and health care) and on public transport and the road network more broadly.

"Parking and shopping are just okay - with more people it would create problems."

Figure 20 - Main housing challenges

Q1. Thinking about yourself personally, or other people like you, what are the three main challenges people face in meeting their housing needs in Joondalup over the next three to five years? (Valid sample: n=53)

7.3. Planning for urban infill in the City over the next 10 years

Most participants expressed more than a single idea when describing how medium and high-density infill should be delivered.

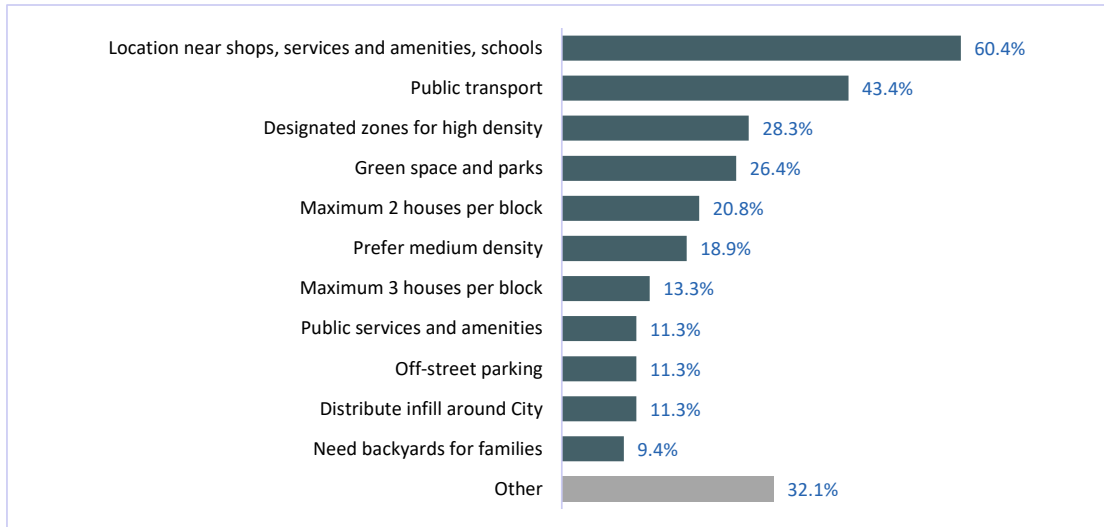
Unsurprisingly, the location of infill development was a consideration for more than half of the respondents. Responses included being located: ‘...in the area you want to live,’ or near shops, near services and amenities, near schools, parks and recreational facilities.

“Apartments need to be close to a shopping centre or near a train station.”

“Apartments in walking distance to shops, pubs and train station. I accept it has to change for people to be able to live wherever they want.”

More than forty per cent of respondents mentioned public transport as a key consideration as the City develops: most called for more public transport, better access to public transport, or infill to be located near public transport hubs.

Almost a third called for high-density dwellings to be ‘kept separate’ from free-standing single residential housing, with a similar proportion expressing the need for more parks and green space to offset the loss of garden area.

Figure 21 – Aspirations for housing development in the City

Q2. With the majority of new dwellings to be delivered as medium and high-density infill, how would you like to see housing in the City of Joondalup develop over the next ten years? (Valid sample: n=53)

7.4. Issues that the City needs to consider

Respondents were asked what they felt were the most important issues for the City to manage to ensure great liveability outcomes as it grows, with many suggesting more than a single idea. Three themes stood out among responses:

- Just over half of all respondents listed the need for enough public services and amenities to cater for the population, including shops, schools, health centres and community facilities.
- A similar proportion (50.9%) suggested the need to manage traffic and parking as the population grows, with suggestions including upgraded roads, roundabouts, more parking at shops, parking at schools and community facilities and multistorey car parking.
- More than forty per cent wanted the City to actively manage, preserve, upgrade or create green spaces and parks to offset the loss of gardens and vegetation.

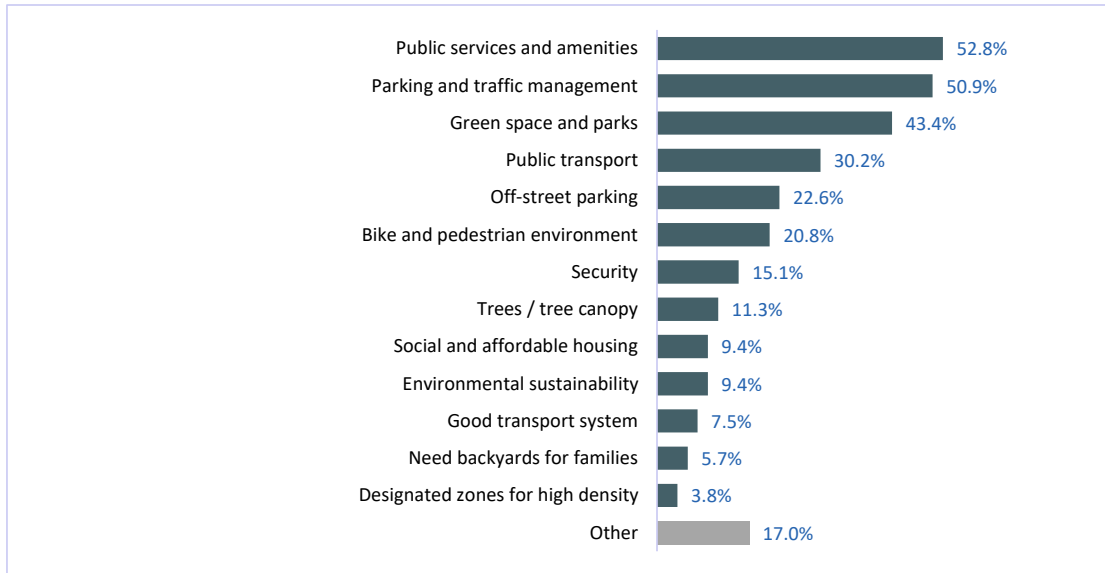
These numbers may understate the importance of parking and traffic management and green spaces/parks as issues for residents:

- In addition to the 50.9% for whom parking and traffic management is an issue, a further 22.6% specifically mentioned parking related to infill dwellings (only one respondent gave both answers), and
- 11.3% specifically referred to trees or the tree canopy, in addition to the 40% concerned about green space.

“Apartments need onsite parking equal to the size of the property, e.g. include visitor parking bays. Include communal activities onsite - pool gym, BBQ area. More affordable social housing options for low-income earners like single mums.”

“Not to lower the standard of living, and retain nature walks and green space.”

Figure 22 – Important issues for the City to deliver



Q3. An increased number of people and dwellings will bring change. What do you feel are the most important issues for the City of Joondalup to manage to make sure it delivers great liveability outcomes for all its residents? (Valid sample: n=53)

8.0 ACTIVITY THREE: ONLINE COMMUNITY DISCUSSION

8.1. Summary

The online community discussion board was intended to explore housing issues amongst the unengaged segments of the residential population under-represented in past consultation activities: the elderly, families with young children, and young people. People who rent, live at home with their parents, or who live in accommodations other than a low-density single residence were included in the mix. Participants were recruited from all six City wards.

The issues raised are very similar to those raised by respondents to the intercept survey, with most participants describing one or more aspects of accessibility as the main housing issue they (and people like them) face.

In addition to affordability, participants perceive limited housing stock is available, that there is little diversity in terms of the type of dwellings, and that there is little or no housing available in their preferred location. Some participants appear to perceive there are no *'good'* housing options available and few expect to find the *'right house, at the right price, and in the right location.'* Most expect that they will need to make significant compromises in order to access housing.

While many accept that the benefits of infill development can include activated spaces and an enhanced community atmosphere, there seems to be limited appetite for high-density living and tall apartment blocks. The majority of participants currently live in low-density single dwellings and expect to still be living in this type of dwelling in ten years' time, although a proportion nominated villas or townhouses as their preferred housing type. This group comprised older couples without children and households headed by a single adult female. The reasons given for their preference revolve around the expense and effort involved in maintaining their existing homes.

In terms of appropriate locations for infill development, there is some consistency of opinion. Except for high-density apartment blocks, which are perceived to be better located in the City centre, most appear to feel infill development should be dispersed throughout the suburbs rather than concentrated in particular areas to minimize any negative impacts, a suggestion consistent with previous consultation outcomes.

The majority of other housing-related issues raised reflect participants' desires to maintain a high quality of life for both existing and new residents. As in other consultation exercises, the *'hot-button'* issues are parks and parking. Participants living in infill areas often describe the experience in negative terms: the increase in on-street parking and the loss of mature trees and vegetation are unwelcome impacts. Other negative experiences associated with infill include a loss of privacy and a perceived increase in crime and anti-social behaviour.

Other issues raised by participants can be broadly categorized as:

- Environmental considerations, from green space and tree canopies to reducing urban heat islands and improved building materials and processes;
- Social consideration, including access to services and amenities and urban design that promotes positive community outcomes, and
- Issues related to transport, from on-street parking to an improved transport network (roads, freeway access, public transport).

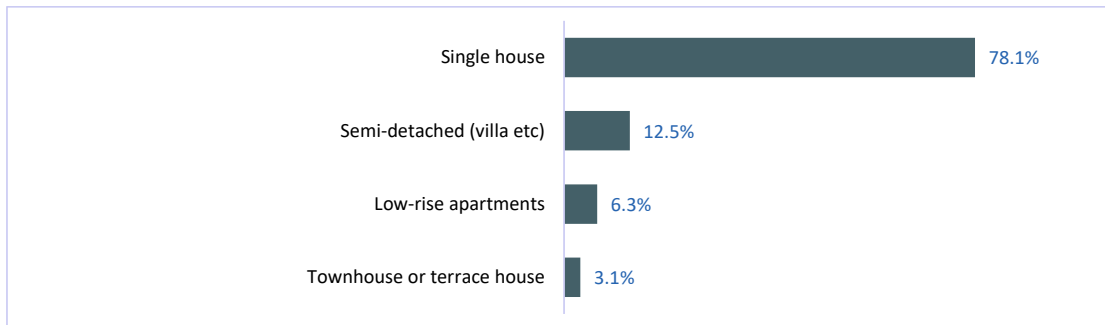
Interestingly, while access to appropriate, affordable and well-located housing is top of mind for many in this online community discussion, they express the same concerns about the impacts of infill as did the community generally in the community survey of housing intentions.

8.2. Profile of the current and preferred housing of community discussion participants

To assist in understanding the perspectives of the community board participants it is important to understand the type of housing that they currently live in and their aspirations.

The majority of board participants (just over 78%) live in a low-density single house; this is a lower proportion than across the City generally. The recruitment process deliberately sought higher numbers of people living in other types of dwellings to make certain any different issues or perspectives would be captured.

Figure 23 – Current housing profile



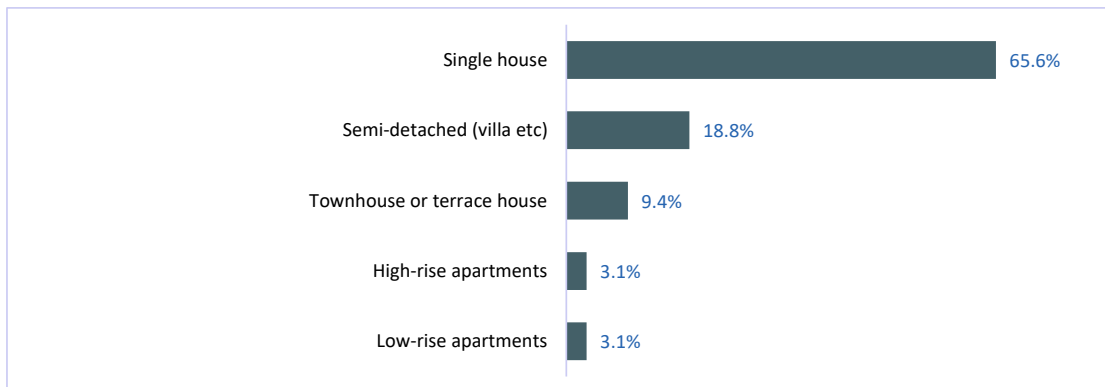
Q1. Which of the following best describes your current type of housing? n-32

Asked to look forward ten years, some residents are prepared to consider other forms of housing beyond the low-density single house. That said, the results suggest that while more residents are willing to consider medium-density living, the preference for single dwellings remains. Townhouses and villas are more attractive dwelling types than either medium or high-density apartment living.

Of all respondents who live with young families, all except one nominated a single residential house as their preferred dwelling type; this sentiment was reported in the Housing Intentions Survey.

Notably, only two participants identified apartment dwellings as their preferred choice. One was an 18-year-old male, still living at home, and the other was the male partner of an Edgewater couple. Aged 71, he likes the idea of a low-rise apartment living on the beach.

Figure 24 – Aspirations of housing



Q2. Thinking forward 10 years from now, which of the following housing types do you think would most likely best meet your future housing needs? n-32

8.3. Housing issues and challenges

The online discussion board raised a few new issues. Most comments and suggestions are aligned with the themes identified and recorded by the City. Verbatim responses tell individual stories and give some indication of the urgency people feel over particular issues.

Some online community participants are currently facing challenges accessing housing that is affordable, available and appropriate (a suitable location in the right type of dwelling). Two participants (one of them a 38-year-old and still living with parents) appear to have little expectation of being able to afford their preferred accommodation type in the future and feel it is likely they will have to settle for a less-than-optimal housing solution.

"We rent right now, and it's been really hard to find places to rent for us. Another big challenge is finding somewhere that is close enough to places we need to be — we had to find another place that I could get to school from, and now I'll likely have to find a house I can be near Uni with. Last one would probably be the upkeep of a house like the one we are in, there are a lot of repairs and maintenance things we have to do ourselves because the landlord just won't. I also don't think housing will be cheap enough for me to confidently buy within the next 10 years without either settling for a less-than-optimal home or consigning myself to a very long mortgage."

A closer examination of the data suggests access to appropriate housing is also a concern for some existing homeowners who would like to move but cannot find a place to move to. They (and other participants) variously described too little diversity of dwelling type, too little housing being available and well-located housing being unaffordable for people on fixed incomes.

"For me personally, I like the area I live in and would like to stay here albeit in a smaller home. I have a 3 x2 currently but am living alone; I would be happy with a 2x1 with large rooms and a small garden. Retirement villages tend to be out of town, with costs for amenities that I would not use, so finding an appropriately sized home would be the first challenge. Finance would be the second challenge. Being on the age pension, I have to consider the cost of moving. Thirdly would be finding a home in an area that has easy access to shops, health facilities and transport."

A number of the verbatim responses highlight the tension between the need to increase the supply of affordable, appropriate and well-located housing and what appear to be seen as the less-than-ideal outcomes of infill development.

Not all participants raised issues relating to access to accommodation. Other responses to this question were diverse and very often lengthy. Responses touched on broad themes such as transport, the environment, or developer obligations, and some included detailed suggestions for development guidelines.

The more frequently occurring themes included:

- Environmental considerations, particularly among which were references to green space, tree canopies and parks. Other related ideas include the benefit of 'building up rather than out,' energy efficiency, solar panels, water management and more sustainable building materials and processes;
- Social considerations, including planning for good community outcomes, safety and security, and ensuring there are sufficient services and amenities in place to cater to an increased population;

- Transport-related issues, including parking for infill dwellings, access to public transport and management of the road network

The following verbatim quotes are illustrative of the depth and mix of concepts contained within individual responses:

“Joondalup currently has great parks and reserves, and the majority of houses are not on top of each other, creating an environment for families to gather and sport to play as well as not having people live over the top of you.”

“Maintain an environment where homes and buildings are not built within ten meters of roads allowing a tree canopy to be developed, a cooling environment and provide some green space as blocks get smaller and homes/ units get bigger or utilize the full block.”

“Obviously, the cost of housing will increase due to the locations within Joondalup and public infrastructure currently provided but we need to encourage developers and builders to maintain a strong community well-being approach, understand we are not only looking for a roof over our heads, but the majority want to safe and strong community environment to live in.”

“Housing materials are likely to change (less brick etc.) I believe Joondalup should be educating themselves in this area and encouraging/educating builders on future directions. I am not a fan of some overseas buildings, but some areas are changing their building processes, and we should be a suburb that encourages this as well.”

8.4. Preferred location for different types of dwellings

Respondents were shown a map of the City of Joondalup and asked to indicate, by placing pins, where they thought various types of urban infill should be located:

- Aged and dependent living
- High-rise apartments
- Low-rise apartments
- Townhouses and terrace houses
- Villas and semi-detached dwellings.

The heat-map figures following, show where online community participants felt each dwelling type should be located: the green areas denote higher concentrations of pins.

8.4.1. All dwelling types

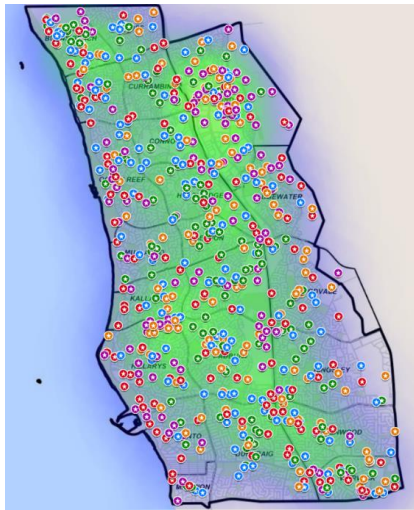
While the sample is small and the results should be considered indicative at best, there is a clear preference for distributing infill across the City of Joondalup rather than limiting it to Housing Opportunity Areas. Infill dwellings follow transport routes and are located in activity centres.

The placement of pins shows relatively consistent opinions about the type of dwellings most suitable to each area, including the preference to restrict height in the suburbs.

The preference for clustering high-rise apartments in the City centre – keeping high-density housing types separate from suburban neighbourhoods - echoes comments gathered through the online consultation with engaged participants, and the intercept interviews with the unengaged. (Note that comments in the online

community discussion, and other consultation activities, suggest there may be strong differences of opinion about placing apartments along the coast.)

Figure 25 – (All dwelling types) Where would you locate?



Q. If you were the town planner, where would you locate...

Low-rise apartment buildings are seen as appropriate where services and facilities are nearby to support medium-density living. Participants considered characteristics of each area pertinent to their decision-making. For example, townhouses and terrace homes were most frequently located in more affluent suburbs and aged care in the older suburbs.

Figure 26 - High-rise apartments:

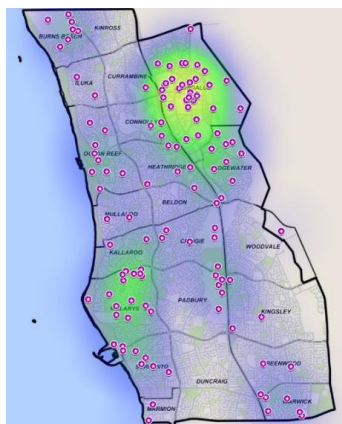


Figure 27 - Low-rise apartments:

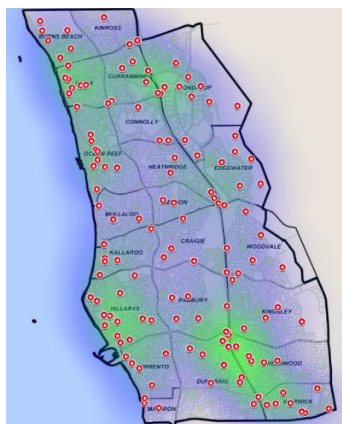


Figure 28 - Aged-dependent living:

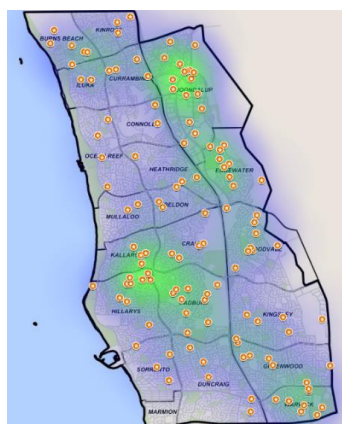


Figure 29 - Villas & semi-detached dwellings

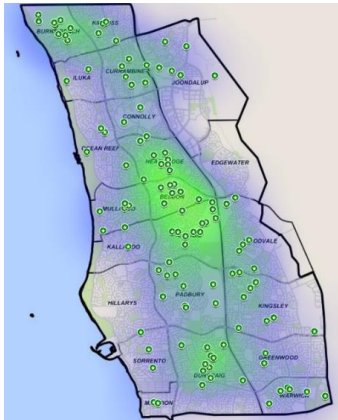
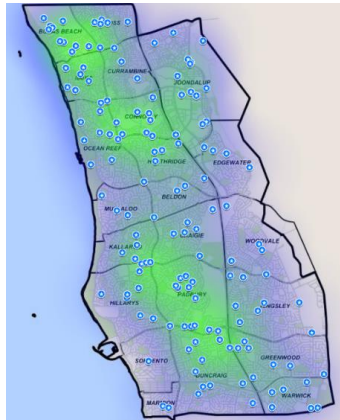


Figure 30 - Town & terrace houses:

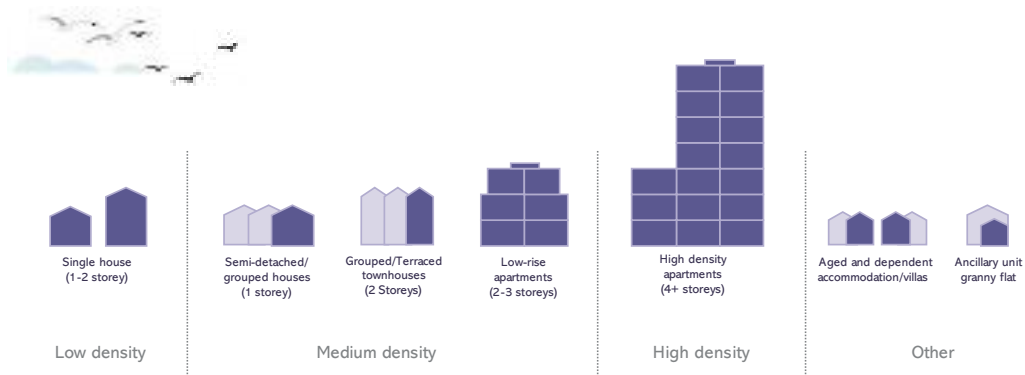


Q6a. You're the City's town planner, given the State Government's urban infill requirements, where would you put the following housing types? n=32

8.4.2. Who lives in different dwelling types?

To further flesh out attitudes to different dwelling types, participants were asked to complete a photo sort. Participants were provided with a series of images showing different dwelling types (see Fig. 19, Living Styles), although single houses were excluded from the options provided.

Figure 31 – Living styles:



Participants were also given a set of images and brief descriptions of different households. Images included people of diverse ages and backgrounds, with descriptions such as:

- Young couple, with no kids;
- Couple with a first baby;
- Fit older lady;
- Single FIFO worker;

- Family with young children;
- Retired couple;
- Single, middle-aged professional.

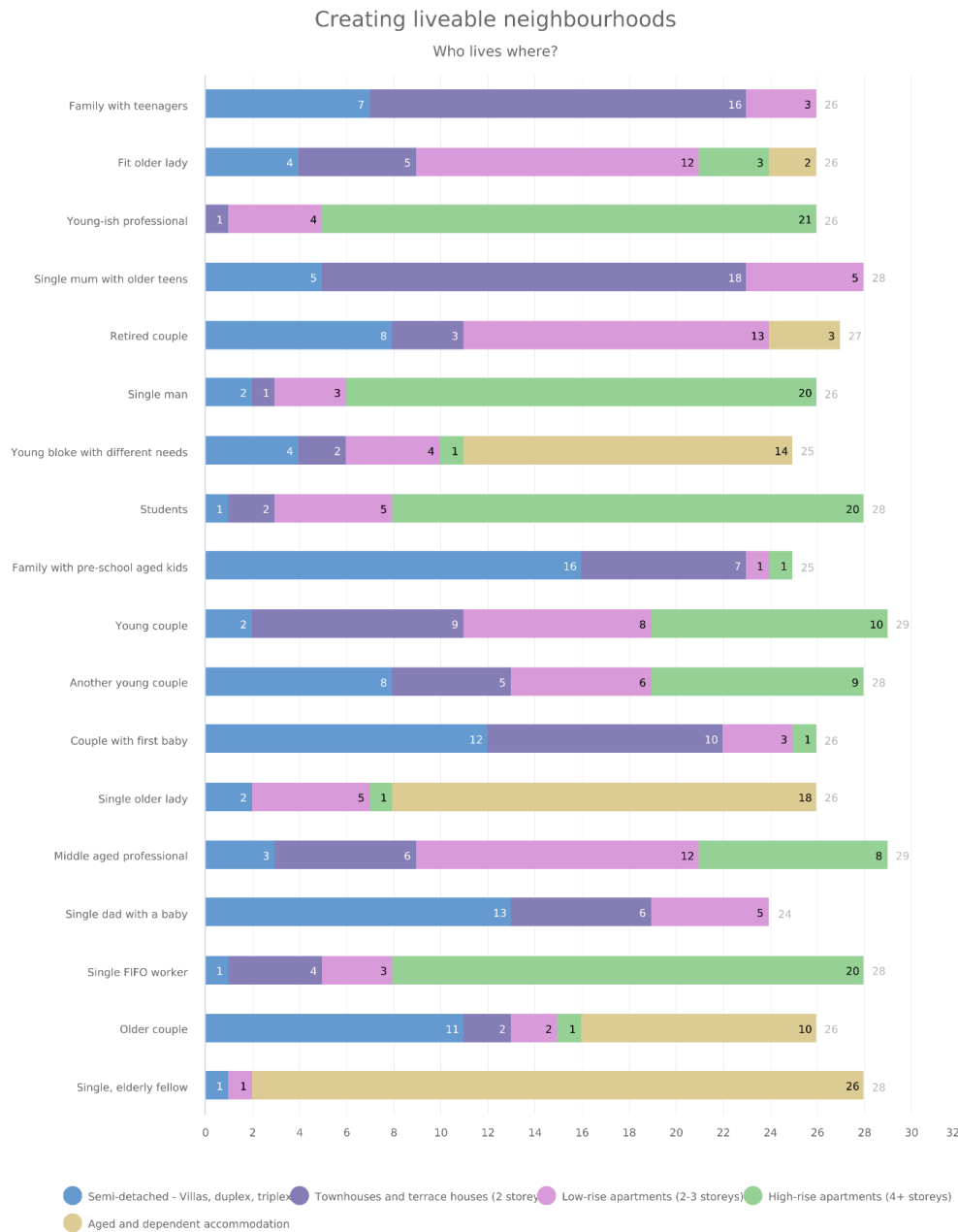
Participants were then asked to match at least three households with a type of dwelling and provide some reason for their choices.

As a stand-alone exercise, this was only moderately successful in that it added little to our knowledge of acceptable housing types other than confirming a lack of appetite for high-rise apartments. High-rise apartment living was chosen for students, singles, young couples and professionals: they do not appear to be considered for family groups

Except for aged and dependent accommodation, the remaining dwelling types attracted diverse choices of household types, with a proportion considering low-rise apartment living acceptable for some family types. There is clearly an element of smaller and higher-density dwelling types being appropriate for older people.

Considered in conjunction with the results of the Housing Intentions survey, the exercise serves to illustrate the survey findings: age and life stage are indications of the type of dwelling preferred.

Figure 32 – Creating liveable neighbourhoods



Q6b. We'd like to understand more about what housing types might be suitable for people in different circumstances and at different stages of life. For each housing type, please choose at least two images of people who would suit living in the various styles.? n-32

8.5. Liveability and sustainability.

To further explore attitudes to infill, the online discussion board asked about:

- The potential benefits of infill developments
- The elements of a neighbourhood that add to or detract from 'liveability'
- The elements of social, economic and environmentally sustainable development.

The full list of verbatim responses to these questions is appended to this report and the content summarised in the paragraphs below. It's worth noting the consistency in the range of responses to all questions relating to liveability and sustainability.

8.5.1. The potential benefits and drawbacks of infill development

Respondents were asked what benefits infill development could bring if the process is well managed. Some appeared genuinely enthusiastic about the possibilities of infill developments. The most frequently mentioned potential benefits included:

- More diversity of dwelling types and more dwellings will enable more people to access housing;
- Improved well-being: more people will be housed in properties that suit their life stage and abilities;
- Positive impacts on social cohesion;
- Environmental benefits from reduced urban sprawl;
- More people will have access to services and amenities;
- More vibrant places and spaces.

"I love the idea of the 4-5 storey apartments with a gym, and coffee shop on the ground floor. It gives people a way to connect and also softens the building. More people in a smaller area can work as long as it's not concrete jungles in the suburbs."

"More opportunities to live closer to the City. Less traffic congestion. Easier to maintain housing/gardens."

"Suburb revitalisation. Better access to facilities. Less spread of development to far-reaching areas that require lots of vehicle travel."

"I think if done correctly, it may be able to leave pockets of suburbs with bigger blocks and provide all styles of accommodation."

"Allowing people to subdivide larger blocks can help to alleviate the financial difficulties people are experiencing. The building of low-rise apartments helps to lessen the impact of urban sprawl by increasing the number of residences per square kilometre and limits the further destruction of natural habitats for local fauna."

Of the 32 participants, only a few explicitly rejected the premise of the question or failed to express any possible positives resulting from infill development. Their responses may provide some guidance around community messaging. Issues raised included the perceived impacts on existing residents, parking, crime and anti-social behaviour and loss of privacy.

“The key words here are ‘if done well’ which is difficult in limited space scenarios. I have read of many developments that have had negative consequences due to poor planning, overcrowding, and insufficient facilities, i.e. parking. All of these things impact the original residents in the area. Traffic is heavier, the noise levels increase & there is less street parking. Also, the higher number of residents in a limited area often results in anti-social behaviour and neighbourhood disputes. I feel that emphasis should be placed on suitable sized developments that lower these risks and give a better lifestyle to new residents and have less impact on current residents.”

“I honestly cannot see any apart from those with big blocks & no youngsters at home will make some money; I have seen the effects of multi living infill in both the UK & Europe where children grow up with little or no freedom to enjoy the outdoors other than the streets & community parks with the young people forming like-minded children into gangs /groups.”

“I’m not a supporter of urban fill. If I purchase a single-storey house, I don’t want double storeys looking in my backyard/windows. This scenario occurs during knockdown/redevelopment.”

8.5.2. Potential drawbacks of infill development

Responses to the question about the potential drawbacks of infill provide some insight into the underlying concerns of local residents. Participants gave a limited range of responses to the question, with the central concerns being:

- The loss of lifestyle and privacy for existing residents;
- The loss of green space and trees;
- Congestion and street parking;
- Poor social outcomes and an increase in crime and anti-social behaviour;
- Pressure on services and amenities;
- Pressure on the road network, transport system and infrastructure;
- Inadequate housing solutions for families and older people.

There appears to be an expectation of a reduced quality of life. Suburban streets congested with parked cars belonging to new dwellings and the loss of vegetation appear to be the attributes most frequently associated with urban infill, even among those who perceive a need for more dwellings and more diversity of dwelling types.

These are important considerations and both community perceptions and the reality of people’s experiences need to be addressed.

8.5.3. Liveable, sustainable communities

Participants were then asked to describe the elements of communities that are liveable and sustainable. A question on place activation was added in response to descriptions of liveable neighbourhoods early in the discussion. Responses are reported under a single heading due to their consistency and the degree of overlap between the answers given. Verbatim responses are provided for the City should it wish to dive more deeply into these answers.

Participants’ responses tell a consistent story about the kind of neighbourhoods they would like to live in. The following descriptions of the key elements of liveable, sustainable communities are drawn from responses reflecting the more commonly raised concepts. The list is not exhaustive, nor did all participants agree with all aspects:

- Participants are looking for development that allows people to remain appropriately housed in their communities for as long as they would like to be there;
- People want a diversity of housing types: although there is an expectation that some of the larger blocks will (or should) remain, it is clear that not everybody wants a garden and not everybody can afford (or wants) a large home;
- Not all neighbourhoods should look or feel alike. While many value larger blocks for their development potential, others like the idea of retaining some 'character areas;'
- People want their neighbourhoods to be leafy, green and tree-lined and the streets to be well-maintained and attractive. Access to nature is seen as important to physical and mental well-being. Green suburbs are perceived as cooler and encourage more people to be out and about in their neighbourhoods;
- Trees, green spaces, gardens and parks are critical to gaining residents' support for infill: despite the desire for smaller and more affordable dwellings in their community, people do not want to see all the mature vegetation disappear. The loss of the tree canopy and established gardens disrupts the visual amenity in the suburbs, and some people describe feeling less satisfied with their quality of life as a result;
- Walkable neighbourhoods are considered desirable: many participants call for better pedestrian environments and for the City to improve and extend cycling infrastructure;
- A connected and efficient transport system is critical, including more public transport and better access to it;
- Participants feel very strongly that infill dwellings should include onsite parking solutions. This is a 'must-have' for future development. Suburban streets congested with street parking is viewed as characteristic of poorly designed infill development and wishful thinking: there are perceptions that Perth people are unwilling to give up their cars, and even if they were willing to do so, the reality is that the public transport system is not sufficiently robust to replace car use. Development designed to be car-less is perceived to reflect neither the current reality nor the likely future reality;
- Buildings should be thoughtfully designed and sympathetic to the surrounding environment, with both the quality of life for neighbours and the intended occupants of infill dwellings considered. Currently, participants are concerned that the City of Joondalup does not consider the long-term impacts of build quality and lack of outdoor space in new dwellings;
- Environmental sustainability is a major concern for many respondents who expressed a range of ideas for inclusions to reduce the environmental footprint. There appears to be a growing appetite for native vegetation, local wildlife and natural environments to be made a higher priority in the City of Joondalup, although the level of tolerance in the wider community would need to be quantified;
- Neighbourhoods should be designed to reduce the opportunity for crime and to promote social cohesion and a sense of safety and security;
- Communities should have ample public services and facilities: everything from spaces to gather to shops and health services. They should offer residents of all ages places to go, things to do and opportunities to interact with others. Participants would welcome place activation programs that delivered regular local activities and events.

8.6. Planning challenges

As in the intercept interviews, participants were asked what they considered were the key issues for the City to manage as it grows. This exercise added little new information, with much of the comment focused on topics such as ensuring the transport system is adequate to need. Participants did, however, raise the concepts of

both *'bringing the community along'* and *'fostering community cohesion'* will require ongoing work on the City's part.

8.7. Validation and recap

Respondents were asked to review a condensed list of issues raised in this and past consultations and make any suggestions for additions. The purpose was to provide an opportunity to make sure all the issues were covered. Most felt the list of issues presented was appropriate, although not everyone agreed with all elements.

"I disagree with some of this stuff. I don't want more dog parks. I think if we are to co-exist closer together, we should be mindful of the proximity of domestic animals. I love animals but not living in my house. COVID-19 has proven that when diseases jump from animals to humans, it can have devastating effects. Also, character areas are all well and good, but if we are to make real headway in the sustainability of our types of housing we may need to change the way we view what is "character". Character and charm doesn't mean everything has to be the same. We need to make changes. Little boxes on hillsides cannot represent change."

The majority of issues raised in this section added further detail to participants' ideas, with many making quite specific recommendations for environmental inclusions and community cohesion.

"Use of rooftops for more social and green spaces."

"Street trees could be replaced with fruit trees."

"Community gardens would be good where people can gather and grow things together. Community halls should be a consideration too."

"Mixtures of age/ demographic are vital to making our communities both diverse and significantly better to live within. Encourage diverse housing types and even mixed residential/commercial. Lot 1 in Hillarys looks like an amazing community location to live within."

8.8. Motivation to accept infill

Qualitative comments gathered from the three-day discussion suggest that some participants are well-disposed towards the concept of infill. The majority have reservations, but almost all were able to identify reasons to accept some infill development and greater diversity of dwelling types in the suburbs. Motivations to accept infill include:

- (1) Inability to access appropriate accommodation within their current or preferred community, with examples being the single mother who likes where she lives but can no longer manage the necessary maintenance of a big property and old house, or the older woman looking for an appropriate, affordable smaller home close to where she currently lives. Both describe the challenges they face as:
 - a lack of appropriately-sized or designed dwellings,
 - an insufficient number of dwellings available to rent or purchase in the area they want to live,
 - the unaffordability of housing in their community generally, and

- costs associated with moving.
- (2) A perception that **infill development will provide more opportunities for younger and less affluent people to access housing**. Affordability appears most relevant to participants who were either renting or living at home with their parents, to older people looking to move into more comfortable accommodation and in a more abstract sense, with some participants wondering where their children or grandchildren will live. This is supported by the Housing Intentions survey where it was particularly relevant to young people under 35.
 - (3) **Attitudes to sustainability and sustainable development**, with some participants having a particularly sophisticated understanding of contemporary issues in planning, development and other related fields. A small group explicitly stated their preference for infill rather than greenfield development because *'...we cannot keep going out.'* If well managed, infill development could potentially deliver ongoing environmental wins and good social outcomes.
 - (4) **A financial interest and opportunities stemming from subdividing existing blocks**. One participant explicitly stated their desire for more development opportunities for current residents and a small number of participants suggested zoning changes on large blocks.

"The opportunity to rezone properties to allow subdivision of larger blocks so housing can be more affordable due to the availability of land close to amenities, job and education opportunities."

8.9. Rejection of infill

Motivations to reject infill are many and varied, but at their core can be reduced to a perception that the benefits of urban infill, as currently delivered, do not outweigh the drawbacks. While individuals appear most highly motivated to *'get involved'* after negative experiences, there is broad recognition that infill – whether well or poorly managed – will (or has) impacted communities as a whole.

It should also be acknowledged that there is a group that disputes the need for infill. The quote below is lengthy and convoluted but demonstrates that despite this person feeling they are being presented with *'alternative facts'*, there are cogent arguments against infill embedded in the comment. The point here is that loud voices – or comments that can be read as having conspiratorial overtones – cannot be discounted based on the tone of their response. Note that between the statements in bold (emphasis added by report author) are a number of comments articulating quite commonly held concerns, such as infill and battle-axe development not being appropriate for either the Australian weather or the Australian lifestyle. This is an opinion entirely consistent with views expressed by others in more moderate tones.

*"Firstly and fundamentally, there is no justification or reasonable premise for the idea that Joondalup needs to grow by 20,000 homes. Who decided this is necessary? What is the basis of the figure, and why is it deemed to be beneficial? Is it beneficial? What proportion of the population support this? I would suggest that a majority of people do not support this. They certainly did not vote for it. The whole basis of the lifestyle, culture and amenities in Perth and Australia as a whole is largely based, when you think about it, on the weather and a low population density. Infill and battle-axing blocks change the latter significantly and will only lead to a decline in living standards. **It is literally un-Australian.** I disagree with it on every possible level. **Additionally, to that, it is also immoral.** In many suburbs, the occupants have spent significant effort and money to live there, and it is disgraceful that this gets changed against the wishes of the population, **based on artificial need and often via the specific direction of an unelected body driven by ideology and quite probably vested interests.** The quality of life and the very fabric of Australia should not be undermined or eradicated simply to support a giant Ponzi scheme perpetuated by economists,*

*financiers and property developers. The desire for constant population growth is simply a lazy solution to enable the demonstration of apparent economic growth. In reality, it's nonsense and simply spreads the available resources and GDP more thinly across more people. It is no substitute for genuinely advancing the State and its economy by growing new and existing industries and training the existing population in support of those goals. **Govt should be protecting us from these fake population growth demands, not promoting them.** Finally, while I disagree with the need at all, if there is to be any infill of any sort - including battle-axing existing blocks - then there should be a percentage limit set based on the original layout and design of the area (i.e. incorporating any changes to date and not from this point forward). In order to prevent the potential eventual ruination of a given suburb, I would suggest a limit of 10% increase in population density across a given area or suburb based on all land therein be it developed, undeveloped but zoned for use or bushland. This would be in addition to any or all other planning constraints. Thus, for example, if an area had 100 4-bedroom homes on 1/4 acre blocks when first designed, then the original population is 400. A 10% increase limit would mean that 10 blocks could be battle-axed, creating 10 new homes of 4 additional people each; the 11th person wanting to battle-axe would be prevented. Or, should "spare" land in the area be nominated for a small apartment block, e.g. 10x 2-bed apartments, then subject to ALL other planning constraints being acceptable, it would still not be approved if more than 5 existing blocks had already been battle-axed. These sorts of limits are critical because otherwise, it's like the frog in a slowly boiling water scenario - a few degrees in temperature rise is not noticed by the frog, but then before you know it, the temperature is boiling, and the frog is dead. The rule above is simply stated, but a significant effort would also be required to ensure the regulations cannot be gamed by property developers."*

9.0 ACTIVITY FOUR: STAKEHOLDER INTERVIEW FINDINGS

A broad range of stakeholders contributed to the Housing Issues study, representing:

- The property development industry
- State Government
- Housing and social service providers
- Community organisations, including representatives of the CALD community, and the Joondalup Urban Development Association.

9.1. Summary

Stakeholders were asked to provide an insight into the challenges the City faces in planning to meet the housing needs of a growing population.

The range of issues identified by stakeholders mirror those identified through the community consultation, and many of the views they expressed – such as the market’s attitudes towards and appetite for higher-density living – are illustrated by the findings of the housing intentions survey.

Key themes raised in discussions with stakeholders are discussed below, but include:

- Access to affordable housing
- Access to appropriate housing
- The City’s role in advocating for change and coordinating discussion
- Liveability outcomes.

Broad themes by stakeholder group are provided below. Not all organisations have been named nor have specific comments been identified in instances where the appropriate permissions were not given.

9.2. Social service providers and State Government

Interviewees included representatives of organisations serving the youth, domestic violence, aged care and disability sectors. The views of this group of stakeholders are similar, and they share an understanding of the challenges in the housing sector.

The housing crisis is perceived to have grown worse over recent years, with the greatest need at the lower end of the market. Most expect the situation to further deteriorate as inflation and interest rate rises place pressure on household budgets.

Key concerns expressed included:

- A lack of dwellings generally, either to buy or rent,
- A lack of social and affordable dwellings, and
- A lack of diversity in the current product.

Among social service organisations, there is a widely held view that official statistics don’t properly reflect the size of the problem.

Some need is hidden: instead of leaving home at 18, many young people are staying home into their mid-twenties and beyond (confirmed in the Housing Intentions survey). Likewise, service providers suggested that people who would previously have moved into supported living arrangements are also staying at home with their parents.

“There are long-term impacts of staying at home. On mental health, certainly, and often on the long-term financial wellbeing of their parents.”

Some need is becoming more visible in the community: the competition to access affordable housing inevitably places downward pressure on the market, with the most vulnerable the first to fall out of secure housing.

“We are seeing people who we might previously have expected to access housing independently applying for social housing. It’s inevitably the most vulnerable who end up falling out of housing.”

They describe two trends emerging over the past few years:

- Older people face an increased risk of homelessness, with women particularly vulnerable. Advocare confirms that since 2016, proportionately, the most growth has been among those aged 65 and over.
- In Joondalup specifically, the number of people falling out of secure housing due to domestic violence is growing faster in the City than in other areas, possibly due to the greater likelihood of Joondalup residents reporting domestic violence incidents.

The shortage of housing is sufficiently acute that all dwellings are now being funnelled through National Housing Homelessness Agreement (NHHA) organisations to make the process more efficient. Some service providers have had to change the focus of their programs. The Patricia Giles Centre, for example, formerly funded to provide permanent housing for people within twelve months (a time frame now accepted as unattainable) now focuses its efforts on assisting people to maintain housing. Assisting tenants to maintain their tenancies does not, however, have an impact on the numbers requiring housing; it *‘just stops tenants cycling through.’*

The majority of stakeholders also emphasise the need for a range of dwelling types and actively dispute that *‘the market’* wants three-bedroom, two-bathroom homes with no gardens.

“Some people will do well in apartments, some will not. Some people want two bedrooms and a little garden; other people have four or five kids. Successfully housing someone is more than just putting a roof over their heads. It’s about the right roof and making sure the support they need to maintain that tenancy is there.”

Social service organisations interviewed all referred to the *2022 Ending Homelessness in Western Australia Report 1* as the most comprehensive assessment of housing needs in Western Australia. While it does not provide detail at a local government level, the document identifies the rate of change and confirms the trends highlighted by social service providers.

¹ Flatau P., Lester L, Kyrton M., Lai, C., and Li, M. (2022). Ending Homelessness in Western Australian 2022, Perth: The University of Western Australia. <https://doi.org/10.25916/ns0d-0q24>, available at <https://www.shelterwa.org.au/ending-homelessness-in-western-australia-2022-report/>

The Department of Communities sent five people from across its divisions to participate. This conversation was lengthy and high-level. The Department has a unique view of the situation and clearly understands the tensions experienced by local government, and confirmed the view expressed by other stakeholders that the market has thus far failed to deliver the high-density apartment living envisaged for the City of Joondalup. It also confirmed the need for more social and affordable housing and a greater diversity of dwelling-type.

The most relevant take out from this conversation is the Department's willingness to work with the City of Joondalup to develop new solutions to housing issues.

"We don't get many opportunities to work directly with local governments. It's something we'd value."

9.3. Community organisations

Community organisations interviewed included the Joondalup Urban Development Association and a representative of the Joondalup Myalee Association. The focus areas of the two organisations were very different.

Malayalee Association of Western Australia (MAWA) is the peak body representing people from Kerala Malayalees in WA, and describes itself as '*a non-profit, non-political, non-religious community and cultural organisation.*' The organisation conducts the traditional Malayalee Onam and Christmas festivals and takes active roles in hosting other cultural functions and sports competitions.

The community itself is widely dispersed across the metropolitan area, with many families living in the Cities of Joondalup and Wanneroo. The Association representative described the community as quite young, and not yet facing the challenges of caring for elderly parents. Their housing needs are met by the existing product. In general terms, the Association feels well supported by both the Cities of Joondalup and Wanneroo and could provide little additional insight into housing issues.

The Joondalup Urban Development Association (JUDA) is well known to the City of Joondalup and regularly contributes to City consultation projects and has formally provided written input to the City, articulating the group's concerns and suggestions. Three representatives from JUDA gave the interviewer two hours of their time to share their thoughts.

The organisation did not present itself as anti-development or even anti-infill development per se. Its key concern is that the current local housing strategy and development practices are not only not meeting liveability outcomes, but in many instances negatively impacting liveability and compromising longer-term sustainability goals.

Considered in light of the public comment gathered through both the other qualitative means and the Housing Intentions Survey, which demonstrated little difference between the views of unengaged and engaged residents, the issues raised by JUDA are generally consistent with those of the broader population.

Real estate industry

The interviews included real estate developers and a representative from REIWA. From the developers' perspective:

The standard three-by-two triplex development with no garden is '*what the market wants*,'

There is no appetite for apartment living, and it is likely to be a long time before the City of Joondalup offers high-rise apartments;

The City of Joondalup is not easy to work with. Processes are slow and there are a lot of regulations to navigate;

Requirements for garden space in unit developments can make projects unaffordable. One suggests developers be given the option of meeting green space requirements through contributions.

What can the City of Joondalup do to support good housing outcomes?

Most stakeholders do not see the City playing a role in the direct delivery of either services or housing: real traction on improving access to housing requires the sustained will and coordination of the State and Federal Governments. That said, stakeholders suggest that the City could take a number of actions to promote good housing outcomes.

Current City planning policy is perceived to be delivering piecemeal results. Stakeholder comments echo those of residents, who perceive planning approvals are made without any reference to adjoining or nearby properties.

Stakeholders express concern infill development is being delivered in a manner that makes it more difficult to achieve sustainability goals. Density can only be achieved where there are land parcels of sufficient size available. Both groups call for a holistic approach to planning.

“The more you fragment land parcels, the more difficult they are to reassemble. One owner on a quarter-acre block potentially becomes three or even four owners.”

To increase the likelihood of higher-density dwellings being delivered, the City needs to consider how to retain or assemble sufficiently large parcels of land to make higher-density development both plausible and attractive to investors.

There is widespread agreement that the market for apartment living is soft and a perception that there is a lack of broader community education around apartment living. The City may have some role in advocating for a public education campaign to promote longer-term change.

“There’s too little in Joondalup to attract people to it.”

Other stakeholders suggest strategies to maximise the opportunities that currently exist, including:

- In increasing the supply of affordable housing, the City should promote the National Rental Affordability Scheme (NRAS);
- To investigate the supply of housing, the City could consider applying rate penalties for properties that are vacant for extended periods and investigate incentives for owners to inject these properties into the rental market;
- The City of Joondalup and the City of Wanneroo jointly host a Homelessness Working Group. This is considered a positive initiative and stakeholders feel it appropriate for the City to facilitate opportunities for local service providers to meet and discuss issues and look for efficiencies.

It was felt that promoting greater diversity of dwelling types may require the City to take a leading role to combat the perceived entrenched view among developers that what the market wants is three-by-two homes without yards, a statement reiterated by a developer interviewed during this consultation. Other stakeholders

suggest the three-by-two concept might be true if the market referred to its investors and not the intended tenants.

“From an investor’s perspective, it’s low maintenance. But the way these places are designed – high narrow windows to avoid overlooking the neighbours ultimately delivers sub-optimal housing for the tenants. The lack of greenery has well-known impacts on mental health”

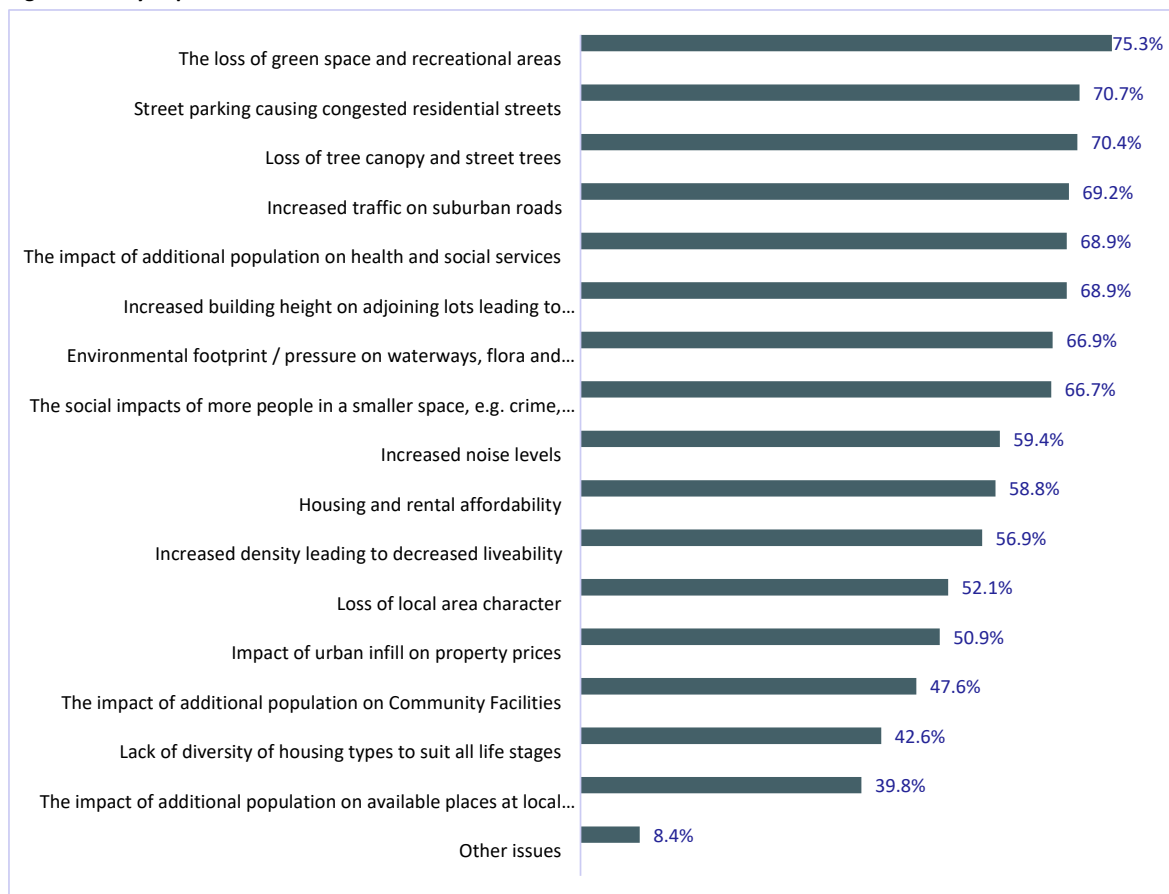
10.0 QUANTIFYING THE KEY HOUSING ISSUES

The consultation informed the design of a survey question to measure the relative importance of the housing issues identified in the consultation, though the consultation exercises continued during the survey period. The survey provided the opportunity for a representative random sample of residents to provide their views, which as noted in the method are representative of the whole Joondalup residential community. The survey sample was of sufficient size to also provide an analysis of the views of key unengaged communities.

The key issues of significant concern to survey participants shown in the figure below were:

- Environmental and green space
- Street parking and traffic congestion
- The impact of additional population of health and social services
- Increased building height, leading to overshadowing and loss of privacy
- The social impacts of a greater number of people in a small space.

Figure 33 - Key impacts of concern to residents



Q4. The extensive consultation conducted by the City has identified a number of potential impacts of an increased population. Which if any of the following impacts is a significant concern to you personally? N-801

When asked if there were any other issues of concern in addition to those listed above, 91.6% of survey respondents said 'no other issues;' however, 8.4% of residents suggested other issues, including:

- The need for better public transport;
- The lack of parking available in infill areas;
- Ongoing neighbourhood consultation required going forward;
- Overcrowding of shopping centres;
- Impact on waste management of increased density;
- The need for more street lighting.

Examples of comments included:

"I have a significant concern in regard to the population's mental health with increased housing & population. And people struggling to deal with lack of privacy and smaller dwellings to live in and increase pressure on Social Services."

"I am concerned about the housing development on top of Wetland areas."

"The City should consider better planning not only for the increasing younger population but the existing ageing population. Especially better funding, improved health services and access for disabled people."

"There aren't enough footpaths, people walk on the roads and the potential is there for accidents and with an increase in population this would become more likely."

"I would like to know that we are putting in the infrastructure and it will not affect rates too much."

There were very few differences in the concerns of residents by Ward, the key differences being:

- North Ward – survey participants were less concerned about increased building height on adjoining lots leading to overshadowing and loss of privacy (57.7%) compared to an average of 68.9% across the other wards. None of the other wards expressed a statistically significantly higher level of concern about overshadowing and loss of privacy.
- Street parking causing congestion on residential streets was of less concern to residents of the South-East Ward (62.0%) compared to an overall level of concern across the City of 70.7%.

10.1. The views of key community segments

Generally, there are few differences between the views of individual segments and the results for the residential population shown in the figure above. Only statistically significant differences have been identified, not those differences which may be due to a small sample size within the group.

Young people

Housing and rental affordability and the impact of infill on property prices (driving up the price of properties that offer opportunities to subdivide) were the two issues of greatest concern to the under-25 age group and this is also true of the under-35 age group.

- Housing and rental affordability was of particular concern to the under-25 age group (83.0%) and also to the under-35 age group (78.3%);
- The impact of urban infill on property prices was of particular concern to the under-25 age group (78.3%) also of concern to the under-35 age group (70.0%) and of less concern to those 55 years and above (43.2%).

Attitudes amongst the under-25 age group to the loss of green space (81.1% concerned) and street parking causing congestion (79.2% concerned) also received similar levels of concern, but these issues were also important to the community generally.

The two other areas of difference among young people were:

- Diversity of housing types to suit all lifestyles was particularly important to the under-25 age group of which 60.4% identified this as of significant concern to them.
- Increased building height leading to overshadowing and loss of privacy was of less concern to the under-25 age group (55.7%).

Seniors

In this survey, the analysis of seniors (due to the age breaks used in the questionnaire) focuses on people 55 years and over. As we have seen above the majority of this age group are living in low-density single residential houses and aspire to remain in these houses types of low-density housing until they reach the age of at least 75.

They are concerned about similar issues to the population generally, except that as noted above they are less concerned about: housing and rental affordability (49.9% of seniors) and the impact of urban infill on property prices (43.2% of seniors).

Females

Some issues are significantly more important to females than males generally, relating to school facilities and social issues as follows:

- The impact of the additional population on health and social services is significantly more important to females (75.1%) than males (62.6%).
- The environmental footprint, pressure on waterways, flora and fauna and waste management and drainage are significantly more important to females (72.9%) compared to males (61.3%).
- The impact of increased building height on adjoining lots leading to overshadowing and loss of privacy is more important to females (74.1%) than males (63.8%).
- The impact of more people in a small space, e.g. crime, social behaviour and vandalism, is of more importance to females (70.9%) than to males (62.6%).
- The impact of the additional population on local schools and day-care centres is significantly more important to females (44.2%) compared to males (35.2%).

The views of males were similar to the population as a whole.

CaLD Community

The CaLD community is defined in this survey as people who speak a language other than English at home. These people generally expressed similar views to other sections of the community, the only exception being a significant concern by the CaLD community about increased noise levels resulting from greater housing density (75.4%) compared to the community generally, where 59.4% of residents were concerned about increased noise levels.

Other issues raised by one or two members of the CaLD community included:

- The need for more bike lanes;
- Overcrowded public transport services mean fewer public transport services available;
- More community gardens or community projects to engage the community;
- More social housing as homelessness will get worse;
- Rental should be limited to medium and high-density areas.

Disability community

The disability community was defined in this survey as people who live with a disability or chronic condition, or care for someone who does. These people tended to be seniors, as just under sixty per cent of the respondents to the survey who were defined as members of the disability community were aged 55 years and older. The disability community did not express any significantly different views to other members of the community except that some people with a disability suggested:

- In future, consideration should be given to wheelchair access, including doorway widths and bathrooms;
- Increased footpaths as residential streets get busier;
- Better planning for not only the increased younger population but the existing aging and disabled population;
- Better funding for improved health services and access for disabled people.

Young Families

People with young children under 12 years expressed similar concerns to other groups in the community about the impacts of the increased population. The only area where their concerns differed was the impact of the additional population of local schools and day-care centres. Here, 57.6% of parents with children under 12 said that they were significantly concerned about this issue compared to 39.8% of the community generally. This group are twice as likely to be purchasing their home with a mortgage (77.6%) than other groups in the population. They are also more likely to have been involved in consultation with the City and/or contacted their Elected Member (25.5%). Indicating that they are active in the community on issues of concern to themselves.

Renters

Survey participants living in rental accommodation generally were under the age of 35 (48.8% of renters) and this was the group most likely to live in medium-density accommodation (21.8%).

Housing and rental affordability is the issue of greatest concern to people renting. 75.9% of renters were concerned about housing and rental affordability. This is consistent with the views of the under-35 age group who represent almost half of people who rent.

- The impact of urban infill on property prices is another area of significant concern for renters, 64.4% of renters are significantly concerned about this issue in a similar way to the under-35 age group generally.
- Lower levels of concern were expressed by renters about increased building height on adjoining lots leading to overshadowing and loss of privacy, with 55.2% expressing concern, possibly because this group find medium-density accommodation a more acceptable option.

Young people living at home

Those that currently live at home with parents are largely under the age of 25 (79.6%) and 93.2% of renters are under the age of 35. The main concerns of this group are:

- Housing and rental affordability (85.4%);
- Loss of green space and recreational areas (80.6%);
- The impact of urban infill on property prices (73.8%).

They are also more interested than other groups in:

- Diversity of housing types to suit all life stages. 56.3% are concerned about this issue in comparison to 42.7% amongst the general population.

The Engaged

The views of the engaged (those who had participated in consultation or contacted the City of Joondalup Elected Member in the past two years) and the views of the unengaged were statistically similar across all issues. Whilst a slightly higher percentage of the engaged population nominated each issue, the difference was generally only a few per cent and was not statistically significantly greater compared to the percentage of the unengaged nominating each issue.

Those respondents who have engaged with their local member on an issue in the last two years were most likely to be concerned about:

- Loss of green space and recreational areas. (84.1%) This was an issue similar to other sections of the community;
- The environmental footprint, pressure on waterways, flora and fauna and waste management and drainage (80.5%);
- Loss of tree canopy and street trees was an issue (79.3%) similar to other members of the community;
- The social impact of more people in a small space was of concern (76.8%);
- Street parking causing congestion in residential streets (75.6%);
- Impact of additional population on health and social services (75.6%);
- Increased building height on adjoining lots leading to overshadowing and loss of privacy (74.4%);
- Increased traffic on suburban roads (73.2%);
- Increased density leading to decreased liveability (67.1%);
- Loss of local area character (64.6%), higher than other groups of the population.

The survey indicated that twelve per cent of survey participants felt that they had been negatively affected by housing infill in their area. The issues which this group of people were most concerned about were:

- Increased building height on adjoining lots leading to overshadowing and loss of privacy - 86.5% express significant concern compared to 66.5% of residents generally.
- Loss of tree canopy and street trees (83.3%), significantly higher than other segments at 68.7%.

- The environmental footprint, pressure on waterways, flora and fauna and waste management and drainage – an issue for 79.2% of this segment (significantly higher than other segments of the population at 65.2%).
- Street parking causing congestion in residential streets (78.1%) (similar to other segments of the population).
- Loss of green space and recreational areas (78.1%) (similar to other segments of the population).
- Increased traffic on suburban roads (76.0%) (similar to other segments of the population).
- Increased density leading to decreased liveability - 74.0% of this segment compared to 54.6% of the remaining population.

Survey respondents who have been negatively affected by housing infill in their area were twice as likely to have participated in consultation and surveys for the City (18.8%) and more than twice as likely to have contacted their Elected Member in the last two years (20.8%). Hence 19.7% of survey respondents who felt that they had been negatively affected by housing infill in their area were classified as engaged, this is twice as high as those unaffected by infill.

11.0 THE VALIDATION WORKSHOPS

At the conclusion of the consultation and survey, two validation workshops were undertaken:

- (1) A workshop with engaged residents who felt that their neighbourhoods, usually their streets, had been negatively impacted by urban infill.
- (2) A workshop with unengaged participants randomly recruited and screened who coincidentally felt that they personally had not been negatively affected by urban infill. Most described no impact at all, and two felt their streets had been positively impacted. The first quote below is from a woman living in Kallaroo who perceives a positive impact on her neighbourhood; the second is a 30-year resident of Kingsley who perceives positive impacts on her street but holds concerns about outcomes elsewhere.

“My area is all old houses and they’re coming to the end of their lives. Lots of them are looking pretty sad now and neglected. In my area, they’re starting to knock those down and put two houses in their place. I think it’s a good thing. I’d much rather these than have the old houses on the street, particularly the ones that look derelict and nobody looks after; yeah, I think it’s a good thing they’re knocking them down and putting two houses up – sometimes it’s a triplex, but mostly two houses where there used to be one. They’re attractive, and they’ve got a garden. I think it’s a good thing.”

“Personally, I think infill has been done really sensitively in my area. There are more houses but it hasn’t impacted traffic. There are still lots of trees ... but I will say that as you get close to the local shops, it feels different. Houses are definitely more crammed in there; you do see people parked on the street – it isn’t as nice. I’d probably feel differently if I lived on one of those streets. I work in Karrinyup; a lot of my customers live in Innaloo, and that’s all three and even four houses crammed together all through there – they tell me how much hotter their suburb is. I’d definitely feel differently if that was happening around me.”

The distinction between the negatively impacted group (the engaged) and the group who experienced no negative impact (the unengaged) is important as those who have been negatively impacted by urban infill are, consequently, more critical and often more knowledgeable. By contrast, the unengaged workshop participants had much less direct experience and – possibly as a consequence - felt much more positive.

Despite the difference in attitude, both validation workshop groups expressed the same range of housing needs and the same ambitions for liveable, sustainable neighbourhoods, as each other and as those participating in the previously reported consultation activities. Both groups identified the same range of inclusions necessary to make neighbourhoods liveable, and both expressed the same ambitions for environmental sustainability.

A key difference in the tenor of the two workshops was the sense of urgency expressed by engaged residents:

“It’s all well and good to discuss an ideal future community -and I think there’s value in that – but the more important message for the council is that these things are happening now. All these triplex developments are jammed in places that don’t have the infrastructure in place for bigger populations. It makes neighbourhoods less liveable, not more.”

11.1. Housing aspirations

Participants aspire to a similar range of housing types to those of other Joondalup residents, with the majority feeling their dwelling preference will still be a single house with a garden.

Looking beyond their own aspirations for housing, the groups also expressed the need for:

- Houses appropriate for retirement living requiring less maintenance, and more lifestyle;
- Affordable housing for young people and those on lower incomes;
- Social housing for people in need;
- Assisted living options for people living with disabilities and the elderly, plus aged care accommodation;
- Crisis accommodation for people experiencing hardship.

“What I want is for my kids and grandkids to be able to afford to buy a home near where we live. I don’t want my son to move 45 minutes to Ellenbrook like your daughter, or 32 kilometres down the freeway like yours. Families want to live nearer each other.”

11.2. Affordable appropriate housing

Both the engaged and unengaged workshops recognised affordable and appropriate housing as unmet needs in the City of Joondalup. In both groups, a small number of participants provided personal examples of the impact of the shortage of affordable housing. Stories of adult children living at home into at least their mid-twenties. Among the engaged, an older woman participant described wanting to move to a more comfortable house, but that nothing is available, and among the unengaged, both participants in rental accommodation described difficulties with either affordability or supply.

“Yep. Definitely, there needs to be more affordable housing. I mean – I’m 29, and I’ve only just been able to move out of home.”

“I’m in a separate house, freestanding - I just count myself lucky I found a place to live before COVID.”

11.3. Housing locations

Participants of both workshops envisaged infill development spread throughout the suburbs, with different dwelling types in different areas. Participants broadly agreed that higher-density dwellings were more appropriately located within the City area of Joondalup than in local neighbourhoods. Medium rise apartment complexes were envisaged closer to transport hubs and shopping opportunities, with the centre of suburbs remaining leafy, green and low-rise.

11.4. Liveable, sustainable neighbourhoods

Participants were provided with a map showing a 400 – 450 metre radius, a distance generally considered ‘walkable’ and asked to describe what a liveable sustainable neighbourhood should look like in 25 years’ time. The exercise involved taking a walk through their neighbourhood. In both groups, central themes included:

- **Greenery:** street trees, pocket parks, suburban gardens, open spaces, green spines. Green space needs to be diverse and plentiful. Green space lost to dwellings and driveways needs to be compensated for in full within the immediate area. While it is true that a proportion of participants want no garden to look after, many feel gardens are integral to their well-being.
- **Infrastructure:** Sufficient infrastructure needs to be in place to cater to future demand before the fact, including upgraded roads, power, water etc
- **Community services and amenities:** more opportunities to shop locally (IGAs are good-sized neighbourhood stores), access to health and medical services, gyms, bottle shops, a men's shed and somewhere for the knitting circle to meet.
- **Transport network:** ideally, on a high-frequency bus route with a bus stop with a seat and some weather protection no more than 100m away. Public transport with good last-mile connectivity. The transport network needs to incorporate charging points for e-vehicles and consideration given to the future role of autonomous vehicles.
- **Pedestrian networks:** high quality, legible and connected footpaths, well-lit and weather-protected.
- **Specific sustainability initiatives,** including green corridors to support wildlife, community batteries, upgraded building processes to use more sustainable materials etcetera.

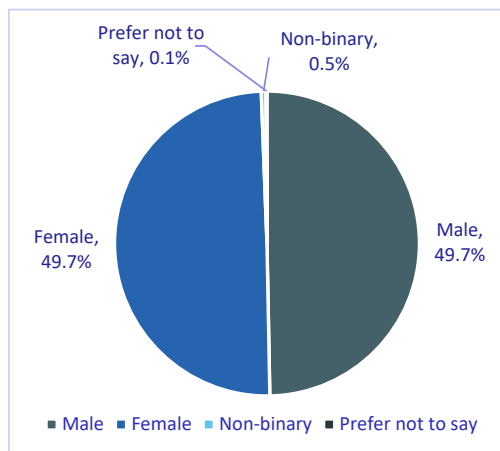
11.5. Going forward

The workshops briefly detailed the high-level findings of both Part A: Housing Intentions, and the analysis of activities conducted in Part B: Housing Issues. The consultation process was explained, including the numbers of residents who participated. Participants were given the opportunity to ask questions about the process and the survey particularly but neither group took the opportunity.

There was interest in the City keeping residents up to date as each stage of the Review is completed.

12.0 RESIDENTS SURVEY SAMPLE PROFILE

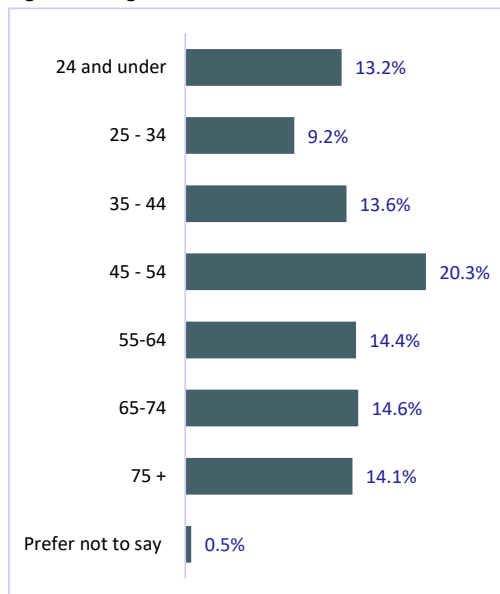
Figure 34 - Gender profile



	Survey	ABS
Male	49.7%	48.8%
Female	49.7%	51.2%

S2 Are you? n-801

Figure 35 - Age



	Survey	ABS
Under 35	22.4%	23.7%
35 – 54	33.9%	35.6%
55 plus	43.1%	40.7%

S3. We are looking for a wide cross-section of people. Which of the following age groups are you in? n-801

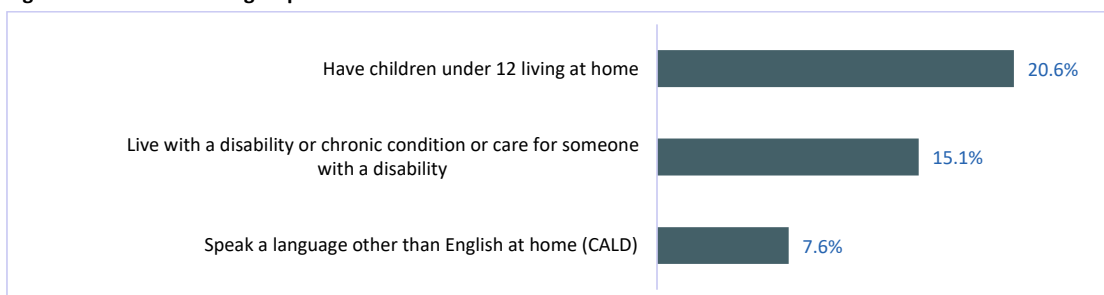
Figure 36 - Profile by Suburb

Suburb	Per cent
Beldon	2.2
Burns Beach	1.7
Connolly	1.7
Craigie	4.1
Currumbine	4.0
Duncraig	11.7
Edgewater	2.4
Greenwood	8.2
Heathridge	3.2
Hillarys	7.0
Iluka	3.0
Joondalup	5.5
Kallaroo	3.9
Kingsley	11.5
Kinross	3.5
Marmion	1.7
Mullaloo	4.7
Ocean Reef	4.7
Padbury	4.6
Sorrento	3.2
Warwick	1.9
Woodvale	5.2
Total	100.0

	Survey	ABS
North Ward	17.7%	22.8%
North Central	16.9%	16.2%
Central	15.5%	15.5%
South West	14.9%	17.2%
South East	19.7%	14.4%
South	15.4%	13.9%

S1 Do you live in the City of Joondalup? Which suburb? n-801

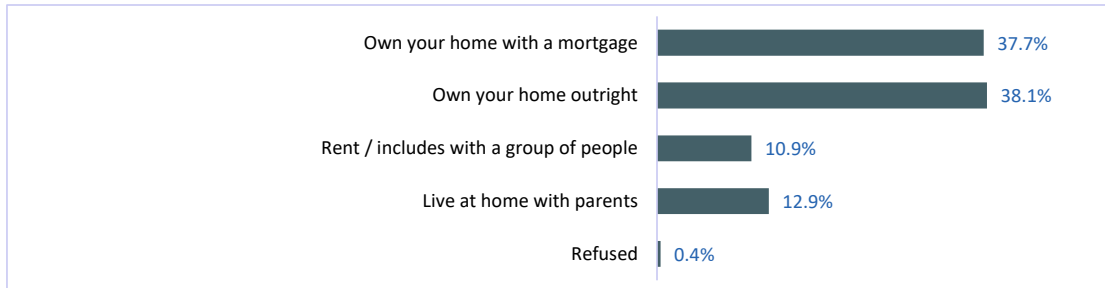
Figure 37 - Hard to reach groups



Q6. Do you? n-801

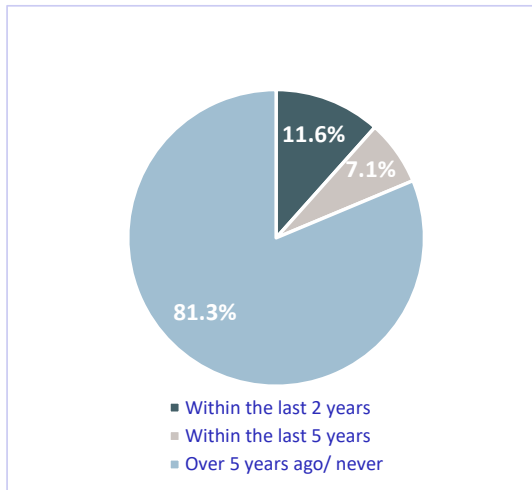
The Australian Bureau of Statistics only provides comparable data for speaking a language other than English at home which in 2021 in Joondalup LGA, which was 10.2%. The sample in the survey whilst a little lower is sufficient for detailed analysis.

Figure 38 - Home Ownership



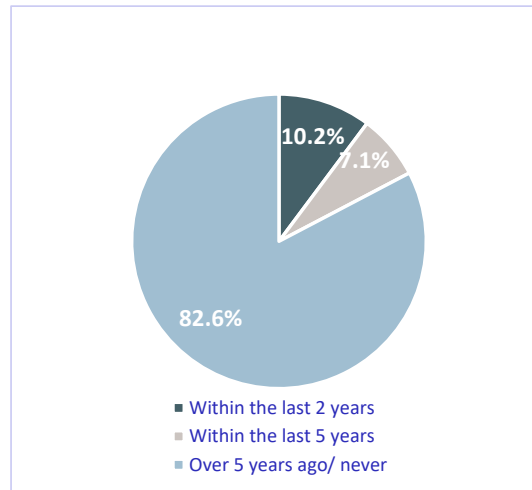
Q7. Do you? n-801

Figure 39 - The last time the respondent engaged in consultation with the City



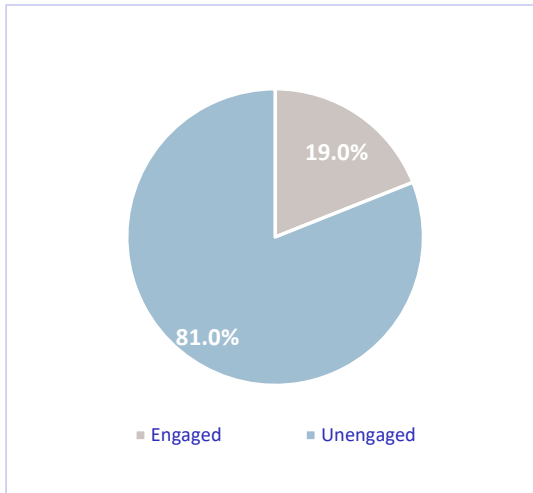
Q8. When was the last time you took part in an online face-to-face survey or consultation for or about the City of Joondalup? n-801

Figure 40 - The last time the respondent engaged with their Elected Member on an issue of concern



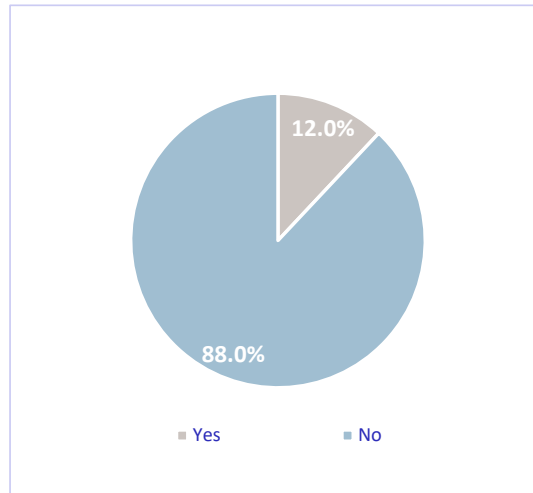
Q9. When was the last time you contacted the person on the City of Joondalup Council elected to represent your ward, about an issue that concerned you? n-801

Figure 41 – Engaged and unengaged survey participants



Q8-9. Undertaken a survey or contacted EM in the last two years? n-801

Figure 42 – Survey participants negatively affected by housing infill



Q11. Have you been negatively affected by housing infill in your area? n-801

Appendices:

- Appendix 1 - Technical Appendix - Sampling and Data Collection Specifics
- Appendix 2 - Survey Research Appendix: Statistical Tests
- Appendix 3 – Technical Appendix – Qualitative Research Project Specifics
- Appendix 4 - Questionnaire
- Appendix 5 - Online Consultation Form Verbatims
- Appendix 6 – Intercept Interview Questions
- Appendix 7 – Intercept Interviews – Housing Issues – Verbatim comments
- Appendix 8 – Community Discussion Board Framework
- Appendix 9 – Online Community Discussion Board – Verbatim comments
- Appendix 10 - Housing Issues – Validation Workshops
- Appendix 11 – Stakeholder Topic Guide

APPENDIX 1 - Technical Appendix - Sampling and Data Collection Specifics

Component	Details
Project Management Team	
Research Solutions contact	Nicky Munro
Client contact	Byron McKie
Field company	Thinkfield
Field company credentials	ISO 20252 (Market, Opinion and Social Research)
Research Methodology	
Data collection method	Telephone survey
Sampling Methodology	
Target population for survey	City of Joondalup residents
Description of sampling frame	Mobile and landline telephone numbers for residents
Source of sampling frame	Purchased list of landline and mobile numbers from Sample Pages. The source of the numbers is telephone numbers of competition entries and warranties.
List checked for duplicate entries	Yes
Was an Access Panel used?	No
Was the sample blended	No
Sampling technique	Quota sample
Brief description of quota procedure	Gender 50/50 male female Under 35: 23.7% 35-54: 35.6% 55 Plus 40.7%
Information source of quotas drawn from	ABS 2021 Census for the City of Joondalup
Planned sample size	800
Were there any problems encountered in sample selection?	No
Sample size achieved	N- 801
Do participants need to be approached again (for a future project)?	No
Fieldwork	
Briefing Method	Via teams with written briefing notes provided
Pilot study date(s)	6th October 2022

Component	Details
Changes made as result of pilot	Q 5 respondents in the pilot gave “no I think you have covered it above” or similar. This should be a No/ DK code. This was debriefed to the interviewers.
Research participant support	FOR TELEPHONE INTERVIEWS The contact details of the project manager were available to participants on request
Screeners, questionnaire and /or discussion guide appended to report	Yes
Incentives for participants	No
Any issues arising in the survey?	No
Survey Procedure for CATI	
Survey dates	7TH October to 24th October 2022
Questionnaire length / administration time	8 minutes
Number of interviewers used	32
Times of day interviews took place	Between 4- 8pm weekdays; 9am – 5pm weekends.
No of call backs before number replaced	Up to 6, at least 3-4 hours apart and at different shift days
Data Collection Outcomes:	
If single mode survey: Probability sample: response rate OR	15%
CATI research participant contact outcomes (note below or delete):	
Interviews	15%
Not available / away for duration of study / answering machine (after call backs)	63%
Refusals	21%
Language/Behavioural Barrier	1%
Intercept survey research participant outcomes (note below or delete):	
Completed survey responses	114
Was a router or similar method used?	No
Overall sampling error	+3.5 %
Validation procedures: Number validated:	At least 10% of all completed interviews validated by Field Company OR Not required as survey was self-completion N-

Component	Details
Number of cases excluded as the result of validation	0
Validity and Reliability Issues including:	
How well the sample fitted the sampling frame	Very well
Methods which may produce bias in participant selection	Intercept interviews were conducted, and there are more 18-24 year old's surveyed than 25-34 year old's, as the younger age group are easier to identify.
Possible sampling errors and how well the sample can generalise to the population	Represented well
Third party data to access any sample bias	ABS Census information provided as a comparison to the demographic sample in the sample profile section
Data Coding, Analysis and Data File Treatment	
Question order bias	None
Data coding	<p>Procedure involves:</p> <p>Review of first 50 questionnaires to develop coding frame based on frequently mentioned responses</p> <p>Additional codes created when more than 2% of the sample record common response</p> <p>Approval of coding sheet by Research Solutions Project Manager</p> <p>Validation of coding has been undertaken of 5% of the coded data.</p>
Consistency checks	<p>Preliminary data file checked by Project Manager using SPSS:</p> <p>Frequency counts</p> <p>Relevant cross tabulations</p> <p>Data outside the range/duplicates or abnormalities investigated with Field Company prior to coding and analysis</p> <p>Responses checked for:</p> <p>Appropriate responses to open ended questions</p> <p>Low probability / fictitious responses</p> <p>Inconsistent responses on batteries</p> <p>High % of don't know or refused questions</p>
Data checked for duplications	Contact details checked name & phone no.
Were any duplications identified?	No

Component	Details
Treatment of missing data	Excluded from analysis and/or noted where relevant Individual cases with excessive missing data excluded from sample
Was sample weighted?	No
Any estimating or imputation procedures used	No
Methods of statistical analysis	Frequency counts Descriptive statistics Cross tabulations See Survey Research Appendix: Data reduction and data modelling techniques
Statistical tests used	See Survey Research Appendix: Statistical tests
Data file provided to client	On request
De-identified data files retained	For five years
This project has been undertaken with compliance with ISO 20252:2019	

APPENDIX 2 - Survey Research Appendix: Statistical Tests

Test:	T-Test
Use:	To determine if the means of a variable in two independent or two dependent samples are significantly different.
Data Assumptions:	Measure being tested is normally distributed within the two samples. Data must be interval or ratio. Variance of measure being tested is roughly similar (homogeneity of variance). Appropriate version of the test chosen for independent or dependent samples.
Test Measure / Cut-off Criterion:	$p < 0.05$ i.e. the difference between two groups has only a 5% probability of occurring by chance alone
Issues to be aware of:	The result should be both statistically significant and clinically or tactically or strategically significant. Be mindful of statistically significant differences where: The sample sizes are very large Scores within the groups are very similar (i.e. the groups have small standard deviations)
Test:	Chi Square (Pearson's chi-square)
Use:	To determine if two variables are related by more than chance alone.
Data Assumptions:	Data is from a random sample. Data must be nominal, ordinal or interval. Sufficiently large sample (absolute minimum $n=30$) & adequate cell sizes ($n=10+$) Observations must be independent. Observations must have the same underlying distribution. Data is unweighted
Test Measure / Cut-off Criterion:	$p < 0.5$

APPENDIX 3 - Technical Appendix – Qualitative Research Project Specifics

Component	Details
Project Management Team	
Research Solutions Contact	Nicky Munro
Client Contact	Byron McKie
Research Technique Used	Qualitative intercept interviews, stakeholder interviews, online discussion board and workshops
Number of moderators	2
Number of interviewers (if applicable)	2
Recruitment –Community Discussion Board	
Field Company for Recruitment	Thinkfield
Field Company Credentials	ISO 20252
Field company briefed in writing	Yes / No
Recruitment method discussion board	Screening questionnaire and telephone follow up
Sample source	Panel and telephone ;
Recruitment target and outcomes	30 participants / 32 participants achieved
Dates	15 – 18 September
Participants screened for eligibility	yes
Number of recruiters used	1
Recruitment validation methods:	Screeener data sighted
Incentive paid	\$130
Recruitment –Stakeholder interviews	
Field Company for Recruitment	N/A
Field Company Credentials	ISO 20252
Field company briefed in writing	N/A
Recruitment method interviews	Direct telephone / email
Sample source	City and referrals
Recruitment target and outcomes	15 individuals targeted / 18 achieved 15 organisations targeted / 13 achieved
Dates	15 – 4 November 2022
Incentive paid	N/A
Recruitment – online Validation workshops	
Field Company for Recruitment	Thinkfield
Field Company Credentials	ISO 20252
Field company briefed in writing	Yes
Recruitment method interviews	Telephone
Sample source	Unengaged (panel) and Engaged (opt-in list)
Recruitment target and outcomes	7 engaged targeted / 7 achieved. 7 unengaged targeted/7 achieved
Participants screened for eligibility	yes
Number of recruiters used	1
Number of participants	14
Recruitment validation methods:	Screeener data sighted
Incentive paid	\$80
Dates	Engaged workshop 5 November 2022 11.30am Unengaged workshop 7 November 2022 6.30pm
Recruitment specifications intercepts	
Target population	Hard -to -reach

Component	Details
Field company used	Ask Australia
Number of participants	50 participants targeted / 53 achieved
Completed interviews	53
Average duration of interview	16 minutes
Participant incentives	N/A
Interview Dates	7 – 12 September 2022
Location/s	City of Joondalup Council facilities
Number of interviewers used	2
Validations	10%
Questionnaire piloted	N/A
Recruitment outcomes	
Any difficulties encountered with recruitment and solutions used	Stakeholder unavailability / correct person not identified; where possible replaced with like organisation operating in the City of Joondalup e.g. disability services
Documentation, materials or products used in the research	
Contact lists / identifiable respondent information destroyed/deleted	Yes / NO / NA Scheduled at project close
Permissions to acknowledge identity of participant	Yes
Permissions to include identified comment	Yes video
Any limitations affecting the validity of the findings	Qualitative research only
All problems identified during project reported and followed up.	None experienced
Documents appended	
Topic guide / interview guide	Yes
Other documents (specify)	Verbatims
This project has been undertaken with compliance with ISO 20252:2019	

Limitations:

It should be noted that the results of this research cannot be projected to the overall population, as the research technique used in this study is purely exploratory and the sample size and selection is not designed to be used in this way.

APPENDIX 4 – Questionnaire



Our ref: 11082

City of Joondalup
BUILDING SUSTAINABLE NEIGHBOURHOODS
Housing Intentions Survey

Introduction

Hello, my name is ... from **Thinkfield** and **Research Solutions**. We are surveying City of Joondalup residents on behalf of the City to gather information in their housing intentions and requirements over the next 10 years.

The State Government has set housing targets for the City of Joondalup to achieve and the City wishes to do this in way that will meet the needs of the community as a whole. The City's population is forecast to grow by almost twenty thousand people over the next 20 years. The State Government has set a target of an additional 22,630 homes to be provided in the City to 2050, with much of it delivered as infill resulting in change for our community and neighbourhoods.

The survey will take 8 minutes to complete. Your comments are entirely confidential and only aggregate results will be provided to the City. Our Privacy policy is available at www.researchsolutions.com.au with details of how to contact our privacy officer Nicky Munro if you would like further information.

Screening Questions:

S1. Do you live in the City of Joondalup? Which suburb?

Yes	1	Record suburb:		
		Beldon	Greenwood	Marmion
		Burns Beach	Heathridge	Mullaloo
		Connolly	Hillarys	Ocean Reef
		Craigie	Iluka	Padbury
		Currumbine	Joondalup	Sorrento
		Duncraig	Kallaroo	Warwick
		Edgewater	Kingsley	Woodvale
			Kinross	
No	2	(THANK AND TERMINATE)		

S2. Are you?

Male	1	
Female	2	
Non-binary	3	
Prefer not to answer	9	

S3. We are looking for a wide cross-section of people. Which of the following age groups are you in? **(READ OUT)**

24 and under	1	
25 - 34	2	
35 - 44	3	
45 - 54	4	
55-64	5	
65-74	6	



Our ref: 11082

75 +	7	
Prefer not to say (do not read out)	8	

Q1. Firstly, what type of housing do you currently live in? (READ OUT):

A single or double storey home with a back yard	1	
A single storey group of semi-detached houses with a small outdoor living area/ courtyard	2	
A group of terraced or townhouses double storey with a courtyard	3	
Low rise apartments of 2 or 3 storeys with a communal garden	4	
Apartment in a block of 4 or more storeys high with a communal garden	5	
Small single level villas or aged care accommodation with a private courtyard	6	
A granny flat or small self-contained unit on a block with an existing home	7	
Other – please specify:	8	

Q2. What type of dwelling do you see best meeting your housing needs in ten years' time. (READ OUT):

A single or double storey home with a back yard	1	
A single storey group of semi-detached houses with a small outdoor living area/ courtyard	2	
A group of terraced or townhouses double storey with a courtyard	3	
Low rise apartments of 2 or 3 storeys with a communal garden	4	
Apartment in a block of 4 or more storeys high with a communal garden	5	
Small single level villas or aged care accommodation with a private courtyard	6	
A granny flat or small self-contained unit on a block with an existing home	7	
Other – please specify:	8	
Don't know	9	Don't read out



Our ref: 11082

Q3 And what is the minimum type of housing you would consider as acceptable looking forward 10 years? (READ OUT):

A single or double storey home with a back yard	1	
A single storey group of semi-detached houses with a small outdoor living area/courtyard	2	
A group of terraced or townhouses double storey with a courtyard	3	
Low rise apartments of 2 or 3 storeys with a communal garden	4	
Apartment in a block of 4 or more storeys high with a communal garden	5	
Small single level villas or aged care accommodation with a private courtyard	6	
A granny flat or small self-contained unit on a block with an existing home	7	
Other – please specify:	8	
Don't know	9	Don't read out

Q4. The extensive consultation conducted by the City has identified a number of potential impacts of an increased population. Which if any of the following impacts is a significant concern to you personally? (Read out each statement and record an answer)
Randomise the order of the statements

	Yes	No	Don't know/undecided
Loss of local area character	1	2	9
Increased noise levels	1	2	9
Increased traffic on suburban roads	1	2	9
Street parking causing congested residential streets	1	2	9
The impact of additional population on available places at local schools and day care centres	1	2	9
The impact of additional population on health and social services	1	2	9
The impact of additional population on Community Facilities	1	2	9
Lack of diversity of housing types to suit all life stages	1	2	9
The social impacts of more people in a smaller space, e.g. crime, anti-social behaviour, and vandalism	1	2	9



Our ref: 11082

The loss of green space and recreational areas	1	2	9
Loss of tree canopy and street trees	1	2	9
Increased building height on adjoining lots leading to overshadowing and loss of privacy	1	2	9
Impact of urban infill on property prices	1	2	9
Environmental footprint / pressure on waterways, flora and fauna / waste management and drainage	1	2	9
Increased density leading to decreased liveability	1	2	9
Housing and rental affordability	1	2	9

Q5 Are there any other issues which you are concerned about not listed above? *Please write in*
 No/DK 1

Q6. Do you: **READ OUT**

Have children under 12 at home	1
Speak a language other than English at home	2
Do you live with a disability or chronic condition, or care for someone who does	3
None of the above	4

Q7. Do you: **READ OUT**

Own your home with a mortgage	1	
Own your home outright	2	
Rent / includes with a group of people	3	
Live at home with parents	4	
Other specify.....	5	

Q8 When was the last time you took part in an online face-to-face survey or consultation for or about the City of Joondalup? (**READ OUT**):

Within the last 2 years	1	
Within the last 5 years	2	
Over 5 years ago/ never	3	



Our ref: 11082

Q9 When was the last time you contacted the person on the City of Joondalup Council elected to represent your ward, about an issue that concerned you? **(READ OUT):**

Within the last 2 years	1	
Within the last 5 years	2	
Over 5 years ago/ never	3	

Q10 Do you live in a Housing Opportunity area?

Yes	1
No	2
Don't know	3

Q11 Have you been negatively affected by housing infill in your area?

Yes	1
No	2

Thank you for your help with the survey. As this is a market research interview, it is carried out in compliance with the Privacy Act and the information provided will be used only for market research purposes. May I just check that your name was:

Name

Phone number

As part of our Quality Control Procedures, someone from our project team may wish to recontact you to ask a couple of questions verifying some of the information we have just collected. Once information processing has been completed, please be assured that your name and contact details will be removed from your responses to this survey. After that time we will no longer be able to identify the responses provided by you.

Thank you for your time. Just to remind you, I'm calling from Thinkfield. If you have any queries you can call Byron McKie from the City of Joondalup on 9400 4100

APPENDIX 5 - Online consultation form verbatims

City of Joondalup Housing Issues consultation with the engaged Confirming the issues	
1	<p>1. Appropriate naming and numbering of all laneways in Sorrento with appropriate street signs. e.g. laneway of Marine Terrace named Little Marine Terrace and houses to be listed as e.g. 16A and not 16. (Since moving in to the area this year, this has caused much confusion with deliveries and post at times. There is no signage for laneways)</p> <p>2. Proactive clearing of weeds, safe use of chemicals, as well as whipper snipping laneways by the City to ensure minimisation of fire, for health and safety reasons particularly in Summer with high temperatures. 3. Back laneways not to be used as dumping grounds for residents with old white goods, containers, etc. Residents should be required to remove their rubbish in laneways 4. The park on Marine Terrace laneway 1 street back from the coast needs a major overhaul. It is not an appealing place to go with grandchildren, the equipment is old, rusty and has no shelter whatsoever ever.</p>
2	<p>1. Energy efficiency of all new housing to be 9 Star. All existing housing to be upgraded to 6 star. 2. Any new housing to have Plan and All Side Elevation Drawings to be supplied to neighbours for approval and online for public comment. 3. City to be liable to ratepayers for deviation from Drawings agreed with neighbours 4. No developments over ground floor that overlook schools or child care facilities 5. All housing to collect all rainwater from its roof to minimum of 120,000 litre tank and plumbed for toilet flushing. 6. All housing to collect solar energy off its roof to minimum of 3 kW system for every bedroom and linked to household storage battery and neighboured battery and ready for EV charging. 7. All housing to be plumbed to stop water running from hot tap until it is at full temperature. 8. All housing to be low VOC 9. All housing to have maintainable gutter line 10. All housing not to plant in ground within 2 m of boundary fencing 11. All housing not to plant potentially significant weed species including Japanese Pepper 12. All housing to have Australian native gardens with controlled under-mulch drip line irrigation 13. All housing to be plumbed to collect all greywater 14. All lawns to be watered with sub-surface greywater drip lines. 15. All housing to be wired with power kill switch so that when activated only the fridge and security stay on. 16. All rooflines to be heat reflective 17. All outdoor speakers to face the house itself to minimise local disturbance 18. Only City approved tree species to be planted in gardens 19. All housing to have shade sail parking for at least 2 cars 20. All blocks (used or vacant) to achieve biannual weed free status at cost of owners 21. All housing to be full passive solar design 22. All rental housing to be maintained as healthy for tenants 23. All rental housing to be fitted with total light and heat block curtains with pelmets for each window End</p>
3	<p>1. Equity: protecting the rights of current residents over and above those of future potential residents and developers and investors. And recognising that most people do not engage with normal City processes. You must ENGAGE, not just consult and in balancing decisions you must favour those who live here NOW over those who may live here one day. 2. Working with existing residents, and being transparent and open, not sneaky and devious as you were in 2012 with Amendment 73. 3. Recognise that infill, the way you want to do it, lot-by-lot, isn't the quick answer you think it is. Better alternatives are to put extra people in regional centres, and redevelop your existing commercial centres so that they are truly mixed use. 4. Stop dreaming that people are going to use public transport if they live in the City of Joondalup. 5. Change all existing commercial coding to mixed use to allow residential there too. 6. Focus your infill efforts in the CBD area around Winton Road and Lakeside, or stop calling yourself a 'City' 7. Make sure the infill you create is happening in the same road, and ideally right next to the properties the Mayor and Councillors live. That way we might get proper engagement from them and some proper planning rules to control development. 8. Don't just rubber stamp developer applications, make sure every development is genuinely an improvement on what was there before: make Joondalup a place we</p>

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	can be proud to call home. We want professional developers who provide quality development that makes an area better than it was before, not ones that are there to make a fast buck. 9. Consider shared housing as just as effective as apartments and units and perhaps incentivise it through rates: get a discount if you have higher occupancy in your house. 10. Fact check your population targets and don't rush to accommodate millions of people who may never arrive. 11. Use proper statistics, I never want to hear the Mayor justify a decision with "everyone I've spoken to...".
4	1. Need to explore other models for renting and/or ownership e.g. ownership by corporate / fund managers whereby tenants are not kicked out when ownership changes. 2. Instead of increasing density, greater use of other localities e.g. building rental properties as part of shopping centre complexes OR light commercial zones 3. Need for less out of pocket \$\$\$ when entering / exiting properties will encourage families to move to smaller homes after children have left home. 4. Less "hype" pressuring people to buy or ditch ownership Cheers
5	1. Off street parking - Most homes have 2 vehicles minimum. Lack of off-street parking adds to traffic hazard issues. This is currently evident in outer suburban areas of Melbourne where lack of storage in NEW BUILDS means owners use their garage for storage and park vehicles in street. 2. Two or more NEW BUILDS on an original block DOES NOT equate to ENVIRONMENTALLY friendly. Infrastructure such as WASTE WATER needs to be upgraded, and lack of physical outdoor space does not allow for enough GREEN SPACE between buildings. Less natural ground around buildings for runoff water, etc. 3. Improved TRANSPORT INFRASTRUCTURE would be preferable to INFILL HOUSING to ensure affordable housing is available in the long term 4. Less outdoor space for CHILDREN to play
6	3 Farne Cl. Warwick In cul de sac that had only 2 houses ..One has been developed with 8 units on it . If the same happens to 3 Farne Cl what plans have been made for increased vehicle traffic ? Also in Hawker Ave what is happening with the increased traffic at the entrance to the train station , near the church? This corner is a real traffic hazard. Has any thought been given to closing the road near the church?
7	A lot of the new houses seem to have really small windows - this is bad for peoples mental health and well being. Large picture book windows are necessary and if overlooking is a problem then a well designed privacy screen can be added. Parking and traffic management has not been adequately addressed in the Sorrento laneway project. There are far more cars on the road, they are driving too fast - especially in the laneways and it is very difficult to drive into the suburb via freeman or Parnell from Marmion avenue heading south. A nasty double accident occurred just last week. Marmion lacks a central hub - a community hall, child health nurse and community garden - these are an essential part of connectiveness in the community. Finally - the MAAC club - a private club? Seriously in this day and age? This needs changing - everyone should be able to access these facilities as they're on crown land.
8	Ability of existing large properties to set up and additional TINY HOME (Secondary home) on their lots to rent out
9	Access for people with pets who need to rent a home for long term residents.

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10	Access to public open spaces, parks, recreational areas and facilities Transportation densities, parking on and off site - road congestion due to onside roadside parking. Conversions of road reserves to 100% hard standings thus removing all vegetation - loss of amenity, heat effects and water off flow to drainage system Front set backs, side set backs Plot ratios not including items which ought to be included when calculating plot ratios R code ratings and the implications Loss of neighbourhood due to over development within a neighbourhood JDAPS not respecting LPPs SDAU not respecting LPPs Centralisation of Structure and Development planning by the centralist State Government CoJ not being proactive with regards to its policies. State Government not respecting decisions/recommendations of the Council regarding planning matters
11	accessibility to green spaces accessibility to public transport preservation of bushland parking
12	Adequate and safe parking a must. With the cost of housing more adults at home and people sharing, there needs to be more parking. It's all well and good saying use public transport, but it's not realistic for shift workers, those that work a long distance. One of the biggest issues in new housing areas is narrow roads and short driveways. Owners, visitors, tradies , emergency services need to be able to park off road on driveways that don't encroach on footpaths. Not driveways that fit a Hyundai Getz. Should be mandatory that all ground level properties have disability access and any multi story building with a lift needs to have disabled access to the lift. To many apartments in Joondalup have steps to the lift , it's a disgrace. I live in a narrow street with large blocks, eventually it will be sold up and subdivided. We have trucks complain about access, posties and visitors. Safety not just money grabbing needs to be considered.
13	Adequate opportunity to express concerns to planning. Emails and phone calls are time efficient for you but discussing situations one to one is sometimes necessary to demonstrate concerns. My quality of life has suffered greatly because of what I consider bullying and not being given the opportunity to explain my concerns.
14	Adequate parking is a must.
15	Adequate street lighting, at the moment it is far too sparse. Delivering underground power promise which will hopefully prevent power outages.
16	Affordability for persons on pensions
17	Affordable Housing for single parents, domestic violence victims, low income housing.
18	Allocated parking in new developments, on street parking availability, removal of established green space being replaced by concrete and brick
19	Allowing massive infill on main roads where schools, sports ovals, shop etc. causes huge extra SPEEDING traffic in what should be a max 50 zone. Quiet suburbs now gone and quality of life impacted.
20	An increase in population also means an increase in the use of our available water supply, so I would like to see some sort of scheme where people are encouraged to install water tanks. Also the schemes that pool electricity for use like they do in India may reduce the demand on current infrastructure.

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21	Anti social behaviour. Inadequate departments to currently deal with Noise, Drugs, Alcohol and other anti-social behaviours. Can only worsen with high-density living. Cannot do infill if you do not have a solution for these problems. Down grading of neighbourhoods, downgrading of housing prices. Poor design and too close living exacerbating social issues. These issues are not even currently managed. No hope of them being managed in the future. Hillarys has a police station which is open from 9am-3:30pm week days only - how on earth can this address anti social behaviour which occurs at night and over weekends. This is why we have constant problems at the Boat Harbour. Crack down in Scarborough and they move along to the next weak spot. There are only 2 noise meters available in the whole of Joondalup - totally inadequate. These are not solutions to problems. Problems should not be created in the first place by increasing density of houses!!
22	Any new builds or infill must not detract or impact on the current living and life style standards of people living in the suburbs. e.g. Current infill/new builds constructed or under construction in Edgewater - where I have lived for 25+ years - have resulted in disfiguring the openness, privacy distance between neighbours, the actual "feel" of Edgewater with properties being constructed boundary to boundary. Surely this is not the outcome the City of Joondalup is working towards for it residents.. very sad day if that is the plan..
23	As long-term residents of Joondalup we have seen many attempts to by the City to engage residents in the process of residential planning. In our experience trust in the process and outcomes has diminished for the following reasons: Sustainability-this is an old-fashioned term developed years ago by some international organization. Sustainability can mean sustaining anything from profits for serial developers in the City or natural ecosystems or maintaining tree planting. Obvious bias and unexplained use of discretion in planning codes. Loss of control of ratepayers' rights to use legitimate processes to object to discretionary developments which severely impact on the liveability and joy of their only home by higher State bodies. This was not always the case. Most people in the City are not opposed to additional housing however trust in the process needs to be restored and the City work for the needs of the residents by using long established planning rules and not imported ideologies to create quiet and pleasant neighbourhoods' .
24	As we have subdivided and built on the rear block recently in Sorrento as our retirement home we feel that the laneways need to be named at the very least. In an emergency it is difficult for any services such as Ambulance, Police and Fire to locate the site. This is a very serious safety issue. Some form of street lighting would also be a serious consideration. As City of Joondalup has developed these rezoned areas they need to ensure that rate payers receive equal quality of access for their rates compared to others.
25	As well as housing Joondalup centre & streets need major development around entertainment for all ages not just in the centre itself the streets around need an uplift bring them alive make them More than 2 years vibrant More than 2 years colourful there's More than 2 years & More than 2 years vacant properties probably due to rents & rates being too high
26	Aside from any houses that have swimming pools or outdoor entertaining areas, there is a lot of land area that is currently wasted/unmaintained at the front and rear of existing properties throughout the city. The City's Housing Opportunity Areas are a good start to rectifying some of the above issues, but they need to be expanded. At a glance on the City's Intramaps, it would appear there are a percentage of properties that will never be, or are not suitable to being redeveloped. It would be an interesting survey of the properties within the Housing Opportunity Areas as to the quantity that are likely to be redeveloped. If they are likely to be redeveloped, what would be their estimated time for redevelopment.
27	Availability of housing should not require 3 units to be squashed onto 1 block.
28	Availability of specific housing. For example family friendly housing

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29	Available open space in City of Joondalup. Ratio of Open Space to housing (not including State owned reserves). Proximity to facilities, transport, employment area.
30	Balance of green spaces/corridors to urban development Increase in traffic with urban sprawl Off street parking with increased number of dwellings Changes will be needed to noise and nuisance regulations (e.g. restrict to use of battery powered mowers etc.)
31	Blatant approvals of commercial premises on R20/40 blocks which are non residential. It's disgusting and shame on CoJ for the approval of Childcare Premises at 1 Kutchero Crescent Joondalup. A child will die if this development goes ahead due to traffic, lack of parking and access. Also this property looks into rear yards of properties in Gairloch Place. We have lost all privacy. Noise will also be 6 days a week which will impact on the 4 nurses (shift workers) who reside in Gairloch Place. Trust CoJ anymore, never ever again.
32	Build of attractive apartment blocks.
33	Building materials and alternative water storage solutions
34	Building Sustainable Neighbourhoods is essential in life today. With very limited undeveloped land available , infill is one answer, This can cause issues that needs to be address prior to commencing project as per the answers given. My preference would be more sustainable neighbourhoods everywhere, especially in relation to down sizing today, there is a need for homes to be clustered for groups, aged, disabled, interests close to medical, shops, transport etc. and school. Solar assisted and correct positioning of home is often not adhered to. Such housing in a neighbourhood is often of an inferior quality with little thoughts for the occupants assuming they all want small rooms and little outdoor area.
35	Can't please everyone but I believe the sentiment online is a concern with over-crowding and retention of tree cover and parking options due to this.
36	Car and visitor spaces
37	Car dependency needs to be addressed in any infill planning. There needs to be More than 2 years traffic calming in suburban streets and a focus on strategies such as safe active streets.
38	Care must be taken to ensure sustainable and liveable consideration is given to each project when assessing infill projects . In the case of infill, the existing property should not be compromised by the addition and the infill. One should not come at the detriment of the other.
39	COJ complete blind spot to understand the negative amenity impacts of your development application approvals. Not to mention your complete inability to monitor and enforce the conditions that you impose.
40	Community electricity hubs should be introduced using solar power and batteries to relieve grid pressures How will existing infrastructure cope e.g. sewerage, water supply etc.
41	Concerned developers are cramming 2 +++ houses on to single blocks without regard. No green space, tiny driveways with no space to drive into. Investors are buying these houses and renting them out. Overflow of cars are parked outside hindering pedestrians and traffic. An example is on Bridgewater Drive. Also.. a case in point... 3 x two level housing crammed in on one block with no concern for surrounding neighbours being overlooked.
42	Consider cohousing options, particularly for seniors wanting to age in place and support one another
43	Consideration also needs to be given to the impact of infill on increased traffic, availability of parking, demand for amenities etc. and the impact of the character / overall design and feel of the suburbs.

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44	Consideration of an aging population already residents and how this will impact the increase in the availability of housing and land
45	consideration of housing that suits multi generational homes
46	Continual maintenance of verges and parks within the city & control of homeless within the city
47	Council must consider the impact on suburbs: 1) the availability of publicly accessible green space i.e. parks! 2) the need for improved/updated infrastructure to ensure residents can live safely and securely. 3) the socio-economic make up/balance of each suburb.
48	Covenants on building materials and colours
49	Diversity of housing is an issue. Infill housing in my area is predominantly still large houses, just on smaller blocks. Infill housing should facilitate housing diversity in terms of size, types and locations. Retention of mature vegetation is very important in established areas. Joondalup does not seem to value existing amenity, developers certainly don't. In order to address urban heat islands and ensure the character of our areas is protected, we must do more to protect trees and/or replace trees.
50	Diversity of housing product
51	Diversity of housing sizes, diversity of ownership types - opportunities to co-own
52	Do these developments still increase the footprint of the City. Less northward development with more roads to be built and serviced it . Rather have more 3 storey developments in older suburbs!!!!
53	Dog beach, constant destruction of protected bush (seriously why did we need a path to Mindarie. Turning down ridiculous over lighting of streets
54	Double-storey houses should not get planning permission for infill. Speed bumps should be in major through roads as twice as many cars speeding through built up suburbs.
55	Each suburb should have a mix of densities. We recently visited Saskatoon in Canada where a range of densities are just a natural part of planning. The higher density areas enable additional amenity to be located locally without being too big or too dominating. I think a similar mix in Joondalup would be a game changer
56	Edgewater has already felt the impact of the so called (falsely) H O A. As long term residence we have seen out once loved welcoming boulevard turned into a dangerous contrived streetscape, noting the so-called new infill street- facade built around the panel lift doors. Nowhere in any of these so called community surveys is there any references to the cost of construction waste to the environment, the environmental impact of the original builds being wasted assets. Worst impact to our family is no longer having a connection to our once chosen place of residence. Victims to the industry of Local Government.. And we question as to why the planners of this satellite city have not been held accountable for their total lack of forward insight planning. Cost going forward the rate payer.eg the trees taken out of existing gardens along with the established canopy. The ratepayer LGA imitative more trees along foot paths, more cars parked upon the foot paths. can go on but fully aware wasting my time.
57	Effects on existing residents
58	Ensuring that existing available blocks are built on in a timely manner and not held onto by investors using as pension scheme. Many of these in Iluka, Ocean Reef and surrounding areas etc. Stop building lots of apartments in urban areas that no-one wants to live in, we have lots of land in Australia no need to pack housing into small areas.
59	Ensuring that planning for infill is done within an urban design context and not on a lot-by-lot basis.

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60	Exploring the possibility of amending the R code pertaining to my property at 6 Smallman Crescent Greenwood.
61	family Continuing to have enough family sized homes.
62	Faster building approval for developments to hit the cities targets
63	<p>Firstly and fundamentally there is no justification or reasonable premise for the idea that Joondalup needs to grow by 20,000 homes. Who decided this is necessary? What is the basis of the figure and why is it deemed to be beneficial? Is it beneficial? What proportion of the population support this? I would suggest that a majority of people do not support this. They certainly did not vote for it. The whole basis of the lifestyle, culture and amenities in Perth and Australia as a whole is largely based, when you think about it, on the weather and a low population density. Infill and battle-axing blocks changes the latter significantly and will only lead to a decline in living standards. It is literally un-Australian. I disagree with it on every possible level. Additional to that it is also immoral. In many suburbs the occupants have spent significant effort and money in order to live there and it is disgraceful that this gets changed against the wishes of the population, on the basis of artificial need and often via the specific direction of an unelected body driven by ideology and quite probably vested interests. The quality of life and very fabric of Australia should not be undermined or eradicated simply to support a giant Ponzi scheme perpetuated by economists, financiers and property developers. The desire for constant population growth is simply a lazy solution to enable the demonstration of apparent economic growth. In reality it's nonsense and simply spreads the available resources and GDP More than 2 years thinly across More than 2 years people. It is no substitute for genuinely advancing the State and its economy by growing new and existing industries and training the existing population in support of those goals. Govt should be protecting us from these fake population growth demands, not promoting it. Finally, while I disagree with the need at all, if there is to be any infill of any sort - including battle-axing existing blocks - then there should be a percentage limit set based on the original layout and design of the area (i.e. incorporating any changes to date and not from this point forward). In order to prevent the potential eventual ruination of a given suburb I would suggest a limit of 10% increase in population density across a given area or suburb based on all land therein be it developed, undeveloped but zoned for use or bushland. This would be in addition to any or all other planning constraints. Thus, for example, if an area had 100 4 bedroom homes on 1/4 acre blocks when first designed then the original population is 400. A 10% increase limit would mean that 10 blocks could be battle-axed creating 10 new homes of 4 additional people each; the 11th person wanting to battle-axe would be prevented. Or, should "spare" land in the area be nominated for a small apartment block, e.g. 10x 2 bed apartments then, subject to ALL other planning constraints being acceptable it would still not be approved if More than 2 years than 5 existing blocks had already been battle-axed. These sort of limits are critical because otherwise its like the frog in slowly boiling water scenario - a few degrees in temperature rise is not noticed by the frog but then before you know it the temp is boiling and the frog is dead. The rule above is simply stated but significant effort would also be required to ensure the regulations cannot be gamed by property developers</p>

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64	<p>Firstly and fundamentally there is no justification or reasonable premise for the idea that Joondalup needs to grow by 20,000 homes. Who decided this is necessary? What is the basis of the figure and why is it deemed to be beneficial? Is it beneficial? What proportion of the population support this? I would suggest that a majority of people do not support this. They certainly did not vote for it. The whole basis of the lifestyle, culture and amenities in Perth and Australia as a whole is largely based, when you think about it, on the weather and a low population density. Infill and battle-axing blocks changes the latter significantly and will only lead to a decline in living standards. It is literally un-Australian. I disagree with it on every possible level. Additional to that it is also immoral. In many suburbs the occupants have spent significant effort and money in order to live there and it is disgraceful that this gets changed against the wishes of the population, on the basis of artificial need and often via the specific direction of an unelected body driven by ideology and quite probably vested interests. The quality of life and very fabric of Australia should not be undermined or eradicated simply to support a giant Ponzi scheme perpetuated by economists, financiers and property developers. The desire for constant population growth is simply a lazy solution to enable the demonstration of apparent economic growth. In reality it's nonsense and simply spreads the available resources and GDP More than 2 years thinly across More than 2 years people. It is no substitute for genuinely advancing the State and its economy by growing new and existing industries and training the existing population in support of those goals. Govt should be protecting us from these fake population growth demands, not promoting it. Finally, while I disagree with the need at all, if there is to be any infill of any sort - including battle-axing existing blocks - then there should be a percentage limit set based on the original layout and design of the area (i.e. incorporating any changes to date and not from this point forward). In order to prevent the potential eventual ruination of a given suburb I would suggest a limit of 10% increase in population density across a given area or suburb based on all land therein be it developed, undeveloped but zoned for use or bushland. This would be in addition to any or all other planning constraints. Thus, for example, if an area had 100 4 bedroom homes on 1/4 acre blocks when first designed then the original population is 400. A 10% increase limit would mean that 10 blocks could be battle-axed creating 10 new homes of 4 additional people each; the 11th person wanting to battle-axe would be prevented. Or, should "spare" land in the area be nominated for a small apartment block, e.g. 10x 2 bed apartments then, subject to ALL other planning constraints being acceptable it would still not be approved if More than 2 years than 5 existing blocks had already been battle-axed. These sort of limits are critical because otherwise its like the frog in slowly boiling water scenario - a few degrees in temperature rise is not noticed by the frog but then before you know it the temp is boiling and the frog is dead. The rule above is simply stated but significant effort would also be required to ensure the regulations cannot be gamed by property developers</p>
65	Give some consideration to the wishes of those who own home within the area.
66	Green spaces Community facilities, already stretched, denser housing means More than 2 years people needing More than 2 years spaces to meet and enjoy sport.
67	Having adequate community facilities - maybe consider shared gardens for growing vegetables and fruit in high-density developments
68	Having recently 'downsized' we found that many of the new residences constructed on infill sites were far to small with virtually no effective 'drying area' or 'recreational area'. Whilst generally in favour of infill we feel that the minimum area required for each residence is too small. The effect of the current planning levels is to bring Perth metro to 3rd world status.
69	Height limits. I think the Art House is about as high as is appropriate to a non capital cbd. More than 2 years buildings to that height are apt for the denser city part of Joondalup but not North of

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	Shenton. Affordable housing is needed and that might need to be More than 2 years innovative than we have had to date. I don't know what form that might be but possibly denser group housing say for older singles. Probably More than 2 years home units are needed but limited to 3 stories as lifts are problematical in affordable housing and care needs to taken not to have them too close to crowd ordinary homes.
70	Height restrictions should be implemented. More than 2 years trees suitable for inner city verges planted. Apartment buildings should be designed with secure undercover parking and a store room each NOT garages as this encourages them to be used for storage and street parking is absolutely a nightmare. Apartments with balconies should be designed to have for e.g. a louvred screen on one side with small clothesline to hide but offer some drying space. No More than 2 years questionable massage parlours or the like who appear to operate any time
71	High-density housing along with a high percentage of rental properties can bring social issues. This also impacts availability of services for residents. Street traffic, suitable availability of public transport. Parking - we have a new townhouse complex on a street near us and there are always cars parked on the verge opposite the complex. Same with a triplex development near by.
72	HOA zoning to R60 in Woodvale. Multistorey developments overlooking peoples backyards. And then these developments not being taken up as rentals and sent through to Dept of Housing.
73	Housing density and infill should be spread throughout suburbs, not clumped around public transport (i.e. the train line). Public transport can be spread to currently low-density areas, if the people exist there who seek to use it. If some suburbs refuse to allow increased density, an increased property tax should be placed on those locations to fund better quality dense housing in less affluent suburbs. Lots crammed with tiny shacks are a blight on the community, but well-designed townhouses, dual urban/retail spacing and small to mid-sized apartment blocks should be encouraged. Incentives for older people or single people with spare bedrooms could be created to encourage rental to students, preventing the creation of low-quality, short-term rentals that inevitably only lower the desirability of an education from the city's tertiary institutions. City of Joondalup could also be innovative in creating housing without the assumed requirement of 1 car parking space per adult occupant, but convenient access to the Joondalup transport hub. Perth's sad dependency on individual, car-based transport will only be tackled with planning and infrastructure, not expecting citizens to endure additional burdens of access on top of the loss of flexibility. Housing options like the above are attractive to numerous demographics, and can make living in dense urban areas something to be enjoyed rather than endured.
74	Housing infill affecting traffic Housing infill affecting school intakes/needs Housing infill affecting need for amenities - shops, ovals, sporting clubs
75	I feel like, so far this survey is set up to give you the answers you want. For example most. No the majority of people don't want their neighbour to build units or a 2 story where the was a single level. So make areas for story, areas for units.
76	I live on a corner block which is 695sqm. It is frustrating that the truncation is not included in the new minimum of 700 Sqm. The property could be divided into 2 very reasonable blocks but yet 5 sqm and I am unable to downsize. Also it is frustrating how far the set backs for building are. Many people can't build a double garage because of unnecessary set back restrictions all for visual amenity but then front yards a littered with cars. Allow people in older parts to build as close to the boundary as areas such as Harbour Rise.

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77	I recognise that I live in an infill area (near Whitfords), and that's fine. My biggest problem with redevelopment right now is footpaths. They are not adequate for the current population and are woefully inadequate for a denser population. Many roads with footpath on only one side, narrow, broken, bumpy, and often with cars parked on it or sand/building materials/prunings dumped and obstructing. Some don't even have actual kerb ramps, e.g. in the Kallaroo infill area. We need MUCH wider, flatter and better paths all throughout the infill area, on both sides of the road.
78	I regret I forgot to mention a matter that does not fit this criteria but needs to be included in the type of housing/ i.e. Retirement village with Adjacent Aged Care Homes. To me it's a tragedy that we are forced into housing infill without any serious thought about what the Aging population, as they become frail, are going to be catered for. I liked the quarry development which included a facility but I have not seen much about that development.. The lack of secure dementia beds available in the northern suburbs forces me to drive 2 hours to Murdoch. The southern suburbs is very well catered for in terms of the growing need for dementia beds.
79	I suggest the City work with State Government and developers to acquire a large tract of a suburb, such as an entire Housing Opportunity Area and then have that entire area developed as higher density. Along the lines we have seen in the East Perth Redevelopment or Subi Centro and others. The current ad hoc approach usually sees single lots subdivided and developed, with little benefit, or actual disadvantage to existing rate payers and owners of neighbouring properties. Current owners and rate payers seem to be forgotten in this infill plan. The owner selling the lot that is subdivided has probably left, the developer has made their money and departed while remaining owners and rate payers deal with the reduced amenity.
80	I think it is important to locate higher density infilling close to train stations. The Transperth bus system is not efficient and leads to people driving via freeway or parking at train stations. This will inevitably result in additional traffic in suburbs away from the station. So either improve Transperth service or no more density. Availability and capacity in public schools also need to be addressed.
81	I would like to see that in family friendly areas i.e. nearby schools and parks, infill of standard property 700 - 800sqm should be restricted to no more than 2 dwellings per lot to allow for more green space and outdoor play areas for kids
82	I've thought for a long time the Perth and I turn CoJ would benefit greatly from family sized apartments, 3-6 story building with three and four bed rooms. Built around entertainment, social and transport hubs. This would reduce transport costs, increase vibrancy, retail and food venter through traffic as people will be living where these are. It will reduce urban sprawl. In fill housing will still keep people away from retail and restaurant hubs as travel to them is the issue. Also our public transport sucks basically one train line and a bus net work that is barely visible. Family apartments within walking distance of major train stations and current shopping/ restaurant hubs and more frequent rail services would be ideal. Like in most major European and American cities
83	If this is genuine then Why are the original planners for this satellite city being held accountable for their total lack of foresight? We as long term residence are already victims of this in fill housing policy. What was once a welcoming avenue Edgewater drive now is nothing other than a contrived obscenity and dangerous. Not forgetting the panel lift door facades of the so called new.
84	impact of housing development on the visual eye within the area and also the increase in crime rates. Woodvale has now become an area targeted by crime and hooning and with redevelopment it is becoming increasingly worse. Also, houses are not being built to accommodate the size and amount of vehicles owned by the property. Vehicles are now being parked on verges at properties leaving it difficult for traffic management and its so unsightly. Keep redevelopment to a minimum. I

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	bought in Woodvale for the sole reason that it was a quiet and slightly neighbourhood and it's been turned into another Innaloo.
85	impact of increased vehicles on suburban streets where infill is happening, including parking options for multiple cars. impact on ground water recovery where more land is built on and less garden is available for drainage back to the aquifer.
86	impact on existing homes. Our older home has been cracked and damaged by construction going on around us. Constant noise as the houses around ours are knocked down and developed. Little respect for existing homeowners with regards to ongoing noise and vibrations, traffic and parking issues caused by workers in streets.
87	impact on the supply of utilities (electrical, sewerage, water pressure etc.). impact on safety relating to increase in vehicle traffic - deterioration on roads, ingress and exit points for suburbs. Noise pollution from increased population density
88	impacts on existing properties due to overlooking, parking, traffic education and infrastructure in general
89	impacts on traffic with the extra housing. Recreation/parks available to cover additional population.
90	Improving quality of infill. No battle-axe blocks as long driveways are a waste of potential green spaces. Subdivision should require skinny blocks that are street front facing. Require subdivision in the suburbs to be more like the medium-density housing around Lake Joondalup. Improving visual appeal of infill. When you compare the medium-density housing around Lake Joondalup to new estates, Joondalup has much greater visual appeal as each home has its own character. There should be similar requirements for the suburbs as a large amount of the new infill housing looks unappealing.
91	In a predominantly single-storey suburb , flats should be exempt . Affordability comes down to 'get a job and pay what you can afford in the nicest suburb' do not devalue suburbs to cater for those that do not strive. If that is the case start in Mosman Park / Nedlands. Pollys not brave enough to do that.
92	In keeping with surrounding houses, increased traffic and parking issues with more vehicles, right choice of infill. Though given to local roads and possible need for emergency vehicle access with increase in vehicles.
93	Increase house height (by 3-6 courses of bricks) to allow heat to rise & disperse to cool without air con. Insist development of land to have a % of mature trees per house numbers in addition to new trees - all natives. Compulsory Gray water & general water tanks. Compulsory double glazing on appropriate facing windows to the heat. Use of building materials that are low energy to make but high thermal quantities. Good luck! & please replace the trees along the freeway, so sad! Don't go the way the way of the City of Stirling. Thanks
94	Increase in traffic, impact on commuting time, density of public transportation, size of shopping centres, etc.
95	Increase the space between properties, i.e. all new buildings need to have a much greater space between buildings and fences. In existing single-storey estates, the building of 2 or more storey houses or units should not be permitted. The building of commercial enterprises, e.g. child care centres should not be placed amongst existing residences.

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96	Increased motor vehicle traffic Insufficient parking for in-fill sites especially those used as rentals Insufficient play/recreational space for young children where parents/carers don't have to leave their residence to keep an eye on them. Especially in-fill areas. Increase in anti-social behaviour through-out the suburb and common use recreational areas
97	increased number of motor vehicles, their usage in and around suburban streets and street parking compounded with fewer trees - air and noise pollution as well as the consideration for the safety of our children playing or riding their bikes/scooters in an around the same suburban areas.
98	Increased street congestion due to infill
99	Increased traffic and lack of street parking on my main road of Barridale Drive. New smaller lot owners plus any visitors can mean up to 3 times the amount of car parking required. On main road there is no room. Devalues the existing Homes. Current facilities E.g. the local shopping centre, fuel stations, childcare and road network already can't handle the extra people.
100	Increasing density - Increased traffic Increased street parking Increased demand on schools and services Increase in antisocial behaviour Increase demand on waste collection services
101	Infill development scheme needs to be city wide not penalise a few areas with multi-storey apartment blocks as previously proposed. Suburbs need to be re-developed as community environments not ad hoc, block by block, at the whim of developers out to make a quick buck with no regard for the legacy. We need some innovation and creative thinking, not More than 2 years of the same.
102	Infill focus should be on more appropriate locations i.e. make Joondalup city more residential like it was meant to be. It has become a retail precinct with little soul. It needs residents and amenities. Some suburbs need large homes for large families. Let Woodvale retain its current character for example, that's why I moved here not to an inner city dense suburb
103	Infill housing must be distributed equally throughout EVERY suburb in Joondalup. Failure to do so will create ghettos. Elite suburbs must share the load.
104	Infill housing policies which allow basically zero setback from lot boundaries, instead of stipulating the % of the lot which can be covered by the property and allowing height, so that there is space for trees, etc.
105	Infill may cause extra cars to be parked on suburban streets if insufficient parking is available on-site. Public transport services and road networks (including shared PSPs) must be cope with increased usage.
106	Infrastructure and amenity surrounding development, the practicality and sustainability of investment and developer's contributions to this.
107	Infrastructure impact of infill housing. Alternate sustainability models that do not include infill housing. I am strongly against infill hosing as I believe they are resolutions based in the past modelled on European cites that are a) different b) have clearly failed as sustainable cities. just have a look at infrastructure and sustainability issues in all European cities today. All Perth suburbs with high infill housing, suffer from higher congestion and suburb temperature is often higher. I believe decentralising the city and downsizing suburbs, more energy options, making houses greener and more insulated. And reducing all waste, including building waste.
108	Innovative ways of providing houses to poorer people and/or homeless such as cooperative living, repurposed buildings, housing associations)

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109	INTERESTING THAT THESE QUESTIONS ARE NOW BEING ASKED AFTER THE HORSE HAS BOLTED. I CAN TAKE YOU TO ALL THE DEVELOPMENTS IN MY AREA AND SHOW YOU HOW EVERY ONE HAS IGNORED ALL THE CONCERNS THAT WE EXPRESSED IN OUR INITIAL DISCUSSIONS SOME FOUR YEARS AGO. WHY CALL THIS A CONSULTATION WHEN NON-SUSTAINABLE NEIGHBOURHOODS HAVE ALREADY BEGUN AND WE HAVE CLEARLY BEEN IGNORED.
110	Is high-density infill appropriate. Should developers really determine what the infill developments should be ? (I.e. building day care centres /in the middle of residential areas without sufficient on site parking rather than on the periphery ?)
111	It is most important that infill homes respect backyards and homes of established homes. I would hate to have a two story house built right up on the fence line shadowing my home. It would cause much stress for me if this were to happen. It's disrespectful
112	It is the responsibility of local government to be pro-active in providing housing for the homeless. Once a person has somewhere to live they can become members of the community. It enables them to seek employment and take care of themselves and in some cases their families. These homes need to be near public transport and places of employment, so the number of homeless in our society begins to decrease, rather than increase.
113	It seems that planning is concentrating on changing existing residential land use while ignoring changing commercial land use to residential. The obvious places to increase residential density is immediately around train stations where high-rise residential buildings could replace commercial land use. For example, at Edgewater Station the commercial land use could be rezoned to residential and high-rise residential blocks be built. Why is commercial land use considered sacrosanct when considering increasing residential density in the City???
114	Joondalup is a good place to live, and quality, affordable housing (and supporting infrastructure) is desperately needed all over Perth. It's safe to say the housing situation is desperate and something needs to be done. Housing infrastructure is care infrastructure, and we don't have the services in Australia so support mass homelessness or an increasing reliance on them. As a citizen born here, I do not see enough being done about secondary and tertiary homelessness specifically (mainly at a national level) to be positive about a future with my family in this country, and I know this area (city of Joondalup) is still much more liveable than others - probably why we have moved so frequently and often ended up here.
115	Lack of an adequate social and affordable housing
116	Lack of downsizing options such as retirement complexes are a concern for us as with most downsizers we would like to stay in the area where family & friends & services are. As far as I know with all of the new developments going on from here to Yanchep there are no plans for retirement housing. Downsizers keep the housing market moving without retirement housing where are we going to go?
117	Location of existing public transport routes. (It is easier to increase housing density than it is to get Transperth to change a bus route.)
118	Location relative to real amenity. Having micro diversity of housing types throughout suburbs so you don't get concentrated area where there are just grouped dwellings and apartments with the consequences being social homogenisation, lack of personal green space and congestion because of cars parked on streets.
119	Loss of green canopy as homes are redeveloped Quality or lack thereof Lack of suitably large homes in which to downsize- not everyone wants a two bed flat Set backs that don't provide space for trees to grow or kids to play Car parking- insufficient for family needs Density being placed in

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	only a small portion of the city Medium-density code changes and the increased impact on areas coded R40+ Planning decisions by DAPs and SAT
120	Lot sizes which would be approved to be subdivided require adequate room for house and outside area
121	Maintaining a good ratio of housing to public parks and facilities
122	Maintaining a good ratio of housing zones to public parks, native bushland and facilities.
123	Maintaining and growing tree canopy and vegetation to sustain the animal and insect populations
124	Maintaining 'sense of place'. Gentrification. Space for rubbish bins. Managing community relationships. Potential increase in noise complaints to rangers. Homelessness trends changing depending on the type of housing made available (e.g. all townhouses, no homes for large families). Sustainable development building policies - mandatory? Loneliness - opportunity for fostering connection and thus community resilience. Investment required in cycleways & e-transport networks. Re-activation of spaces with no/ limited use (e.g. outdoor fitness classes in large carparks on weekends). Activating street fronts Embedding specific Aboriginal history & knowledge & language into all future change.
125	Maintaining the amenity of the existing environment of where people have elected to live and not having a deleterious impact on it
126	Maintenance of existing liveability of our suburb. Stop blanket zoning and application of blanket planning frameworks - suburbs have individual character and liveability. Kallaroo is not the same as Warwick although they are both near to secondary activities centres. Focused smaller pockets of density tailored to the area and considering all issues impacting density and liveability.
127	Major issues not addressed here were infrastructure issues, such as car parking, accessibility, transport services such as bus and train access, traffic loads, character of the surrounding housing, school and child care capacity in the local area, proximity of open spaces and the services available there. Another significant factor with higher density is the impact of more people living closer together with less separation from noise, and being overlooked.
128	Making sure these infill have parking for their own cars so not on street and also that they have trees and green spaces with gardens which is in line with the character of the suburb and the reason we bought here
129	More neighbours as density increases means noise generated by them becomes more of an issue around life quality. Already an issue is barking dogs!
130	More retirement villages please been waiting 8months to get a place and because I haven't sold my house I don't have cash so miss out on getting into Kingsway Court only get in if you have the cash not likely to get one encourage more companies to build
131	Need more large trees throughout suburbs to reduce urban heat. COJ has done a good job starting with the verge trees. More solar power requirements for non residential buildings, especially council / government buildings. Subsidised retrofitting of energy saving options for existing houses. Introduce FOGO bins NOW rather than waiting until deadline of 2025.
132	Need to be close to transport
133	Need to ensure adequate green space - you only need to review outcomes in UK to see social issues that arise with 'concrete jungles'.

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134	Need to stop sub dividing, More than 2 years than enough land to build on. It will lead to overcrowding and high-density suburbs. Build infrastructure to support commute.
135	Neighbour building 3 new houses,[dog boxes] on our fence line which has been approved by council.
136	New housing should be e-friendly; double glazing should be a requirement at least on West and East facing windows. Connectivity to fast internet with increased density needs to be assessed.
137	No More than 2 years than 2 houses per development , this will ensure existing tree canopy and private liveable areas. Also a place for residents to house their cars to ensure safety on the streets of Kallaroo, to many cars and vans parked roadside in Oleander way, very little visibility when negotiating these parked cars, it is dangerous.
138	No to infill housing in established suburbs!!! We do not want it and do not have the infrastructure for low grade buildings that will encourage low living standards. The city of Perth is the perfect location for infill housing developments. They have no place in a liveable city like Joondalup, which is so liveable because it consists of home owners, families and green spaces. Apartments are not in keeping with suburbs and just result in overcrowding and value of land increasing exponentially. This is NOT a good idea at all!
139	Not enough cheap housing choices for rental and sales. 1 & 2 bedroom small, theses could be built on top of shops in suburbs.
140	Not interested in ANY projects/programs or upgrades/assessments/proposals associated in ANY WAY via funding/sponsorship/facilitation with the World Economic Forums 2030 'Smart City' roll out. We will actively campaign against ANY local council or council member initiatives to promote the WEF global agenda to this state.
141	Not only should new housing be built as sustainably as possible, we should be expecting existing dwellings: 1. to have sustainable assessments prior to renting or sale of properties in CoJ (requires education, raises consciousness and expectations for individuals affected and provides leadership within local and state government, WALGA, etc.) 2. where planning permission is required, require refits to be sustainable (requires education, raises consciousness and expectations) We need sustainability information and education readily available so that the above can be accomplished. If part 1 is managed as an optional requirement first but to become compulsory over time, all the mechanics can be gradually developed, and the sustainable assessments database established.
142	Number of large homes to remain match the number of homes with more than two people.
143	Off-street parking. Coping with additional traffic flow. Provision for bicycles and e-scooters, etc. Adequate/upgraded power and water supply to cope with additional demand. Schools and services generally. Smaller shopping and social precincts within walking distance.
144	Old rules said a maximum of 50% of a property could be covered by a building - so the other 50% was "green". Now we allow houses to go to within a metre of the boundary on all sides, and often that metre is paved - so no green space AT ALL. We need to at least double the amount which developers are required to leave as "public parks" in all new development, and any infill needs to address this as well.
145	other Pathways and access to infill sites should be considered highly. Construction approval should only be given where access/parking and walkways are available and clear to the new and existing homes
146	Parking
147	Parking and traffic flow are a major consideration

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148	Parking for cars. Measures to deal with increased traffic. Reduction in trees due to reduction of gardens resulting from infill.
149	Parking for residents and visitors. Local amenities with increase in density. Road access with increased density. Effect on flora and fauna.
150	Parking issues Fencing and privacy issues Loss of vegetation and trees Future degradation of values and suburb liveability Not a mix of families
151	Parking issues with small lots and narrow streets. Loss of mature trees and loss of verges to plant large trees and shrubs to minimise heat traps.
152	Parking on verge as no room to fit cars, especially on corners, very dangerous for drivers, pedestrians & children.
153	PARKING- out quiet cul-de-sac has been turned into a carpark just due to one residential house being turned into two. Now more houses are following suit.
154	Parking, traffic in cul-de-sacs, privacy, noise from adjoining apartments on existing residents, reduction of values of existing properties as a result of high-rise and large unit developments.
155	Passive design is crucial so sustainable design. We need to rethink affordable housing- low income earners, single parents should be afforded the same dignity high income earners have in terms of housing. Space, sustainable materials, lower energy costs are a must.
156	People are the most important aspect. Whilst you say we need 20000 new houses, there is no understanding of how many people this represents. Clearly there is a mixed demographic, details of which has never been published. the concern I have is that the current houses being built are not suitable for families and in fact seem to do little to increase the density of the population, which is the main reason for the infill. There also needs to be a study into downsizing what that really means if one means moving from a detached house to an apartment, it is widely known that the majority of apartments are too small.
157	Pet friendly rentals!
158	Placemaking Opportunities for community engagement and connection Facilitating and encouraging walkable communities Addressing increasing isolation of elderly community members
159	Planting trees - all streets / roads and parks
160	Please, consider the current neighbourhood and do not ignore what the local community are saying. The damage that the council has allowed to occur already through some of the developments it has allowed is significant and a poor reflection on the council and their lack of foresight and consideration of traffic and greenscape, to name a few specifics.
161	Pollution and waste management
162	Pressure on parking needs to be addressed
163	priority to change the zoning in this area so property owners can redevelop on large properties
164	Privacy and noise control
165	Privacy, as subdivisions overlook gardens. Height of buildings.
166	Properties that are unsuitable for sub-division due to the location of the original building, even in zones so identified, need to be weeded out and prevented from having a second premises developed. Sub-division on these types of properties should require demolition of original structure prior to redevelopment.
167	Proportion of rental properties to overall housing should be gradually and regularly increased, to meet social housing needs (inter alia)

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168	Provision of infrastructure e.g. public transport options to support an increase in population
169	Proximity to transport and activity hubs
170	Public transport hubs and future charging infrastructure included within new builds, local amenities, shops, cafes and restaurants to create liveable local areas that don't need car transportation, walk to shops and creating communities and not just housing
171	R Code for the area being considered. Availability of services to allow infill which determines availability of housing (power/water/sewerage)
172	Range of housing options available for rent or purchase (e.g. stand-alone house, duplex, unit, triplex, villa, small houses etc.)
173	Range of housing type to allow for different needs, e.g. apartments, units, small and large houses, block size, etc.
174	Re zone areas currently only allowing 2 blocks to 3 in Kallaroo. 3 streets away you can subdivide you block into 3 blocks. Our section we can only subdivide into 2. Doesn't make sense. Could give pensioners wishing to downsize and provide their own child with a disability with a permanent home. And provide one additional family with a home
175	Ready access to footpaths, shaded spaces and quality parks from the infill housing (partly to compensate for lack of backyards/trees/entertaining and recreating on own smaller lots.
176	Really need to consider banning wood-fired heating in residential areas - even more so with increased density such as infill areas.
177	Reasonable design of housing - a lot of the design being done around Warwick is mediocre and looks to me likely to be demolished and redeveloped in too short a time period - this is not sustainable. Information about the ability of housing - new and old - to remain intact when more extreme weather related to climate change occurs. I'm thinking about roofs staying on, flooding etc. Charging significant extra rates to landowners who keep homes vacant for, say, 3 months or more per annum - it's not fair that there's a housing shortage and many, many people left homeless because of what are likely investment decisions. Housing is not just an investment, it's the right of all of us to have it - we all deserve to have a roof over our heads. Landowners/families who own more than one residence should have an obligation to the community in this regard. This is indeed the case in many nations.
178	Refurbishment and reticulation of parks. We have 15 new higher density dwellings being built or recently built just in our street. Lots more rates being paid but Hillwood Park is still terribly neglected and the playground is barely usable. Families are living on tiny blocks so decent play areas are essential.
179	Restriction of development height limits and density in front of existing housing, especially in coastal areas, due to affects on amenity - overshadowing, parking issues, loss of views in some instances. Noise considerations where density increases - air conditioning services, pool motors etc.
180	Rezoning - suggest rezoning all R20 areas to permit redevelopment and address some of the housing issues.
181	Right now, kangaroos are feeding on verges at night owing to the fact that bush areas continue to be cleared.
182	Security Lighting Transport Inexpensive exercise options Community open space
183	Setbacks
184	shading of solar panels on roof tops

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185	Should a 3-1 ratio be considered for high-density, no building can be More than 2 years than 3 times the height of the property next door
186	Size of block 300 square metres minimum in the whole of Joondalup not just certain areas and apply all present bye laws.
187	So many surveys that are so general in nature while greedy developers destroy people's lives.
188	Social housing should be considered. I have lived in my house for 40 years and two weeks ago was astounded to find a homeless lady had set up camp on my verge. The Ranger said this would be dealt with but it seems no one can help. The City uses a volunteer service who hopefully will call this weekend but if she refuses to go what then. The police can only move her on if she is abusive (which she has been). The verge belongs to the City of Joondalup, and homelessness seems to be a growing problem. This is a problem which needs to be looked at.
189	Solar efficiency of dwellings Car parking off the street for the inevitable increase in vehicles
190	Stopping developers who discard the liveability of existing residents.
191	Strongly against the infill program in Kallaroo. All the trees being removed, no place for kids to play and the area is becoming a HUGE heat sink. Two story overlooking the next house and your privacy removed.
192	Suitability of existing infrastructure for newly infilled areas. Off road parking for residents of infilled areas. Availability of varied quality public space in infilled areas to make up for reduced usable private space. Preservation of natural bush land areas with pathways within future residential developments.
193	Suitability of residential properties for ageing in place
194	Suitable and adequate park and facilities for kids to use. Adequate bushland to ensure sustainability of the environment.
195	Supply of affordable RETIREMENT RENTAL properties (e.g. National Rental Affordability Scheme) as opposed to Lease for Life.
196	Supply of utilities particularly water supply and impact on water pressure. Safe inflow and outflow of vehicles to the suburbs; safe road junctions to take into account additional vehicles.
197	Supply vs demand in all aspects (renting, 1st home, investments and owners)
198	Sustain green character of suburb and protect natural bushland
199	Sustainability: use of ethically sourced products and consistency when using builders etc.
200	Sustainable water solutions - encouragement of native plants, rain tanks, retic solutions
201	The clearing of green area's.
202	The accuracy of forecast on population is questionable.
203	The amount of people seeking rental accommodation Pricing of rental options
204	The appearances of new buildings clashing with the older ones
205	The building of houses on the coast at Ocean Reef. 1000 plus houses in the dunes is not in keeping with current science on climate change and coastal erosion.
206	The building permit team will need to work their hours to get this done and act reasonably. They won't be able to leave work by 3.30pm and complain about being too busy. We tried to build within COJ and were completely stuffed around by Byron McKie which meant we NEVER got to finish. I doubt any other person will ever want to go thru this so the team will need to improve.

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207	The city has unresolved fencing issues with regard to infill. There are also issues with room for parking for visitors where two or three properties are constructed on one block.
208	The City of Joondalup needs to give road layouts some serious consideration, rather than just fitting them in wherever there is space. For instance, Kinross has only one road in or out. That road leads onto a main road which is always busy. If there was need for evacuation (bush fire for example), many would be unable to get out. We have seen the impact of people trying to go to work before the freeway extension to Clarkson. As people leaving for work is staggered, yet there was still an issue with the traffic, in the case of a bush fire and evacuation, where everyone is trying to leave, we can clearly see that we would just have to burn as there is no other exit. Road placement is a vital part of planning!! Sound pollution is also a consideration. For example, in Kinross, we not only have to put up with the traffic noise from the freeway and Burns Beach Road, but we also have the train which is incredibly noisy. There has been no consideration to the impact this has on the residents of Kinross. There is also the impact of the traffic noise for those of us who live on or close to the main entrance/exit roads. While I have used Kinross as an example (because the planning for this suburb is appalling, and that is being kind), it applies to all suburbs and I'm surprised roads and noise impact on housing has not been mentioned in this questionnaire.
209	The current infill policies will not deliver the required outcomes, turning each activity centre into a mini cbd is impractical. A fundamental rethink is required. The free market is not the solution.
210	The development which has the least environmental impact should be the top consideration I.e. Clearing for development vs infill development
211	-The failure of the City and WAPC to supply what residents want to see happen in their neighbourhoods. -The importance of market forces rather than interventionism. -The tail is wagging the dog.

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212	<p>The impact of housing on the growth of the city is in different aspects, however it needs more planning in advance. Actually, City of Joondalup has a great potential for growth and providing various services to the community. It has many coastal suburbs which are on demand for housing, entertainment, sports activities and facilities, tourist and hospitality, and so on. Other suburbs are in neighbourhoods of these coastal suburbs which will have access to those facilities. The city centre has great educational environment as ECU, TAFE, Police Academy, Joondalup hospital, lakeside shopping centre, train and bus public transport, HBF Arena, great schools, government offices and public library which are all provide great work, entertainment, education, retail opportunities for residents as well as great liveability and affordability. But, it needs great planning in advance for population growth and housing development. Actually, the potential exists but the best use of this potential needs more planning to prevent any kind of damage to the city and its surrounding suburbs. With the consideration of sustainability matters, environmental issues, climate change and limited resources, it is reasonably important to have the best use of housing space rather than more new construction and house building. Many houses in this city are big enough, however due to decrease in the family members for new generations, these houses can be used for 2 families(parents and children who become adults later). Just small renovations and changes in the houses floor plans can make them really Affordable for 2 families to live. City council can help families to think about these changes instead of constructing new houses which are very expensive these days and can prevent negative effects of unnecessary construction activities which have negative effects on the environment, climate change and producing waste. So, the other way for providing affordable housing for people in the city is providing the opportunity for residents to make the best use of their house space by changing them to two houses to provide an affordable housing for their children in the future on that land and existing area instead of a new construction. By this way even the problem of lack of housing in the city will be solved easily and cost effectively. While, Opportunity for providing a rental housing will be provided for the owner to help new migrants and other people who have to rent.</p>
213	<p>The issue around availability must consider the market i.e. new home owners, down sizers and rentals all of which will be s determined by VALUE for money that involves quality of build, location and residential amenity. The issue that has to be avoid is developing pockets of social , environmental and financial disparity.... not considering these attributes will result in huge future cost implications.</p>
214	<p>The local planning scheme lists Childcare centres as a "D" use in the residential area. In the past two years there have been many childcare developments approved by the DAP which have been non-compliant with the City's Childcare Premises Local Planning policy. This has resulted in very large two storey industrial scale developments being sited in the residential area affecting amenity. Residents around these centres have to deal with a new neighbour with 80+ children , increased traffic and noise. These centres should be in the preferred commercial , mixed use areas as per the local planning policy. Increasing density with higher population may result in a need for More than 2 years centres but there should a way to restrict their location via the Local Planning Scheme so developers have to comply and the DAP cant over-rule. The amenity of the residential R20 in particular should be protected from such large scale commercial development. Housing opportunity areas in the residential zone would be a better location for such centres as development is expected in these areas.</p>

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215	The mental health of all involved. Firstly the residence in the adjoining blocks. How these will change their lives as in increased traffic, intrusion to their privacy, noise issues. Secondly the residence of these new developments in the animosity towards them from disgruntled neighbours. Why not allow all blocks in any suburb above a certain size be sub divided into duplexes. No More than 2 years dog boxes and unfairly targeting certain pockets for this ridiculous over development which isn't in keeping with the feel of the area.
216	The necessary infill needs to be shared equally by all suburbs of Joondalup. "Appropriateness" of infill must include the look and feel of the suburb, immediate neighbourhood and surrounding area. No assumption to be made that residents living near a train station will not need a car. Most WA residents need a car. Parking space must be provided for within the parcel of land being developed. Street parking must not be the parking option for new homes. Consideration to the impact of shared housing must be given. Increased traffic, parking, and noise is already a problem in some suburbs. The preservation of trees is vital in all cases. The management of asbestos during demolition must be more carefully monitored. Facilities and infrastructure to support the influx of people must be carefully managed so that they do not result in heat islands. Public open space and parks must not be reduced to accommodate infill needs.
217	The only problem with living in this part of Burns Beach is that None of the Telco's provide adequate telephone connections, they advise improving the NBN? which is questionable but telephone connectivity is very poor despite we still pay the price for the inadequate service. Albeit Not the City of Joondalup's fault.
218	The opportunity to re-zone properties to allow subdivision of larger blocks so housing can be More than 2 years affordable due to the availability of land close to amenities, job and education opportunities.
219	The rezoning of South Padbury property is inconsistent between Warburton Ave and Hepburn Ave. There are properties, multi-use/mix-use, commercial use, schools, 20, r40. Padbury is looking a bit messy. Why not make housing restrictions consistent. Why is a strip of homes running along one side of Newcombe Park subdividable and the other not subdividable (only 500m strip) up to the school????
220	The topography of the suburb of Woodvale. Traffic studies as the suburb has basically one road in and out. The erosion of amenity of nice wide streets and a feeling of space. The capacity of the shopping centre size, parking bays and number of disabled bays. The 2 main shopping centres need a major overhaul as they are just tired. Need alfresco type dining with car park redesign. Maybe shop corner type delicatessen in local parks. Electric car charging facilities at home and elsewhere.
221	There are too many singles and couples taking up family sized homes. We no longer live in multigenerational homes and this is showing, by way of the shortage of properties (rental and to buy) for families, as many elderly people are not leaving their family homes, particularly now as we are living longer.
222	There is a direct correlation between infill development and street parking - over the last decade this has escalated in suburban streets and is both unsightly (changes the character and amenity of an area) as well as contributing to increased accident hazard as the result of poor visibility when egressing driveways. Infill developments often share a single driveway, and given that most dwellings have at least 3 vehicles each, this results in More than 2 years entry and exit manoeuvres in the roadway increasing the likelihood of accidents.

City of Joondalup Housing Issues consultation with the engaged Confirming the issues	
223	To counter balance infill housing the city should plant more trees. Lots more trees. As a result of infill housing single house blocks with gardens are being replaced with as many houses as can legally fit on a block. Gardens and trees are being cut down to accommodate as many house will fit. The only remaining space is the city owned front verge. The city should plant one native tree per house on the verge. The trees should be diverse to replicate what used to grow in the Perth area.
224	Too many houses per block is just pure greed.
225	Traffic impacts and safety due to excessive infill Ensure zoning regulations maintained "Unlisted use" is open to abuse and could create a dangerous precedent
226	Traffic is a key concern of most people and will be a consequence of a growing population and therefore needs to be planned and managed. Just increasing housing without taking into account increased traffic is a recipe for disaster as some areas can be infilled whilst others cannot.
227	Traffic issues e.g. increased traffic in local roads Increased parking impact School enrolments Access to medical services e.g. GPS, allied health
228	Traffic management for increased cars parking on the street. I would love a small bus service to take commuters to the Train. Reducing car parking on the street. My neighbours are subdividing their big block with so little outdoor space. They ask planning commission and we're granted an exemption. I live in a cul-de-sac. I am fed up with not being able to safely reverse from my driveway. Due to the increased verge parking.
229	Traffic management on major roads, public transport, parking, public open space, noise sensitive design, local employment (commercial and industrial areas), elderly accommodation, maintain biodiversity, tree retention, water sensitive design
230	Traffic management, waste management
231	Trees on adjoining properties shading solar panels and asbestos fencing deteriorating.
232	Turn the Winton Road light industrial area into a townhouse, apartment style world class residential area. Many businesses, community groups could be integrated into the plan and compensation could be provided to others in the form of investment properties in the area etc. You could house 1000s of people in a world class mini suburb close to all the facilities of Joondalup supporting our local area.
233	Upkeep of roads , footpaths, development when properties are subdivided
234	Urban heat islands and tree canopies in relation to climate change. We need to try and create cooler shadier streets and suburbs as the summers become hotter to reduce the negative impacts of climate change on health.
235	Use of verges in housing, not just paved, but planted with natives and trees. Housing built with ample parking as most homes have at least 2 cars. Green homes, using battery and solar design and tech to limit energy usage. Sustainable living and gardening. Allowing for planting of food and small number of chooks, ducks etc. food shortages are going to be a major global problem in the next 20+ years so we need to plan for it now. Not just in larger rural properties
236	Using housing to support businesses/commercial areas. Using housing to support public transport use. Ensuring housing has easy access to high quality parks and that development helps pay for those upgrades (to parks and paths).
237	Vehicle pollution: emission, noise especially motorbikes, accidents delay time.
238	Walkability and tree cover to provide shade on walking paths. Weed control in ALL the City's parks
239	Water usage and consumption Refuse disposal Community gardens and community spaces Parking

City of Joondalup Housing Issues consultation with the engaged Confirming the issues	
240	We should have rules of how homes look from outside to avoid the present low quality low cost appearance and we need to have control over building quality to a standard that offer security and sound proofing (rate hinges and doors and walls and require that these standards are met and have a final inspection of finished homes to make sure that meet what has been approved.....not all homes can have corrugated roofs.....
241	We don't want any more than 2 years subdividing, every time a large block is subdivided we loose tree's the yards become smaller , the is no were for our kids to play , at night so kids roam the streets . when we were kids we had big back yard and front to play we never wondered the street , with subdividing the blocks are so small you cant swing a cat in the back yard or front , during covid lockdown many couple broke up because they were choked from the tiny house on a tiny block no were to go , were I have a large block we were able to go into our back yard with plenty of room etc. . also with the subdividing in our area your now getting 2 land rate for the one before , we have seen no improvements in our area I even go down the street and plant tree for a sound break when Marion and Hepburn roads intersection was developed a lot of old growth tree were cut down our sound break was gone the council planted some and I mean just some small plants not trees which will do nothing no thanks to subdividing
242	We don't want to happen Nollamara and Victoria Park - Too many subdivisions of land and too many housing units. Ugly and put stain on services i.e.. gas, water and sewerage.
243	We feel the in-fill density is too great, creating a cramped and overcrowded neighbourhood with too many cars occupying verges to adjoining properties, spread along roadways blocking vehicle sightlines and blocking footpaths. We believe this will not be conducive to a sustainable, happy future for residents. This will also impact property values and returns on investment, dragging prices down in a neighbourhood with a lack of space, landscaping and privacy. The great thing about this area is indeed the space, area of landscaping and greenery and we are seeing this reduce daily. We understand the City needs to increase housing but implore you to please consider reducing the density to only 2 properties per 600-700m2 blocks. This will function to increase housing but retain landscaping areas, reduce vehicle density and result in a much more healthy and sustainable future for all.
244	We have a new single-storey house being built next door - which has not only affected our general amenity and privacy due to the new set back provisions, closeness to our property and noise - but the significant glare coming off the colour bond roof at times during the day is also a discomfort to us. Rubbish from the construction site and placement of the rubbish cage has also been a problem, which I have reported to the builder.
245	We recognise the reason for infill and that the City needs to grow and accommodate its current and future residents needs. The most important is that density is done in context and with quality design. Some of which has been created to date in Housing Opportunity Areas, is by 'backyard' investors, who have no care for the legacy of built form that they leave. Greater scrutiny to improvement of the built form landscape needs to be paramount.
246	What the COJ should do for residents : turn off street lights in suburban areas after midnight : become involved in suburban batteries :especially in less affluent areas to grow fruit trees in local parks : allow people in infill areas to have community gardens, people on government benefits need to be able to have access to fresh fruit and vegetables
247	When there is infill it directly impacts existing houses with additional traffic etc. and no benefit. Simple changes such as making the developer underground overhead connections on adjacent properties would provide benefits.

City of Joondalup Housing Issues consultation with the engaged Confirming the issues	
248	Why do we need an extra 20,000 houses? Obviously the shire would like more infill as it gets more rates for very limited cost as it doesn't have to provide major infrastructure support. Personally I think we need to expand Perth metro rather than increasing urban heat by infill, but CoJ would not agree as it wouldn't benefit
249	With infill houses one of the problems is parking, one parking space per building is not enough then you get cars parking on the roads causing problems for other road users and danger for children crossing the roads.
250	With the availability of new housing there should be accountability by all owners to maintain properties/gardens to a required standard. This should include weed control by residents and developers. In older suburbs such as Greenwood there are many eyesores due in part to being rentals. So many small parks dry out in summer and are poorly maintained by council.
251	Within the City there is already affordability of houses and supply of housing to down size. Key is looking at the decisions being made for infill and not just targeting suburbs and deeming they can have major infill with older houses or larger blocks being knocked down and multiple units/houses built on the same block. This is just the easy solution without considering what people want to actually see in their current suburbs and the impact on trees/landscape. Use Canberra the most planned city as an example, they have built specific suburbs with high-density living, apartments and appropriate transport, entertainment and restaurant areas. People who want to live in that environment buy or rent in that area. What is currently happening within the community is poor design just to tick off meeting the 30% infill targets. Some of the properties being put on parcels of land look like boxed dog boxes and all the trees needed for birds are being lost. We do not want to create suburbs that look like the suburbs of Innaloo, Balga etc. full of high-density units.
252	You should turn the Winton Road commercial district into a world class residential apartment style area. You could probably fit thousands of quality apartments with greenery in there on a staged development and move the businesses gradually out. Many of the businesses could also be implemented in the design, or see other business or investment opportunities.
253	zoning boundary flexibility

APPENDIX 6 – Intercept Interviews Questions

Job No: 11082

Location No _____

Building Sustainable Neighbourhoods Consultation
Intercept interviews with hard to reach

Introduction

Hello, my name is ... from **Market Research Australia**. We are gathering opinion from people about housing issues in the City of Joondalup and are especially interested in talking to people who don't often give their views.

This is the first of several opportunities for the community to be involved in the *Building Sustainable Neighbourhoods project*, a review of the City's local planning strategy. The challenge for the City of Joondalup is to meet the housing targets set by the State Government in a way that meets the needs of the community as a whole.

The City's population is forecast to grow by almost twenty thousand people over the next 20 years. The State Government has set a target of an additional 22,630 homes to be provided in the City to 2050, with 20,670 of these delivered as infill (medium and high density). This will result in change for our community and neighbourhoods.

Building sustainable neighbourhoods will make recommendations for how the City's planning framework can best meet the City's future housing needs and State Government dwelling targets, including:

- where different housing types and densities should be located across the City, and
- the types of policy required to manage the form, sustainability, and liveability of future residential development.

We would like to reach people who live in the City of Joondalup and don't often give their views.

Screening Questions

S1. Do you live in the City of Joondalup? Show map with suburbs marked and record suburb:

	Yes	1	Record suburb:		
			Beldon	Greenwood	Marmion
			Burns Beach	Heathridge	Mullaloo
			Connolly	Hillarys	Ocean Reef
			Craigie	Iluka	Padbury
			Currambine	Joondalup	Sorrento
			Duncraig	Kallaroo	Warwick
			Edgewater	Kingsley	Woodvale
				Kinross	
	No		2	Thank and terminate	

Job No: 11082

- S2. When was the last time you took part in an online or face to face survey or consultation for or about the City of Joondalup, or contacting the City or your Elected Member about an issue of concern to you?

Less than two years ago	1	Thank, terminate and give a postcard re the consultation page
More than two years ago / Never or Don't know	2	Continue

- S3. We are looking for a wide cross-section of people. May I ask in which of the following age groups you are? (read out)

30 or under	1	
31 - 45	2	
46 - 63	3	
64 - 74	4	
75 plus	5	
Prefer not to say	6	

- S4. Do you:

Have children under 12 at home?	1	
Speak a language other than English at home?	2	
Do you live with a disability or chronic condition, or care for someone who does	3	
None of the above		If none plus not under 30 or a senior (64 years +). Thank and give a postcard to re the consultation page

Interview Questions

The ambition for the City is to offer a high quality of life to all residents.

- Q1.** Thinking about yourself personally, or other people like you, what are the three main challenges people face in meeting their housing needs in Joondalup over the next three to five years? (*Probe fully*)

Job No: 11082

Q2. With the majority of new dwellings to be delivered as medium and high-density infill, how would you like to see housing in the City of Joondalup develop over the next ten years. *(Probe fully e.g. what type of housing, where)*

Q3. An increased number of people and dwellings will bring change. What do you feel are the most important issues for the City of Joondalup to manage to make sure it delivers great liveability outcomes for all its residents? *(Probe fully)*

Q4. Do you:

Own your home with a mortgage	1	
Own your home outright	2	
Rent	3	
Live at home with parents	4	
Other specify.....	5	

Q5. Are you:

Male	1	
Female	2	
Other (e.g. non-binary)	3	

APPENDIX 7 – Intercept Interviews – Housing Issues – Verbatim comments

Q1. Thinking about yourself personally, or other people like you, what are the three main challenges people face in meeting their housing needs in Joondalup over the next three to five years? (Probe fully)

	Issue 1	Issue 2	Issue 3
1	Housing affordability.	Accessibility to train station and freeway.	Smallness of properties means less recreational space for children and public.
2	Increased rent and mortgage.	Lack of housing due to population increase.	DK
3	Availability of housing.	Affordability of housing/ rent and mortgage.	Location - forced to live further out or in another city/ not having the accommodation one needs esp. for elderly and disabled.
4	Housing affordability.	Availability of rental housing.	Housing location/ particularly rental properties.
5	Cost of housing.	Availability of housing - rental and to buy.	Housing location: too far out or not in appropriate location near shops and educational services.
6	Finding a rental property.	Too many subdivisions/ housing too cramped.	Enough community services and facilities.
7	Availability of housing.	Cost of housing.	Places to go for people escaping domestic violence.
8	Paying rates which increases a lot each year	Smaller, more affordable housing for smaller families.	Availability in the location you need to be in.
9	Finding a home in a location you want	Finding suitable housing for an old person e.g. lack of stairs and disability features	Accessibility to transport.
10	Affordable small housing.	Availability of in-home care - the ability to stay independent.	Ownership of a large property and its upkeep.
11	Housing affordability.	Housing location: need to be close to shops and public transport.	Housing availability.
12	Housing affordability.	Housing location - proximity to jobs and education.	Variety of housing density/ medium and high-density more accessible to poor young people.
13	Housing affordability.	Managing adequate infrastructure to keep up with population volume increase/ e.g. parking.	DK
14	Housing affordability.	Housing affordability/ the ones that are affordable are usually run-down.	Rent too expensive.
15	Adequate comfort and amenities/ cost of living/ the	Housing affordability.	Transport needs: e.g. to move out I need to sell my car.

Q1. Thinking about yourself personally, or other people like you, what are the three main challenges people face in meeting their housing needs in Joondalup over the next three to five years? (Probe fully)

	Issue 1	Issue 2	Issue 3
	need to share house with strangers.		
16	Housing affordability.	Housing affordability.	Housing location - may not be where you want it.
17	Preservation of green areas e.g. parks and bushland.	Increased traffic density.	Sustainable development/ make sure houses are built with sustainable materials/ low impact to native flora e.g. don't pave over large areas esp. in the case of parking spaces.
18	Housing affordability.	Access to community and recreation services for young people - they need somewhere to hang out.	Flexibility of housing format and structure/ house to land ratio important/ distance of building to the verge and how high the building will be.
19	Housing affordability.	Need for more space for bigger families/ housing appropriateness.	Housing availability in specific areas.
20	Enough parking: for residents and at the libraries.	Housing affordability/ prices will rise in Joondalup because they are close to amenities.	Enough parks and recreation areas/ need more open space to alleviate the built-up suburbs.
21	Housing affordability/ rent and house prices increase rapidly.	Housing availability / especially for renting.	DK
22	Housing affordability.	Enough parking and free parking for residents.	Don't have too many high-density homes squeezed in with residential single story housing - leads to higher crime rate.
23	Cost of buying a house, having to choose another area to get a home in your price range, for a family, with a backyard.	Rental prices are very high, not much stock suitable for families	Suitable quality schools for children.
24	Cost to buy or rent that accommodates family needs.	A backyard for children is hard to find and high/medium-density will remove more of this option.	There are a lot of houses but a high demand and a lot of competition in the housing market.
25	Cost to buy or rent.	Finding a decent 4x2; house stock is 3x1	Getting a place in schools as they're always full
26	Price is now over 1 million in my area, people can't afford to buy	Cannot afford rental prices - \$800 p/w for a 4 bedroom.	Parking and shopping is just okay - with more people it would create problems.
27	Affordability	Availability of appropriate housing	More open spaces is important to our family.

Q1. Thinking about yourself personally, or other people like you, what are the three main challenges people face in meeting their housing needs in Joondalup over the next three to five years? (Probe fully)

	Issue 1	Issue 2	Issue 3
28	To build a home takes a long time at the moment.	Buying an existing home is very expensive and rooms are quite small	Access to train station at Woodvale means not safe to walk.
29	Accessibility to rent or buy - demand and cost is high.	Housing stock in age and size means homes need renovating and that is difficult to do.	You end up moving further out to get a family home.
30	Housing availability to rent and buy.	Price of housing	Need more family homes rather than apartments or smaller homes.
31	Affordability	Immigration into area	Employment in general to attract people.
32	Not a lot of new housing stock, need more blocks of land	Housing needs investment in renovation to have enough rooms and living space	More apartments for young people and retirees.
33	Cost of buying a house.	Not enough properties available	Suitability of properties.
34	Price point to buy in.	Supply is lower than the demand	DK
35	Public transportation.	Traffic on roads	Adequate schools.
36	Housing market, properties are too expensive.	Schools with enough space	Road traffic
37	Prices of rentals and buying property.	Demand is high for rental properties	DK
38	Size of the land where subdivision is smaller	Price of houses are high including the deposits for first home buyers	Parking and shopping problems as the population grows.
39	Affordability of houses	Not a lot of stock being changed over	Not many rental properties.
40	Finding the right house at the price.	Location and amenities you need.	Access to freeway, to shopping centre.
41	High prices in rentals, and property buying.	Small units and houses not suited for families.	Not enough public transport
42	Right price for owning or renting houses	Housing close to employment.	Housing close to schools
43	Urban space causes great problems with access to employment.	Not enough play area on properties for basketball hoops and activities, you end up having to go to a gym or rec. facility.	Prices to buy or rent.
44	My grandson cannot live with me as there are no places for children with disabilities.	Not easy to rent a suitable-size house.	Costs more to rent and buy.
45	Cost and size for buyers	Choice of homes in my area.	DK

Q1. Thinking about yourself personally, or other people like you, what are the three main challenges people face in meeting their housing needs in Joondalup over the next three to five years? (Probe fully)

	Issue 1	Issue 2	Issue 3
46	Cost, and very competitive.	Hard to find affordable housing for larger families.	Homes with reasonable sized blocks with a backyard for kids to play in.
47	Cost of buying and renting are high and increasing.	Cost of property rates and living.	Hard for families to get a big enough home.
48	Affordable compared to the city but still expensive.	More hospitals and Joondalup emergency department is bad.	Hard to rent - too expensive and not enough houses.
49	Climate change which drives all types of economic shifts.	Cost of housing including Interest rates.	Rental vacancy and affordability, lack of social housing.
50	Affordable housing: too expensive to buy or rent.	Lots of old 3x1 houses not suitable for families and can't afford to buy or renovate to a larger size.	Not enough cheap housing to rent so people are becoming homeless.
51	Price of property	How far from the city.	Activities suitable for children
52	Not enough housing available for renters.	People will leave the area to get what they want.	People can become homeless if price continues to increase.
53	Finding a house to buy or rent	Childcare places with availability.	Not enough public transport so you must have a vehicle to drive.

APPENDIX 8– Community Discussion Board Framework

Online community discussion board framework. CoJ Part B: Housing Issues

Activity Group	Task Name	Description
<p>Welcome to the Building Sustainable Neighbourhoods Board</p>	<p>Welcome!</p>	<p>Hello and welcome to the Building Sustainable Neighbourhoods discussion group!</p> <p>The purpose of the discussion is to develop a good understanding of contemporary needs and attitudes towards housing in the City of Joondalup. What kinds of housing do people need and want, and what kind of neighbourhoods do they want to live in?</p> <p>Over the next several days, we need to discuss:</p> <p>People's concerns and aspirations regarding their own housing needs (what are the issues people are facing), Thoughts about the form and location of new dwellings in the City of Joondalup, and Ideas about the elements of great neighbourhoods.</p> <p>Your contributions will provide contextual information for the City's decision-makers and planners, and help us design a relevant, useful survey. We'll take the issues raised in this discussion and measure them in a representative community survey.</p> <p>Each day we'll have a few activities and a new discussion topic. Although you'll be able to complete the activities at any time of the day, John Bourne and I will be around each evening from about 7 to 9pm and we'd love to chat.</p> <p>On Day One you'll see (among other things) the MiniDoc task: it's where we've asked you to get creative over the next day or two and produce a one or two-minute documentary about liveability. (The instructions are under the MiniDoc activity)</p> <p>We're asking for narrated video because it is such a powerful way to communicate: hearing a message directly from residents' mouths will always leave a stronger impression than filtering it through the researcher.</p> <p>So -thank you again! John and I encourage you to read and consider other people's responses and look forward to talking with your ourselves.</p> <p>Cheers</p> <p>Linda Bradley & John Bourne</p>

Activity Group	Task Name	Description
Your current & future housing needs	Current housing	Which of the following best describes your current type of housing?
Your current & future housing needs	Your future housing needs	Thinking forward 10 years from now, which of the following housing types do you think would most likely best meet your future housing needs?
Your current & future housing needs	Main housing need challenges	Thinking about yourself, or other people like you, what are the three main challenges people face in meeting their housing needs in the City of Joondalup now and over the next ten years? (please specify below)
Great places to live	Attributes of great places to live	Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live? (You may provide your response in a list/point-form below) You can also upload photos/images of things that make neighbourhoods great places.
Great places to live	Detractors of great places	Okay, in your opinion, what things detract from making neighbourhoods great places to live? (You may provide your response in a list/point-form below) You can also upload photos/images of things that don't make neighbourhoods great places.
Great places to live	MiniDoc Activity	MiniDoc Activity Unleash your inner director! Over the next day or two, using your mobile phone, we'd like you to make a short video (about two minutes in length) of the things that make neighbourhoods great places to live and the things that detract from making neighbourhoods great. In making your video, please tell us (using your voice) why each of the things helps and/or detracts from making neighbourhoods great places to live. We'll get you to upload your video on Day 3 (Thursday). Cheat tip: If easier, you can video photos from places far-a-field and/or places you've seen/been to which make neighbourhoods great places or not so great. Please keep your video to no more than 2 minutes.
Planning for the future	Town planning	Population growth in the Perth metropolitan area has resulted in the State Government setting mandated housing targets for all local government authorities. The City of Joondalup needs to plan for approximately 20,000 additional homes in the City by 2050.

Activity Group	Task Name	Description
		<p>With limited undeveloped space, the majority will need to be delivered as urban infill housing.</p> <p>The City has no choice, the question is how does the City meet the housing targets set by the State Government in a way that meets everybody's housing needs and delivers great liveability outcomes?</p>
Creating liveable neighbourhoods	Who lives where?	<p>We'd like to understand more about what housing types might be suitable for people in different circumstances and at different stages of life.</p> <p>For each housing type, please choose at least TWO images of people who would suit living in the various styles. (We've deliberately not included single houses in this exercise because we know most people could live quite happily in a separate house.)</p> <p>For each of your choices, move the card into the housing group type you think they best suit. You can also drag cards directly into groups and reorder cards by dragging them up and down or selecting "Move Up" / "Move Down" from the cards menu. (Note that each of the cards can only go into one group)</p> <p>Once you've made your selection, we'd like you to write a few words (at least five, more if you like!) about why you think your choice of housing type might suit them. Please focus on what benefits each housing type might bring the people who live in them.</p>
Creating liveable neighbourhoods	Benefits of urban infill	<p>If done well, what benefits do you feel can result from urban infill? (please specify below)</p> <p>You also have the option below of uploading example photos/images of benefits that you feel can result from urban infill.</p>
Creating liveable neighbourhoods	Drawbacks of urban infill	<p>What do you see as the drawbacks of urban infill? (please specify below)</p> <p>You also have the option below of uploading example photos/images of the drawbacks that can result from urban infill.</p>
MiniDoc Activity - Reminder	MiniDoc Reminder	<p>Reminder your MiniDoc Activity is due tomorrow (15 Sept)</p> <p>Unleash your inner director!</p> <p>Over the next day or two, using your mobile phone, we'd like you to make a short video (about two minutes in length) of the things that make neighbourhoods great places to live and the things that detract from making neighbourhoods great. In making your video, please tell</p>

Activity Group	Task Name	Description
		<p>us (using your voice) why each of the things helps and/or detracts from making neighbourhoods great places to live.</p> <p>We'll get you to upload your video on Day 3 (tomorrow).</p> <p>Cheat tip: If easier, you can video photos from places far-a-field and/or places you've seen/been to which make neighbourhoods great places or not so great.</p> <p>Please keep your video to no more than 2 minutes.</p> <p>That's all for today!</p> <p>Don't forget to add your thoughts to the discussions (via the Home page or Discussion tab).</p>
Place activation	Place activation	<p>Several people on the board have mentioned the need for ' place activation ' as being an essential element of doing urban infill well.</p> <p>Place activation incorporates planning for diverse human activity in a place that provides for the natural and sustainable use of places by people as part of their daily life. When planning for new or the redevelopment of places, place activation focuses on ensuring that the needs of all potential users are met. Successful place activation creates a sense of place, encourages social connections, improves safety and brings life to the streets.</p> <p>With this in mind, besides parks, street trees and green spaces, what kinds of things should the City of Joondalup incorporate in their urban planning to activate the places where urban infill will occur?</p>
Sustainable neighbourhoods	Socially sustainable neighbourhoods	<p>In your opinion, what things make a socially sustainable neighbourhood?</p> <p>You may also upload images/photos which represent social sustainability.</p>
Sustainable neighbourhoods	Environmentally sustainable neighbourhoods	<p>In your opinion, what things make an environmentally sustainable neighbourhood?</p> <p>You may also upload images/photos which represent environmental sustainability.</p>

Activity Group	Task Name	Description
Sustainable neighbourhoods	Economically sustainable neighbourhoods	<p>In your opinion, what things make a neighbourhood economically sustainable?</p> <p>You may also upload images/photos which represent economic sustainability.</p>
Recap	Housing challenges	<p>Participants have mentioned lots of housing-related challenges, including: Availability of housing stock Affordability Accessing appropriately located housing Quality and functionality of housing stock Ongoing maintenance of older housing Insufficient diversity of house types (i.e. accommodation suitable for specific groups, such as retirees, the elderly, those with special needs, large families, and affordable retirement living for women) Besides the above, what other housing challenges have we missed?</p>
Recap	Planning challenges for the City	<p>From our preliminary review of the information provided, board participants have mentioned lots of things the City of Joondalup should consider in building sustainable neighbourhoods, some of these aspects include:</p> <p>Upgrade to suburban roads and streets Expansion of bus network / access to public transport Residential street parking management / adequate off-street parking for urban infill Congestion of shared paths (footpaths/cycleways) Traffic calming (safe active streets) Upgraded residential infrastructure (i.e. drainage, lighting, footpaths, community centres, rec centre, public toilets) Playground and play space Access to schools and childcare Dog parks Controlled intersections for bikes and pedestrians Access to shops (both large and small) Place Activation Access to health services and mental health services Social support services In-home care and assistance Highly green/open spaces in infill areas More street trees in infill areas to replace removed trees for the provision of adequate shade Coordinated planning approach between state and local governments Preserved " character areas " in suburbs Retention of larger blocks Hyper-local planning, strategies and consultations Design guidelines to support high-quality outcomes (building materials and processes, aesthetics, water/energy use, room size and functionality, universal access) Mandated developer financial contributions for creating public open spaces Planning to design out crime and anti-social behaviour</p> <p>Besides the above, what other aspects have we missed?</p>
Thank you	You've finished!	<p>Thank you for your involvement in the Building Sustainable Neighbourhoods discussion board.</p> <p>The level of participation and input on the board has been truly awesome and well beyond what we anticipated. A huge thank you,</p>

Activity Group	Task Name	Description
		your effort is greatly appreciated and valued by us and the City of Joondalup. Kind regards Research Solutions

APPENDIX 9 – Online Community Discussion Board – Verbatim comments

Q3. Thinking about yourself, or other people like you, what are the three main challenges/issues people face in meeting their housing needs in the City of Joondalup now and over the next ten years? (please specify below)	
1	<p>We rent right now, and it's been really hard to find places to rent for us.</p> <p>Another big challenge is finding somewhere that is close enough to places we need to be — we had to find another place that I could get to school from, and now I'll likely have to find a house I can be near uni with.</p> <p>Last one would probably be the upkeep of a house like the one we are in, there are a lot of repairs and maintenance things we have to do ourselves because the landlord just won't. I also don't think housing will be cheap enough for me to confidently buy within the next 10 years without either settling for a less-than-optimal home or consigning myself to a very long mortgage.</p>
2	<p>Building new houses in the city of Joondalup would be difficult without having to demolish another house first. I know people who struggle to get into local schools/day-cares for their children. Working in Joondalup mainly consists of government jobs, retail, medical etc - finding a job for niche jobs would prove difficult</p>
3	<p>1. Distance from the CBD, not a huge issue for me but I know many my age prefer to be closer due to work commute and ride-sharing fees when having a night out and unable to drive.</p> <p>2. Age of homes - An issue for me at the moment is the age of my home and homes similar to mine in cost and size in the city of Joondalup. I worry that due to age, a disaster is waiting to happen (i.e. fallen roof), which will cost a lot to fix. When my partner buys a home, I plan to move out with him, sell my home, and purchase a newer home toe rent out for more peace of mind. I would like this to be with in the city of Joondalup but prices may drive me further north.</p> <p>3. Lack of rental properties.</p>
4	<p>Affordability - price rises is putting some properties outside of young families reach</p> <p>Competitiveness - specifically to rent houses non detached /duplex there seems to be less houses available, and more renters competing for the same house</p> <p>Supply- to get larger blocks. as more older houses are getting knocked down and subdivided we are losing the house with big backyard and are crammed into smaller blocks</p>
5	<p>Planners requiring aspirational housing types that don't meet my needs.</p> <p>Reduction in the number of large lots.</p> <p>On-site/offsite parking issues.</p>
6	<p>- As older suburbs subdivide and infill occurs it puts pressure on the community. schools, day-care, shops, etc with increase demand.</p> <p>- Investors causing false market increases</p> <p>- Affordability for current residents</p>
7	<p>Affordability, Pets allowed, Security.</p>

Q3. Thinking about yourself, or other people like you, what are the three main challenges/issues people face in meeting their housing needs in the City of Joondalup now and over the next ten years? (please specify below)	
8	<p>Availability is quite low</p> <p>Rental is high at the moment</p> <p>Property you like is not available or similar options not available</p>
9	<p>Affordability, costs of living in 2022. It will likely be more difficult to afford housing in 2032.</p> <p>Finding a house with a big enough back yard for children as the rate of subdivision is increasing.</p> <p>Demand, will there be enough housing. I wonder where my children will be living in 20 years. Probably still at home?!</p>
10	<p>1. Cost of housing; rent is extremely expensive as well as the cost of purchasing or building a home. It is easy to be priced out of the market.</p> <p>2. Availability of housing; there are no available cost effective rentals in my area and houses are snapped up fairly quickly once on sale.</p> <p>3. Amenities being adequate for the community.</p>
11	<p>We are running out of space. We've filled up quite a lot of the land that we already have and I'd hate to see any of the greenery felled just for more housing. It's also not a cheap council so it is expensive to buy in the area. It is also some distance from the CBD which can be a hassle if you are a corporate type working in the CBD.</p>
12	<p>Affordability</p> <p>Land size</p> <p>Development opportunities to buy into or build</p>
13	<p>Affordability, amenities, lifestyle</p>
14	<p>Maintaining the property</p> <p>Paying the mortgage with interest rates increasing.</p> <p>Paying local council rates as rates increasing.</p>
15	<p>1. Affordability</p> <p>2. Sub division</p> <p>3. Sizing of houses</p>
16	<p>We don't have enough space. I would rather build up though but so expensive.</p> <p>I am concerned about all the triplexes and subdividing though.</p> <p>But think smaller blocks like 300 or 400 square meter and two storeys would be better</p>
17	<p>Ensuring the safety of family and belongings. Having adequate room for comfort. Minimising commuting time.</p>
18	<p>Affordability, competition, and location</p>

Q3. Thinking about yourself, or other people like you, what are the three main challenges/issues people face in meeting their housing needs in the City of Joondalup now and over the next ten years? (please specify below)

19 Cost to purchase a house

Limited types of accommodation

Access to airport

20 Shortage of supply of social housing

Big blocks need resining to allow subdividing

Lack of aged care housing

21 lack of affordable rentals for young people moving out of home for the first time

lack of smaller houses or apartments for empty nesters

too many restrictions on the ability to subdivide a block

22 Cost, the push for high-density, access to public transport

23 1). An ageing population for some people means downsizing to a dwelling that requires less maintenance. I think the bigger blocks have the potential to be subdivided by developers. We need to provide suitable housing for older folk who are looking to downsize and free up the bigger blocks for redevelopment. There needs to be an incentive to move such as a government subsidy for relocation costs or free appliances/amenities built into the new dwelling.

2). Town planners need to consider the space and style of housing. Smaller spaces need to be well appointed and functional while being aesthetically pleasing. Double story dwellings are not always suitable for older people and villas can be too spread out. More densely built communities can also be problematic if you can hear your neighbour's activities. Innovative housing projects need to consider all these factors.

3). The next 10 years could also see a transition from car ownership to ride sharing as the autonomous EV becomes more prevalent and more cost effective. Car parking space could be freed up to create a more pleasing space for community dwellings such as communal BBQ's or swimming pool with outdoor chairs/courtyard.

24 My suburb is fairly old so the layout includes trees on every block and streets seem to be randomly placed, not in blocks which can be common. I like this layout.

The new homes are barren, the blocks are small but the suburbs have parks and recreation areas. It seems to me, councils are simply cramming as many people in as they can. We seem to want bigger houses regardless of the amount of people living in it.

Public transport to and from the neighbourhood can be hard at times

Security seems to be an issue in suburbs where parents work full time and the kids are left to their own devices. They get bored and some then create trouble around the neighbourhood.

Q3. Thinking about yourself, or other people like you, what are the three main challenges/issues people face in meeting their housing needs in the City of Joondalup now and over the next ten years? (please specify below)

25 I am happy with the space I have.

More public transport

More neighbourhood shops

26 In the next 10 years it would be

1) Location. We like where we live and to move would be difficult because of facilities and current neighbours.

2) Cost. What will it cost to move to a different location and what the quality of housing will it be.

3) Type. What sort of residence will it be. Single residential small lot. Duplex or low level multi dwellings or Apartment?

27 Joondalup currently has great parks and reserves, and majority of houses are not on top of each other, creating an environment for families to gather and sport to play as well as not having people live over the top of you.

1. Maintain an environment where homes and buildings are not built within ten meters of roads allowing a tree canopy to be developed, a cooling environment and provide some green space as blocks get smaller and homes /units get bigger or utilize the full block.

2. Obviously the cost of housing will increase due to the locations within Joondalup and Public infrastructure currently provided but we need to encourage developers and builders to maintain a strong community wellbeing approach, understand we are not only looking for a roof over our heads, but majority want to safe and strong community environment to live in.

3. Housing materials are likely to change (less brick etc) I believe Joondalup should be educating themselves in this area and encouraging/educating builders on future directions. I am not a fan of some overseas buildings, but some areas are changing their building processes and we should be a suburb that encourages this as well.

28 For me personally I like the area I live in and would like to stay here albeit in a smaller home. I have a 3 x2 currently but living alone I would be happy with a 2x1 with large rooms and a small garden. Retirement villages tend to be out of town with costs for amenities that I would not use, so finding an appropriately sized home would be the first challenge..

Finance would be the second challenge. Being on the age pension I have to consider the cost of moving..

Thirdly would be finding a home in an area which has easy access to shops, health facilities and transport.

29 1. Meeting environmental needs through greening, increased solar, etc

2. Development that builds and strengthens local community.

3. Parks and parking will be key issues, particularly adjusting to hanging demographics in older areas as subdivisions and development increase.

Q3. Thinking about yourself, or other people like you, what are the three main challenges/issues people face in meeting their housing needs in the City of Joondalup now and over the next ten years? (please specify below)

- | | |
|----|--|
| 30 | My family house is too big for us. The maintenance is now too much for us to handle, and the lawn and gardens are getting too much for us to maintain. |
| 31 | There appears to be a lack of affordable housing for young families and also from what I hear it is also difficult to find suitable aged housing |
| 32 | If we stay in current house then we will possibly require some assistance with the gardens and some maintenance work. |

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
<p>1 You might be able to get a more vibrant sense of community. I think having lots of people close could foster interdependence. It would likely also result in having cooler features in each area, as with more people it makes more sense to include large features. E.g. you wouldn't have Joondalup shopping centre in the middle of the outback, and you wouldn't have HBF stadium in a small city town. You might have small parks in a small suburb, but the larger that suburb becomes, the more people around, and the more reason for creating something that people can enjoy.</p>	<p>I think pollution seems to be a problem. I'm guessing air quality would be worse. Maintaining levels of greenery too. Possibly giving people a good amount of space. No more big backyards.</p>
<p>2 Options for more community activities etc.</p>	<p>overpopulation, traffic during peak time hours, littering, crime, etc.</p>
<p>3 More cohesion amongst neighbours given the close proximity and 'forced' interaction. More options for people who want to live in this area.</p>	<p>People like their space and some like having yards, me being one of them. But we also like being close to the city, with a growing population we don't have much other choice. Having bad neighbours would be a drawback as well, given the proximity of each other.</p>
<p>4 Allowing people to live closer to work, university, schools or in their preferred suburbs. Potential cheaper accommodation in suburban areas</p>	<p>Congestion, traffic, increase in prices to own and rent, increase in crime. Services being overwhelmed if they don't keep up with population growth i.e. schools, hospitals etc</p>
<p>5 - Less urban sprawl in other areas - Potential for tighter community - park and facility upgrades - Housing diversity (but it shouldn't be forced) Note: I haven't seen it done well, so its a bit hard to envisage</p>	<p>- its rarely done well, so there is a negative perception in the community - subdivision is implemented by the WAPC, development by the local government - decision makers overstepping and 'forcing' designs that the market is not ready for - Reduces the opportunity for people to live on larger lots with more space - no one has nailed public open space upgrades yet in infill areas - limited parking... WA is a drawn out state, providing a one car garage only won't stop people necessarily having two cars, it'll just cause them to park the car on the street - removal of trees - urban heat island affect, more roofs in tighter spaces - mums and dads only want to do mums and dad subdivision, they cant afford to generally develop a large proposal, so end up with more battle-axes - Good infill is expensive - rigid waste disposal arrangements</p>
<p>6 It allows people to build their dreams houses in the suburb they prefer, rather than being limited to the new estates. It's a chance for people to create wealth from sub-divided their current</p>	<p>The community not having enough parks/cafes/etc to handle the increased population. Parking problems might overflow to street.</p>

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
<p>blocks. It also allow aging houses to be replaced with new and improved housing.</p>	
<p>7 Community Sustainability Environmentally friendly Security</p>	<p>Architectural designs Time it takes to build - not to disturb the locals already there Destruction of animal habitats Replacement of animal habitats</p>
<p>8 Benefits:</p> <ol style="list-style-type: none"> 1. Housing for all 2. Financial sustainability 3. Keeping neighbourhood alive 4. Multigenerational living 5. Environmental sustainability and health <p>Good infill development can lead to increased use of local amenities, and allow City services to reach more residents at a lower cost.</p>	<p>Urban infill is challenging, yet this type of development is in very high demand. With significant experience in this project type, our team has identified the top 5 challenges to urban infill residential development and design.</p> <p>1: SECURING ZONING RELIEF AND COMMUNITY SUPPORT 2: FITTING IN WITH NEIGHBORHOOD CONTEXT: Designers should approach a project with a design intent that integrates with the neighbourhoods’ context. The proposed development should respond to its surroundings with design elements such as massing, scale, colour and texture. The design must also be aware of the base setbacks and adjacent buildings. The project will more likely receive community support if these elements are taken into consideration.</p> <p>3: PARKING AND TRAFFIC: In urban infill projects, parking and traffic concerns most often arise with community groups. More often than not, neighbours request more parking to reduce the competition for street spaces. It can be a delicate balance to the City’s request for fewer parking spaces and the community’s request for more. Traffic studies can be helpful tools that can show a minimal impact on traffic. Identifying active public transportations options can also help settle parking concerns.</p> <p>4: As the urban population grows, so does the need for better infrastructure. On tight sites, it’s critical to evaluate the utility needs early in the planning process and engage the proper engineering consultants experienced in urban development. Identifying infrastructure challenges early and formulating a creative approach to the design solution will benefit the project in the long run.</p> <p>5: The rise of urban infill residential projects means unconventional sites and building configurations are increasingly common. A critical consideration is the fire separation</p>

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
	requirements. These requirements can impact exterior wall structure, fire ratings, and design of windows and other openings.
<p>9 The new housing has close proximity to existing amenities</p>	Noise from construction Extra traffic
<p>10 Additional housing that is more respondent to today's needs; e.g. not all dwellings need to be single story with 3+ bedrooms, which can more cater for smaller families, single people, couples etc., make better use of the land by dividing lots or building units/townhouses where single houses once were. Create more accessible housing closer to city areas.</p>	Building too many dwellings on a single plot of land; in the Craigie, Heathridge, Padbury areas in particular there is A LOT of subdivision occurring and unfortunately a lot of it seems to be from 1 house plots to 3-4 houses, this significantly reduces garden/green spaces and adds pressure to roadways, schools, shops, other services when so many people populate an area. It also increases people living on top of each other and not having any privacy and potentially adding to neighbourly disputes.
<p>11 A sense of community and less stress from living in smaller low maintenance housing. It also means that there is less land cleared to build housing which is better for the environment</p>	Overcrowding of people, people always on top of people never getting any peace and quiet. Too many high-rise buildings turning the landscape in to a concrete jungle
<p>12 Look urban infill -can and will be done well if its planned based around its target demographic and use of space , I have seen several developments in Joondalup that have attempted urban infill but have not activated the area's around it to suit this concept . You have to have a healthy balance of avail parking and not solely focus on street parking , access to amenities , activate community by allowing mixed use space for cafes, small restaurants and bars etc or permits for food trucks etc and also look at providing recreation area's or park space that aren't just for play equipment and have other amenities for the community , I don't feel building large scale apartment blocks with all the bells and whistles is the answer , as many of these are still only one or two bedrooms, there is a development on the Wanneroo border at present that shows signs of good urban infill but only time will tell if this is going to be killed off due to affordability for many even though the land footprint is smaller than your single level house and yard we have seen in the past, I grew up on a 700 sqm single level house in an estate full of them this size but we have moved away from this trend which I don't think is a bad thing , the key is all in</p>	affordability, land and developments lacking quality by being developed too quickly through lack of planning , creating more problems than resolving i.e. on street parking and traffic

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
balance , commercial vs community vs development vs affordability	
<p>13 If done well, it can use large block sizes for those properties that have dead space to create a 2nd dwelling. Knocking down old, badly designed houses can allow for a modernisation of streets/suburbs. Greater population in suburbs can also lead for more vibrancy at local hubs (shops/cafes etc.)</p>	<p>My opinion is that infill is done in an uncoordinated fashion- it typically is simply putting more houses on existing blocks without any additional infrastructure or recreational/green spaces. This leads to feeling overcrowded and more cars than the streets/suburbs were designed for. Subdivision of blocks can change existing neighbourhoods' dynamics and make the suburb appear piecemeal/construction zone for years.</p>
<p>14 It gets rid of the vacant block which would look over grown and unkept. it shows progress in the community and means there is more people and amenities going to be in the area for people to use. it will also increase revenue spending in the area there will be more people coming in to the new build.</p>	<p>Over crowding. Roads not able to handle the traffic flows, Slower internet speeds due to more people using it. road wear and tear quicker. traffic jams. noise pollution</p>
<p>15 More opportunities to live closer to the city Less traffic congestion. Easier to maintain housing/gardens</p>	<p>If done poorly, can lead to houses being built that don't mesh well with other houses around it Streets used for parking cars No backyards for kids to play in</p>
<p>16 I think if done correctly may be able to leave pockets of suburbs with bigger blocks and provide all styles of accommodation. If cafes and little deli set up could maybe feel like a small village that supports one another. But there needs to stop being segregation and more consultation with residents should be sought.</p>	<p>parking issues. Too much traffic. Lack of privacy if all houses around you being in filled and you are wanting to keep your block original and undivided. Unfortunately the house and property not being worth doing renovation as only becomes worth the land</p>
<p>17 Suburb revitalisation. Better access to facilities. Less spread of development to far-reaching areas that require lots of vehicle travel.</p>	<p>Piecemeal development of suburbs with a mix of different requirements. Triplexes next to old family homes discourage buyers of single homes for anything other than development. This only puts money in developers' pockets and upsets existing residents. It also drastically changes the local requirements.</p>
<p>18 Allowing people to sub-divide larger blocks can help to alleviate the financial difficulties people are experiencing. The building of low-rise apartments helps to lessen the impact of urban sprawl by increasing the number of residences per square kilometre and limits the further destruction of natural habitats for local fauna. Living in close proximity to others can make for a greater sense of community.</p>	<p>Living in closer proximity can be difficult if not everyone respects their neighbours. Increasing the population in a given area can put strain on infrastructure, increase traffic congestion and pollution.</p>

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
<p>19 I'm not a supporter of urban fill. If I purchase a single story house I don't want dbl stories looking my backyard/windows. This scenario occurs during knockdown/redevelopment.</p>	<p>See last response</p>
<p>20 there is a massive shortage of housing shortage in Joondalup, with no land to expand. Urban infill can help free up space to accommodate more people,</p>	<p>Too much infill can take away things like parks etc. It can make the city look like a concrete jungle. Also, it can make you feel like you are living in your neighbours back yard, with no room for the kids to play in their garden with smaller block sizes</p>
<p>21 Create vibrancy by bringing additional types people and house types into a neighbourhood. Many suburbs are stuck with the same family demographic (e.g. older family) and so very little opportunity for different community members to interact.</p>	<p>Street parking..... Can be easily avoided using clever design that incorporates parking on or underground with living upstairs..</p>
<p>22 increased availability of housing, cheaper housing, ability to accommodate a greater population, can increase proximity to amenities - shopping, public transport, public spaces, increased lifestyle choice, transport mode shifts.</p>	<p>increased population, loss of individual space, increased traffic, clash of cultures - different age groups and circumstances in close proximity, concrete jungle, loss of identity</p>
<p>23 Older folk would benefit from the opportunity of leaving their home if it's getting too much for them to look after. They might need help finding a more suitable dwelling. They could be offered an incentive to move so that their larger block could be subdivided. People do not want to be a slave to their family sized home in retirement if they are empty nesters. Alternatively single people in a larger home could bring in a lodger. Government should consider a benefit to make it more financially viable for people to consider these kinds of options. I think infill is better than urban sprawl. We need to be close to amenities and public transport. We need the security of community living around us. Also we need to protect the existing land for nature. Humans aren't the only living things that need a home! We are gradually taking up more land to the detriment of bush land and the animals/plants that live in them. These habitats must be preserved.</p>	<p>If people don't get along, they may feel cramped together. We need to learn to be more tolerant and we need homes that tolerate a closer proximity to each other. As I already mentioned, I don't want to hear my neighbours taking a poo or arguing or any other private activity. Cars are a big problem to population density. In the future we may have autonomous evs that will reduce car ownership. Empty cars will come and pick us up. We can ride share with other folk. However ev's mean we need charging stations so we need to consider this when new infrastructure is implemented. We will need a lot of them! It will be a big cultural shift for Aussies and the challenge is to pivot from the diesel guzzling Ute to travelling by ride share and not owning your vehicle.</p>
<p>24 I love the idea of the 4-5 story apartments with a gym, coffee shop on the ground floor. It gives</p>	<p>Lack of parking or ability to store trailers, campervans, boats etc. No room to move around</p>

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
<p>people a way to connect and also softens the building. More people in a smaller area can work as long as it's not concrete jungles in the suburbs.</p>	<p>the home into the garden area Pets can be almost impossible to keep if in low-rise or more. Even town houses. Ongoing noise especially with those with under teenage kids. Navigating streets due to extra cars needing parking space and therefore park on the streets blocking passing traffic</p>
<p>25 that you can get more people into suburbs, so people have not to travel to far to the city or there places of work</p>	<p>that it will be too crowded, and the quality of leaving will not too great, and it could increase the amount of crime</p>
<p>26 We live in the Duncraig area. Currently there is no Urban infill in our area. We have watched the change in the area near the railway line. Some of the infill or in this case redevelopment has been done well and some has not. A good development is two storey units on either one or two lots side by side. It is higher density than what was there but it does seem to fit in to the area without too much impact. The reality of being close to transport is that the occupants would need less access to a car. The reality is that it does not seem to make any difference there is always lots of cars at these complex's. A bad example of infill or redevelopment is a small lot with up to 10 units on it. These are normally up to three storeys high and sit high above the area and do not really fit in well. Another issue is parking and there tends to be a large number of vehicles parked on the roads around the complex. The benefits of infill is the better usage of existing infrastructure. Infrastructure includes Police Fire Ambulance and all the under ground infrastructure. The cost to maintain the existing in these infill areas will be eased by more occupants but will also increase usage that can be upgraded as the infill is developed.</p>	<p>I do not see any.</p>
<p>27 A friendly and community approach community.</p>	<p>The feeling of everything is on top of you (Confinement). Knowing what Neighbours are saying and doing as you can hear it. Lack of some privacy. No tree cover, less parking space and pets become problems if not controlled.</p>
<p>28 Done well new houses can rejuvenate the look of the neighbourhood. Generally I think side by side blocks look better than battle-axe and I would like to see semi-detached being built rather than a new house in an existing back garden. I appreciate this would require</p>	<p>With urban infill comes population growth. More facilities will be required. Less greenspace at home means families will need communal greenspace. Parks that are well used could be upgraded with BBQ facilities.</p>

Verbatims Activity Four Potential benefits of urban infill / Potential drawbacks of urban infill

A4-T2: Benefits of urban infill	A4-T5: Drawbacks of urban infill
demolition of the existing house so I don't know how that could be achieved.	
29 Strengthen existing, and build new local communities with greater demographic diversity. Opportunity to refresh infrastructure and introduce more contemporary approaches and policies, particularly those that are more environment friendly.	Can result in overcrowding and overload on existing infrastructure such as drainage and roads. Unless plot ratios managed, can be adverse impact on street parking. Concentrations of housing without adequate open space can lead to unhealth lifestyles, and potentially adverse impact on existing community safety.
30 Urban infill will result in more people having access to already established schools, parks, shopping centres, community facilities as well as having access to local transport.	Urban infill will result in more people using existing infrastructure and local facilities.
31 The key words here are "if done well" which is difficult in limited space scenarios. I have read of many developments that have had negative consequences due to poor planning, overcrowding, insufficient facilities i.e. parking. All of these things impact the original residents in the area. Traffic is heavier, the noise levels increase & there is less street parking. Also the higher number of residents in a limited area often results in anti-social behaviour and neighbourhood disputes. I feel that emphasis should be placed on suitable sized developments that lower these risks and give a better lifestyle to new residents and have less impact on current residents	The main drawbacks are restricted street parking, additional noise, busier streets can make existing streets less desirable places to live. There is also a higher risk of anti-social behaviour the more dense the population plus facilities in the area may be stretched to cope with the influx of new residents. Visually new multi resident complexes can detract from the street scape & change the vibe of the area.
32 I honestly cannot see any apart from those with big blocks & no youngsters at home will make some money, I have seen the effects of multi living infill in both the UK & Europe were children grow up with little or no freedom to enjoy the outdoors other than the streets & community parks with the young people forming like minded children into gangs /groups.	The development of ghetto style communities were those who are forced to live in them are all exposed to some elements of society that they would not associate with in normal suburbia

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?	
1	Sense of community. Greenery. Local shops. When houses all look similar, and none seem abandoned or dilapidated. Seeing people walk their dogs and interact with people outside. A small amount of humdrum. Lots of opportunities nearby. Having good gyms and interesting features (like statues or iconic spots).
2	I like my house Easy access to public transport Good shopping Good dog areas for my dog Close to the beach Community activities
3	I think well maintained parks and verges make a huge difference. Proximity to shops and a range of shop options is also an indicator of a good neighbourhood to live in. Not having to worry about crime, and knowing that the local police take home break ins etc seriously to deter any future crime.
4	For me and my family, It's about safety and good facilities/ playgrounds. With a young family, safety is of utmost importance. I hear of a lot more crime and break ins in my suburb and the surrounding areas. In addition to this, road safety, hedges and large trees need to be maintained on corner blocks to allow for better visibility for drivers to see pedestrians. it's important to have good parks/playgrounds to encourage children to maintain active lifestyles and to burn energy. Also important that they are maintained and that older playgrounds are assessed for hazards, some older ones have extra large gaps up high that a child could fall through, obviously the parent needs to watch their child to prevent injury, but there are a few older playgrounds that seem to be missing side panels or bars.
5	Pedestrian oriented environments, slower roads, street trees, less grass and more water sensitive landscaping, usable parks that comply with crime prevention through environmental design, dark sky sensitive lighting (more lighting isn't better if everywhere else is dark).
6	- Great community areas - parks, playgrounds, bike tracks, community centres. etc - Markets - Affordable spaces for local businesses - Farmers markets
7	Local Parks with activities, BBQ areas, play areas. Community social media groups. Friendly Neighbours.
8	1- Easy and accessible transportation 2- Easy access to amenities

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?	
	<p>3- Schools and colleges</p> <p>4- Parks</p> <p>5- Libraries</p> <p>6- Restaurants</p> <p>7- Medical Facilities</p>
9	<p>Great Neighbours</p> <p>Well maintained parks with facilities</p> <p>Good schools</p> <p>Bike/walking paths</p> <p>Low crime</p> <p>Community events</p> <p>Local shops</p>
10	<p>Being a safe, secure and friendly neighbourhood.</p> <p>Having great community facilities/amenities - sports field, shopping centre, restaurants.</p> <p>Proximity to work so commute is reduced.</p> <p>Great neighbours who look out for each other but aren't nosy.</p>
11	<p>Lots of greenery and natural settings</p> <p>A decent range of amenities including but not limited to shopping centre/s, school, library and sports facilities</p> <p>Ability to walk around the suburb safely</p> <p>Public transport</p>
12	<p>Sense of community but not living on top of each other</p> <p>Small community based shops and cafes</p> <p>Access to parks and multipurpose recreation areas</p> <p>Close proximity to essential health services and main shopping centres</p>
13	<p>Kids playing in the street, parks close by, trees, ability to walk to local shops/cafes</p>

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?	
14	<p>1. Well maintained parks near by with toilet and water facilities where kids, adults and dogs can interact safely.</p> <p>2. Easy access to shops and facilities like train and buses.</p> <p>3. Trees in the parks and new ones planted recently.</p> <p>4. Signage is maintained and any damaged one or ones with graffiti are cleaned or replaced.</p> <p>5. Verge green collection every year is great for bulk green waste which eventually comes back as mulch.</p>
15	<p>1. A council that looks at win - win solutions with the residents</p> <p>2. Well maintained streets and reserves</p> <p>3. Crime free</p>
16	Schools, amenities, neighbours. I love living on cul de sac and kids playing with other kids on street
17	<p>Safety and comfort. Usually reflected in the upkeep of properties by how much people 'care' about their home and environment.</p> <p>Low crime rate.</p> <p>A sense of community, by having long-term neighbours that you can get to know and will look out for each other.</p> <p>Quiet streets and the ability to walk to parks with family or pets.</p> <p>Greenery in properties and open spaces.</p>
18	Neighbourhoods usually provide close access to amenities, such as shopping centres, medical centres, recreation centres, and parks. These are important elements to many people in maintaining a happy and healthy lifestyle.
19	<p>Arterial road access</p> <p>Local and large shopping complexes</p> <p>Green/bushland</p> <p>Parks and paths</p> <p>Local pub</p> <p>Sporting clubs</p>
20	<p>Lots of parks for children</p> <p>Places for neighbours to congregate</p> <p>Pubs and restaurants to enjoy</p>

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?

Shopping facilities nearby

Good public transport

Good neighbours

21 quality footpaths

quality lighting

parks and rec areas with different areas for different groups e.g. playgrounds, skateparks, comfy seats with a view

great neighbours

encourage neighbourhood connections through social/sporting groups

22 Amenities - parks/open spaces, with shelter, exercise/play equipment, water, barbecue facilities; sporting fields.

Access to public transport options

Proximity of shopping - small medium and large

Proximity to major and arterial roads.

Bike/walking paths

Trees and greenery

Lakes and water features

proximity to coast

free parking, open spaces, cafe's and restaurants along the coast

Gyms and leisure centres

23 1). The humble abode provides shelter and comfort. It is where we make food, eat and wash clothes. It's where children are raised and bonds between families forged. It's where memories are made. Therefore we need homes that are well ventilated and easily maintained. We need to use materials that are durable and less costly in the long run. We need to have communities that have free time to engage with each other and not tied to a house requiring endless repairs and attention. Houses need to be attractive but functional and long lasting. Not exactly "set and forget" but you get the idea. Cultural and leisure activities are what keep neighbourhoods together in a harmonious atmosphere but if people have no time to engage in them we become a slave to our house.

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?

2). Technological advancements mean that we can see who is at the door before we open it and we can see who is in the general vicinity. It is harder for thieves to get away with criminal activities which has the potential to make communities more likely to be open and engaged with each other. Ultimately we need to be safe and smart homes can provide this level of security because we need to trust each other before we care. The more we come together the stronger our sense of community will be and the peace of mind flowing from this is a valuable conduit for positive interaction.

3). Communities need space both private and public. Parks and reserves are wonderful assets to any space. We need to be mindful of how they are lit. Infra red light emission is better than the blue lights which confuse animals by making them feel it's still day time. This can interfere with their sleeping patterns and life cycles. We must preserve the flora and fauna in our districts. I am not sports minded but I know it's important for young people to play as it fosters social interaction and working as a team.

4). I like libraries. I hope they don't become obsolete. We need to encourage reading by maintaining a community library and a space where we can come together in the quest for knowledge and learning in a group.

24 Community feel, where the neighbours actually know each other

A local grocery store, i.e. IGA not Coles or Woollies

Parks and community centres where people can meet.

Safety in the community, little crime

Maintained walk paths and shared vehicle roads

25 it's the neighbourhood nice houses gardens and parks near by and the people that leave there

26 I have four ideas of what makes suburbs liveable.

1) Housing Types. Combinations of single low-rise/medium (2 storey) residential. Complex size low level multi residential living. Small unit complex two storey living close to shopping and transport hubs.

2) Service. These would be local Doctors Dentist Chiro and the like.

3) Facilities. This would be local shopping bakeries hair dressers connected to Services.

4) Green space. Places for family play and gatherings with play facilities. This would compensate for smaller living places.

27 Friendly and respectful Neighbours. The environment we live in, can create this atmosphere and those that take an interest in developing this environment and achieve it tend to be a lot friendlier and respectful.

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?

I believe where communities (not just the loud outspoken ones) are involved in developing their own suburbs such as, park restoration and upgrades, community facilities, and verge appeal etc. should be involved prior to any new development or upgrade. Currently I feel sometimes we are part of the process at the end of the design process not before the start of it.

28 I have brilliant neighbours of a similar age to myself.

My suburb has community pages on Facebook for giving away unwanted goods, community information and for promoting local businesses.

Local shops are within walking distance

We are working to establish a community garden.

We are in close proximity to well used parks.

I live 5 minutes drive from Hillarys boat harbour.

29 Great parks with open spaces and play equipment.

Good access to shopping and entertainment - within walking distance

Good public transport options.

Proximity to beaches.

Good cycleways and footpaths providing for both cyclists and foot traffic.

Strong street, park and accessway lighting

30 I would like a place that is at ground level, i.e. no stairs to climb to access the front door.

I would like a well cared for park nearby that I can easily walk to and around.

I would like a wide foot path that takes me around the area.

I would like a small community shopping centre that I could walk to - without a pub or liquor store.

I would like a nearby bus route that goes to a train station and large shopping centre.

It would be great if there was a community centre that was near by to join in local activities.

It would be great if it was near a beach location.

31 I am currently in a good location with great access to public transport, local shops plus close to a major shopping centre and many commercial businesses. There also schools and recreation facilities and it's not too far from the beach.

Edgewater has a neighbourly feel and in general I feel that the community looks out for one another which I feel adds to my lifestyle

Q. Thinking about your current situation and circumstances, in your opinion, what makes neighbourhoods great places for you to live?

32 Easy transport. shopping precents, medical practices. security. Entertainment ,clubs/bar. food outlets

APPENDIX 10 - Housing Issues – Validation Workshops

Joondalup Housing Issues Consultation Project

PURPOSE:

1. To share the consultation story
2. To build on the outcomes and start exploring community vision, and
3. Confirm and workshop issues identified.

AGENDA

1. A (very) brief summary of the background
2. An explanation of the process (5 mins)
 - a. Who, how and how many
 - b. Representativeness and why it matters
 - c. What next
 - d. Your questions about the process
3. High level summary of results
 - a. Housing issues
 - b. Community priorities
 - c. Stakeholder perspectives (
4. Round-table discussion / Q&A (10 minutes)
 - a. Confirming and exploring priorities (e.g. green space and sustainability) –
 - b. Other issues
5. Exploring liveability and sustainability
 - a. Examples of liveable neighbourhoods
 - b. Group Mapping Exercise: Walkable neighbourhoods

This exercise is not about charging you to come up with yet more ideas for good building design or the appropriate distance for setbacks. The purpose is to start building a better understanding of community vision and giving the City clear signals about the direction residents want to go. What do liveable and sustainable neighbourhoods look like?

The mapping exercise is projective, and looks forward 25 years to an ideal future state where:

- more people live in the City of Joondalup, which is now a mixture of low, medium and high-density), but the whole process has been beautifully managed and the City is a great place to live. New residents and new dwellings have been thoughtfully folded into the community. There has been change, but it has delivered lifestyle gains for all residents. Development is sustainable, and the neighbourhoods are liveable.
- Take an imaginary walk around your neighbourhood. What do you see? What services and facilities are available? How do you get there etc What makes it 'liveable'? What makes it sustainable? What do the buildings look like?

The map on following is the one we will use in the exercise. The focus area is a 400-450m radius from your home, an area planners generally accept as a 'walkable' distance.

Housekeeping.

My mobile number is XXXXXXXXXX if you have any problems or things you'd like to discuss before, during or after the group.

You may have questions that neither I, nor my colleague John Bourne, can answer. If that's the case, we'll tell you we don't know and we will pass your query on to someone in the City who can answer. Just let us know if you'd like the City to get back to you directly (in which case we will give them your contact details along with the question).

If you have troubles accessing the online workshop, email me at linda@researchsolutions.com.au or better yet, send me a text / call me on the mobile number above and so we can organise another opportunity for you to have input.

Thank you again for your time!

Regards

Linda Bradley



APPENDIX 11 – Stakeholder Topic Guide**Building Sustainable Neighbourhoods**

Stakeholder Interview Topic Guide (Final)

Greeting.

Request permission to acknowledge participation.

Project purpose:

This is the first of several opportunities for the community to be involved in Building Sustainable Neighbourhoods, a review of the City's local planning strategy.

The City's population is forecast to grow by 18,274 by 2040, and the State Government has set a target of an additional 22,630 homes to be provided in the City to 2050, with 20,670 of these delivered as infill (medium and high-density). This will result in change for our community and neighbourhoods. The City's challenge is to meet its housing targets in a way that provides the best possible outcomes for the community as a whole.

Building sustainable neighbourhoods will make recommendations for how the City's planning framework can best meet the City's future housing needs and State Government dwelling targets, including:

- where different housing types and densities should be located across the City, and
- the types of policy required to manage the form, sustainability, and liveability of future residential development.

Today

From their perspective as, and thinking about the City of Joondalup today, what are the main housing issues or challenges experienced by (their sector / clients / etc)?

How are housing needs / issues changing?

Tomorrow

With the majority of new dwellings to be delivered as medium and high-density infill, explore how and where they would like to see housing in the City of Joondalup develop over the next ten years.

What would the ideal look like?

Getting there

What do they see as the main issues / obstacles / challenges to manage?

What needs to happen to meet the needs of their clients / ensure the health of the sector / ensure high quality outcomes for all the City's residents.

26 August 2022



Building sustainable neighbourhoods

LIVEABILITY AND DIVERSITY FOR FUTURE GENERATIONS

Dwelling Target Analysis

Date: February 2023

Key Findings

- **Dwelling targets:** The Western Australian Planning Commission's *North-West Sub-Regional Planning Framework* establishes a dwelling target for the City of Joondalup of 22,630 additional dwellings by 2050.
- **Progress towards targets:** Between 2011 and 2022, an additional 2,938 dwellings were created which comprises approximately 13% of the 2050 dwelling target.
- **Delivery of additional housing:**
 - 6% (182) of additional dwellings was delivered within activity centres.
 - 34% (994) of additional dwellings was delivered within Housing Opportunity Areas (HOA).
 - 38% (1,124) of additional dwellings was delivered within structure plan areas.
 - 22% (638) of additional dwellings was delivered through residual low density redevelopment and subdivision.
- **Housing Opportunity Areas:** More than 50% of additional dwellings created in housing opportunity areas occurred within HOAs 1 and 5.
- **Housing typologies:**
 - 50% of additional dwellings have been delivered as single detached dwellings on green title lots.
 - 33% of additional housing have been delivered as semi-detached or detached dwellings on survey strata lots created through subdivision.
 - 17% of additional dwellings have been delivered as multiple dwellings.
- **Estimated dwelling yields:** Under the current Local Planning Strategy, a projection based on historic growth rates estimates an additional 6,817 dwellings will be created by 2050. In this scenario, the 2050 dwelling projection will not be achieved.

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Introduction

This report forms part of a suite of documents and reports to inform *building sustainable neighbourhoods*.

Building sustainable neighbourhoods: liveability and diversity for future generations is a significant strategic planning project being delivered by the City of Joondalup, which will review the housing component of the local planning strategy.

The project forms part of a broader review of the City's local planning strategy.

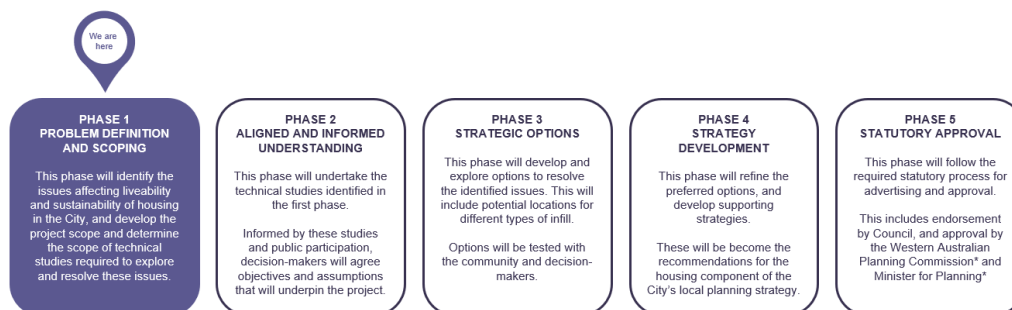
Project background

The *Planning and Development Act 2005* requires all local governments to maintain a local planning scheme, including regular five-yearly review of the scheme.

Commencing a review of the City's Local Planning Strategy was scheduled for the 2022/23 financial year. At its May 2021 meeting, Council agreed to bring forward the review of the housing component of the Local Planning Strategy to 2021/22 in response to ongoing, expressed community concern regarding the impacts of infill housing. The decision follows a number of preceding projects, community consultations, and decisions with respect to housing and infill in the City of Joondalup.

All processes associated with preparing, reviewing, and amending local planning schemes and strategies are specified in the *Planning and Development (Local Planning Schemes) Regulations 2015*. In accordance with the regulations, the City of Joondalup will review both its Local Planning Strategy and Local Planning Scheme No. 3, with the review of the housing element being progressed as a distinct sub-project: *building sustainable neighbourhoods*.

Building sustainable neighbourhoods will make recommendations for how the City's strategic planning framework can meet the City's future housing needs, including where different housing densities and types should be located within the City. The project will identify, explore and develop planning recommendations for liveable streets and housing in the City of Joondalup across five project phases.



*all planning documents must comply with state requirements to be approved

The project is currently in its first phase: problem definition and scoping. As part of this phase, the City is undertaking initial analysis and community consultation to understand the full range of housing issues being experienced across the City to inform preparation of a detailed scope for works, including the range of technical studies that will inform the project.

Report purpose

The City's current *Local Planning Strategy* is required to demonstrate alignment with the broader State Government planning framework and guiding documents. This includes demonstrating that the *Local Planning Strategy* will deliver the additional housing needed to meet infill and dwelling targets set out in the *North-West Sub-regional Planning Framework*.

The following Dwelling Target Review has been undertaken to understand how far the City has progressed towards achieving the infill and dwelling targets, and how and where additional housing has been delivered to date.

State Planning Framework and Target Setting

Infill dwelling targets have been established for all metropolitan local governments. In August 2010, the then draft *Directions 2031 and Beyond* established an infill target of 12,700 dwellings by 2031 for the City of Joondalup. In 2018, this infill target was revised to 20,670 dwellings by 2050 through the introduction of the *North-West Sub-regional Planning Framework*, as part of the *Perth and Peel @ 3.5 million* suite of documents. The framework also set out an 'additional dwellings' projection measuring the City's anticipated total number of dwellings by 2050. This projection anticipates the need for an additional 22,630 dwellings in the City of Joondalup by 2050. Excerpts from the North-West Sub-regional Planning Framework indicating infill targets and additional dwelling projections are shown below.

TABLE 4: Urban infill dwelling targets by local government

Local government	Dwelling target	Estimated population
Joondalup	20,670	45,470
Wanneroo	27,920	61,430
Total	48,590	106,900

TABLE 1.1: Existing and projected dwellings and population 2011–50

Local government	Existing dwellings (2011)	Existing population (2011)	Additional dwellings (2050)	Additional population (2050)	Total dwellings (2050)	Total population (2050)
Joondalup	58,560	162,210	22,630	41,350	81,190	203,560
Wanneroo	56,360	160,280	146,160	376,490	202,520	536,770
Total	114,920	322,490	168,790	417,840	283,710	740,330

The information in Table 1.1 identifies the existing and projected number of dwellings and population for the sub-region in 2011 and 2050, based on the draft framework scenario.

Dwelling Targets Analysis

Approach:

The *North-West Sub-Regional Planning Framework* provides the following definitions:

Infill or urban infill: *The redevelopment of existing urban areas at a higher density than currently exists.*

New urban areas (greenfield areas): *Undeveloped land that has been identified for future urban use as an Urban Expansion or Urban Investigation area.*

Based on guidance from the Department of Planning Lands and Heritage, and the date at which infill targets were first introduced, the benchmark year for this target analysis is determined as 2011.

There is minimal guidance provided to inform which areas are considered to be infill areas and which are considered new urban areas (greenfield). Given the limited undeveloped greenfield land remaining with the City of Joondalup, there is considered to be limited value in attempting to distinguish between greenfield and infill areas. As such, the following analysis focuses on assessing progress towards the total 'additional dwellings' projection for 2050 outlined in the *North-West Sub-regional Planning Framework*, rather than the 'urban infill' dwelling target.

Data Sources:

For the purpose of accurately assessing the progress towards the additional dwelling projection as set out in the *North-West Sub-regional Planning Framework*, a 'properties created' data set has been used.

The 'properties created' data is derived from the City's property and application database, Tech1. The data captures additional dwellings based on the rates classification being changed from 'vacant' to 'general' when a notice of completion is issued for a new build.

This dataset was considered the most appropriate and robust given it has minimal limitations and can therefore provide a high degree of certainty towards the accuracy of its outputs. Strengths and limitations of the dataset are noted below:

Strengths:

- Based on rated property data which gives certainty in dwelling completion
- Captures demolitions
- Data is available from the benchmark year (2011)
- Data is supplemented by a review of GIS aerial mapping for improved accuracy wherein new developments which have been constructed to roof completion have been counted.

Limitations:

- Based on rated properties so is dependent on submission of a notice of completion and the rates classification being updated in Tech1. While this delay has been accounted for in the data through the review of GIS ariel mapping, this process is subject to human error.

Additional dwelling numbers:

The following provides an overview of the statistics for additional dwellings constructed from January 2011 to June 2022. Data has been broken down into sub-categories which demonstrates how the additional dwellings have been delivered spatially and by typology.

It is noted that additional dwellings created in the Whitfords Activity Centre have been categorised as being additional to the activity centre and not additional to Housing Opportunity Area (HOA) 5 which overlaps the activity centre.

City of Joondalup

The following provides the total additional dwellings created in the City of Joondalup and the proportion developed inside and outside of HOAs.

Table 1 – City of Joondalup Total

Location	2011 – 2022 number	2011 – 2022 % of total
Outside HOA	1,944	67%
Inside HOA	994	33%
Total	2,938	100%

Housing Opportunity Areas

The following provides a breakdown of the additional dwellings created in each HOA.

Table 2 – HOA breakdown

Location	2011 – 2022 number	2011 – 2022 % of total
HOA 1	254	25.6%
HOA 2	49	4.9%
HOA 3	42	4.2%
HOA 4	76	7.6%
HOA 5	333	33.5%
HOA 6	86	8.7%
HOA 7	63	6.3%
HOA 8	38	3.8%
HOA 9	47	4.7%
HOA 10	6	0.6%
Total	994	100%

The above indicates a disparity of dwelling delivery between each HOA, with more than half of all new HOA dwellings created within HOA 1 and HOA 5. It is also noted that both HOA 1 and HOA 5 are spatially the two largest HOAs.

Activity Centres

The following provides the breakdown of the additional dwellings created within the higher order activity centres (secondary and above).

Table 3 – Activity Centres

Location	2011 – 2022 number	2011 – 2022 % of total
Joondalup Activity Centre	173	95%
Whitfords Activity Centre	9	5%
Warwick Activity Centre	0	0%
Total	182	100%

The above indicates a disparity between the delivery of additional dwellings between activity centres, with the Joondalup Activity Centre comprising 95% of total additional dwellings in activity centres between 2011 and 2022. It is also noted that the majority of the additional dwellings created in the Joondalup Activity Centre result from a single development (Arthouse).

Suburbs

The following provides the breakdown of all additional dwellings across each suburb, categorised into inside and outside of HOAs.

Table 4 – Suburb

Location	Outside HOA	Inside HOA	Total 2011 – 2022
Beldon	13	27	40
Burns Beach	427	n/a	427
Connolly	27	n/a	27
Craigie	210	153	363
Currambine	16	n/a	16
Duncraig	83	177	260
Edgewater	25	32	57
Greenwood	141	39	180
Heathridge	14	83	97
Hillarys	107	47	154
Iluka	268	n/a	268
Joondalup	178	6	184
Kallaroo	26	65	91
Kingsley	29	57	86
Kinross	66	n/a	66
Marmion	61	6	67
Mullaloo	60	n/a	60
Ocean Reef	62	n/a	62
Padbury	30	85	115
Sorrento	67	36	103
Warwick	4	142	146
Woodvale	30	39	69
Total	1,944	994	2,938

The above also includes dwellings created in activity centres.

Suburbs which are partially comprised of a HOA have notably contributed a greater portion of additional dwellings than suburbs which do not contain a HOA. Similarly, suburbs which have had some greenfield development capacity, such as Burns Beach and Iluka, have also contributed a greater portion of additional dwellings.

Structure Plan Areas

The following provides a breakdown of the additional dwellings created within structure plan areas.

Table 5 – Structure Plan areas

Location	2011 – 2022
MacNaughton Crescent Structure Plan (Kinross)	66
Hillarys Structure Plan	73
Marmion Structure Plan	7
(Former) Craigie Structure Plan	145
(Former) Camberwarra Structure Plan	59
Sheppard Way Structure Plan	2
Greenwood Structure Plan	77
Burns Beach Structure Plan	427
Iluka Structure Plan	268
Total	1,124

Structure plan areas have contributed approximately 38% of the total additional dwellings created in the City of Joondalup between 2011 and 2022. Structure plan areas are typically created over greenfield or brownfield sites (e.g. decommissioned school sites).

A number of the above structure plan areas have now been fully developed and the structure plans revoked.

Housing typologies

The below outlines the total additional dwellings created, broken down by property type. The property type are:

Green title: A property which has no common property areas that are shared and will typically accommodate a single, detached dwelling.

Survey strata: A property which has typically resulted from the subdivision of an existing green title lot. Survey strata lots operate essentially the same as a green title lot, however some survey strata properties can have commonly owned property (typically a driveway) which is utilised by each of the owners in the strata. Survey strata lots typically house single detached dwellings or grouped dwellings.

Multiple dwelling: Multiple dwellings occur where there is more than one dwelling on a lot and where any part of one dwelling is located vertically above any part of another dwelling. Multiple dwellings are commonly known as apartments.

Table 6 – Additional dwellings by typology

Location	Green title	Survey strata	Multiple dwelling	Total
Inside HOA	126	675	193	994
Outside HOA	1,360	281	303	2,042
Total	1,486	956	496	2,938

Approximately 50% of the total additional dwellings created were green title properties and 33% survey strata development accounted for the remaining 17% of additional dwellings comprised of multiple dwellings.

Considering all green title properties and a portion of survey strata properties created are associated with single detached dwellings, this indicates that an overall majority of the total additional dwellings created between 2011 – 2022 have been developed as single detached dwellings.

Table 7 outlines the total additional multiple dwellings created in higher order activity centres (secondary or above).

Table 7 – Multiple dwellings in activity centres

Location	2011 – 2022
Joondalup Activity Centre	170
Whitfords Activity Centre	7
Warwick Activity Centre	0
Total	177

Multiple dwelling developments comprised 98% of all the additional dwellings in the Joondalup Activity Centre and 77% of all the additional dwellings developed in the Whitfords Activity Centre. Generally, the uptake of multiple dwellings in activity centres has been low. The remainder of multiple dwelling developments outside of higher order activity centres have occurred in HOAs, and to a more limited extent in structure plan areas and local centres.

Delivery of 2050 Dwelling Targets:

Delivery of additional dwellings 2011 – 2022

The below table provides a summary the additional dwellings developed from 2011 to 2022.

Table 8 – Additional Dwellings by Planning Area

Planning Area	2011 – 2022 (number)	% Additional dwellings
Activity centres	182	6%
Housing opportunity areas	994	34%
Structure plan areas	1,124	38%
Residual low-density development	638	22%
Total	2,938	100%

Approximately 13% of the total 2050 dwelling projection has been delivered since 2011.

To meet the additional dwelling projection set out in the *North-West Sub-regional Planning Framework* by 2050, the remaining 87% of dwellings will need to be developed within the next 28 years.

Estimated dwelling yields

Table 9 provides a projection of potential dwelling yields to 2050 based on historic growth trends. The below projection assumes the following:

- Development rates between 2011 to 2022 will remain consistent to 2050 for each of the planning areas listed.
- Ocean Reef Marina has an anticipated development yield of 1300 additional dwellings and is assumed to be developed to capacity by 2050.
- Sorrento Activity Centre has recently received development approval for 75 additional dwellings and is assumed to be developed by 2050.
- Greenwood Structure Plan, Burns Beach Structure Plan and Iluka Structure Plan areas are assumed to have been developed to capacity by 2050 based on historical growth rates. As such the residual development capacity for these areas has been used.

Table 9: Estimated Additional Dwelling Yield by Planning Area

Planning Area	Historical growth rate (dwellings/year)	Additional dwellings 2050
Joondalup Activity Centre	15.7	440
Whitfords Activity Centre	1.3	36
Warwick Activity Centre	0.0	0
Ocean Reef Marina	0.0	1,300
Housing Opportunity Areas	165.7	4,639
Greenwood LDP	12.8	58
Burns Beach SP	38.8	333
Iluka SP	24.3	51
Total		6,857

The WAPC's *North-West Sub-Regional Planning Framework* establishes a projection of 22,630 additional dwellings by 2050. Given approximately 2,938 dwellings have already been created during the applicable period, a further 19,345 dwellings would need to be provided to achieve the target. A projection based on historic growth rates indicates that the 2050 dwelling projection will not be achieved, noting that market conditions may change in future which would affect this projection.



Building sustainable neighbourhoods

LIVEABILITY AND DIVERSITY FOR FUTURE GENERATIONS

Housing Supply and Demand Analysis

Date: February 2023

Key Findings

- **Population change:** Forecast Id. have estimated the City's population to increase by 19,104 to 181,841 by 2041, with the greatest increase being in retirement age bracket (64 and over).
- **Household types:** Families make up the majority of household type, smaller households (couples and singles) will have the greatest growth to 2041, increasing by 20%.
- **Current housing supply and demand:** 87% of the current housing supply is single houses, followed by medium-density (11%) and high density (1%). Sales data has indicated that when provided, there is an appetite for alternative housing types beyond single houses.
- **Future housing demand:** There will continue to be increasing demand for alternative forms of housing to a single house, largely driven by the younger population and aging population. The strongest demand will be for medium density housing, with there remaining a low preference for high density apartments.
- **Estimated future number of dwellings:** Forecast .id has estimated an additional 8,065 dwellings and Market Demand Analysis has estimated an additional 5,273 dwellings will be required by 2041.
- **Locational considerations:** The Consultation Outcomes Report suggests medium density should be focused around transport and activity centres and high density should be in higher order activity centres, such as the Joondalup City Centre. The Market Demand Analysis supports this notion, with areas of high amenity likely to be preferred for development of medium to high density housing.
- **Affordability:** 2.3% of households had an unmet need for affordable housing in 2021, with the greatest need being from family and lone person household types. The Consultation Outcomes Report also outlined that affordability was a key issue for future housing supply. While additional housing supply can be accommodated through a Local Planning Scheme and Strategy, Local Governments generally have limited influence over housing affordability, that require a broader state and/or national policy approach.

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Introduction

This report forms part of a suite of documents and reports to inform *building sustainable neighbourhoods*.

Building sustainable neighbourhoods: liveability and diversity for future generations is a significant strategic planning project being delivered by the City of Joondalup, which will review the housing component of the local planning strategy. The project forms part of a broader review of the City's local planning strategy.

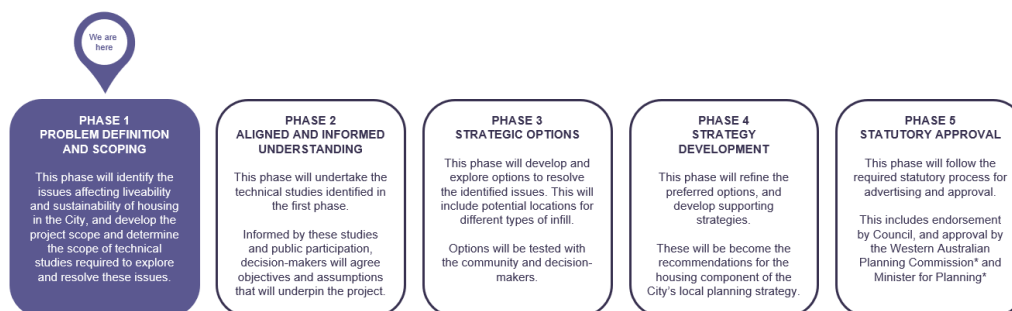
Project background

The *Planning and Development Act 2005* requires all local governments to maintain a local planning scheme, including regular five-yearly review of the operation of a scheme.

To inform the review of the City's *Local Planning Scheme No. 3*, a review of the City's *Local Planning Strategy* is required. Commencing a review of the City's Local Planning Strategy was scheduled for the 2022/23 financial year. At its May 2021 meeting, Council agreed to bring forward the review of the housing component of the Local Planning Strategy to 2021/22 in response to ongoing, expressed community concern regarding the impacts of infill housing. The decision follows a number of preceding projects, community consultations, and decisions with respect to housing and infill in the City of Joondalup.

All processes associated with preparing, reviewing, and amending local planning schemes and strategies are specified in the *Planning and Development (Local Planning Schemes) Regulations 2015*. In accordance with the regulations, the City of Joondalup will review both its Local Planning Strategy and Local Planning Scheme No. 3, with the review of the housing element being progressed as a distinct sub-project: *building sustainable neighbourhoods*.

Building sustainable neighbourhoods will make recommendations for how the City's strategic planning framework can meet the City's future housing needs, including where different housing densities and types should be located within the City. The project will identify, explore and develop planning recommendations for liveable streets and housing in the City of Joondalup across five project phases.



*all planning documents must comply with state requirements to be approved

The project is currently in its first phase: problem definition and scoping. As part of this phase, the City is undertaking initial analysis and community consultation to understand the full range of housing issues being experienced across the City to inform preparation of a detailed scope of works, including the range of technical studies that will inform the project.

Report purpose

This Housing Supply and Demand Analysis is a summary of the main findings from the following research:

- Market Demand Analysis – prepared by Urbis to review the existing housing stock across the City and the historical, current and expected future demand for different housing types across the City.
- Population and housing forecasts prepared by .id (Informed Decisions).
- The outcomes of the Community Intentions Survey and Housing Issues consultation undertaken by Research Solutions on behalf of the City.

The Housing Supply and Demand Analysis reviews the Market Demand Analysis, outcomes of the Community Intentions Survey and Housing Issues consultation (Consultation Outcomes Report), and population and housing forecasts prepared by .id (informed decisions) to identify future housing requirements and where there are gaps in the current housing market.

The Housing Supply and Demand Analysis is an input into the Issues Paper which will inform subsequent stages of the project.

Population and Household Trends

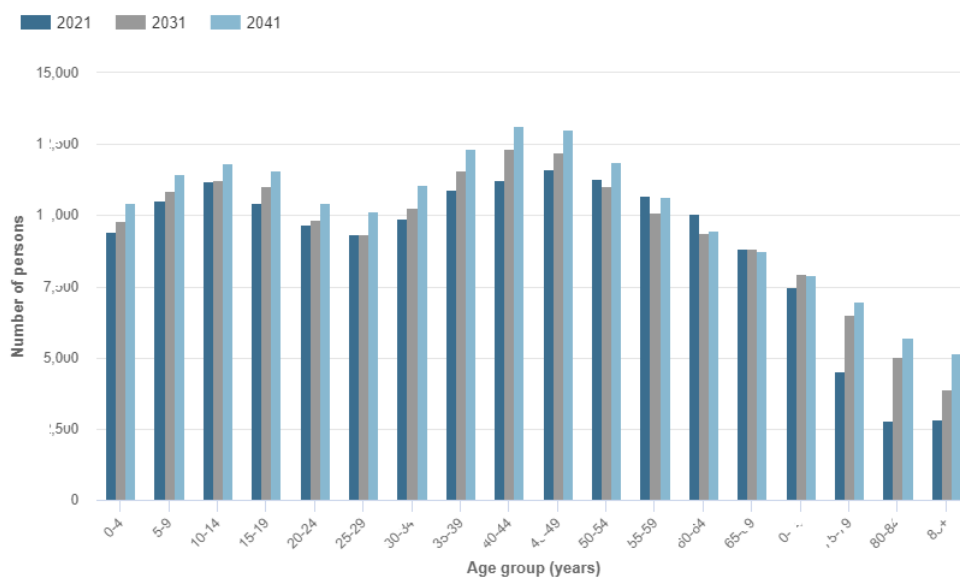
How the population is changing

At June 2021, the population of Joondalup was estimated to be 162,737. We have forecast that by 2041, Joondalup’s population will increase by 19,104 persons to a total population of 181,841, with an annual growth rate of 0.56%.

The dominant age group of Joondalup in 2021 was parents and homebuilders (35 to 49), accounting for 20.8% of the total population. By 2041, it is forecast that this will continue to be a dominant age group in the overall population. However, there will be considerable increase in the population of retirement age (64 and over), increasing by 21.9%. This is compared to 2.4% increase in those under working age (15 to 63) and 1.8% of working age. Refer to Figures 1 and 2.

Forecast age structure - 5 year age groups

City of Joondalup - Total persons



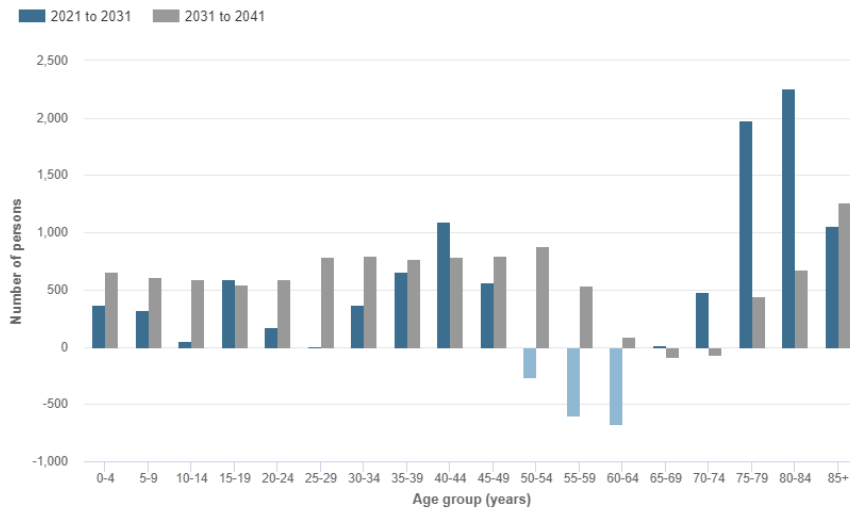
Source: Population and household forecasts, 2021 to 2041, prepared by id (informed decisions), December 2021.

Figure 1

From a housing perspective, the changes to the City of Joondalup’s population needs to be considered to ensure there is the appropriate number and type of housing to meet population needs.

Forecast change in age structure - 5 year age groups

City of Joondalup - Total persons

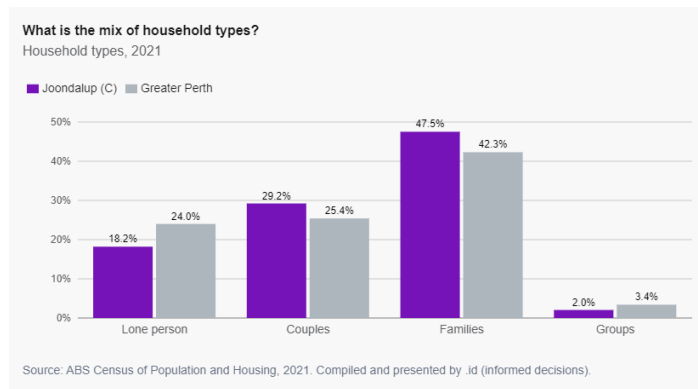


Source: Population and household forecasts, 2021 to 2041, prepared by .id (informed decisions), December 2021.

Figure 2

How people are living

In 2021, the dominant household type in the City of Joondalup was families (including couples with children and one parent families), being 27,964 households and comprising 47.5% of all households (Figure 3).



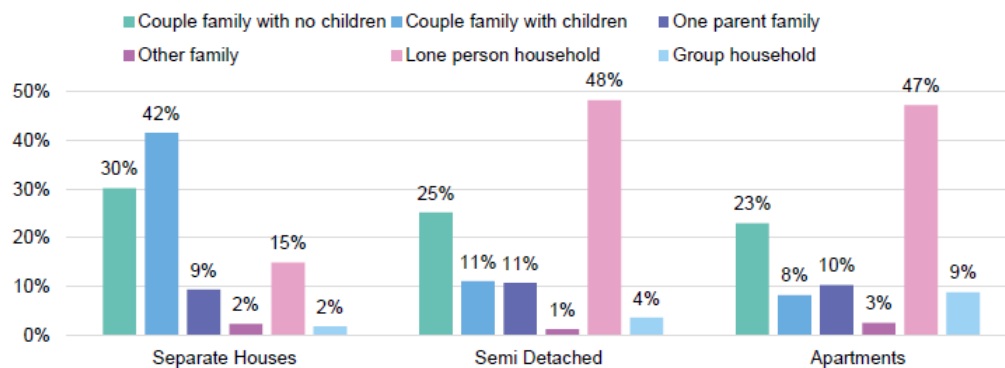
Source: ABS Census of Population and Housing, 2021. Compiled and presented by .id (informed decisions).

Figure 3

An analysis of the type of dwelling household types are living in (household composition) was undertaken as part of the Market Demand Analysis. The breakdown of the type of dwellings these households live in is shown in Figure 4, highlighting:

- Family households are more likely to live in a single dwelling, in particular couples with children.
- A higher proportion of one parent families live in semi-detached dwellings, than couples with children.
- While the majority of lone persons and group households are also living in single dwellings, they are more likely to live in semi-detached or apartment housing than families. Couples without children were the second largest cohort to live in non-detached housing.

Household Proportion by Composition of Dwelling Type, City of Joondalup, 2021



Source: ABS

Figure 4

It is noted that Joondalup has a high proportion of separate houses, making up approximately 87% of total housing supply. This is discussed further below, but the current housing supply would partially influence the type of housing these households live in. For example, the lack of medium density housing may mean a lone person household needs to live in a separate house, even if this is not their preferred housing type.

Emerging household types

The population and household structure forecasts prepared by .id indicate that all household types will see growth to 2041 (Figure 5).

Of the major household types, small households (lone persons and couples) are forecast to experience the most significant growth, with about a 20% increase. These households tend to be associated with ageing populations, although they can occur across the age spectrum. The increase in smaller households will see the average household size continue to decline, with it forecast to continue to decline from 2.74 in 2021 to 2.63 in 2041.

The change in household types needs to be considered to ensure that the housing stock is appropriate to meet their needs.

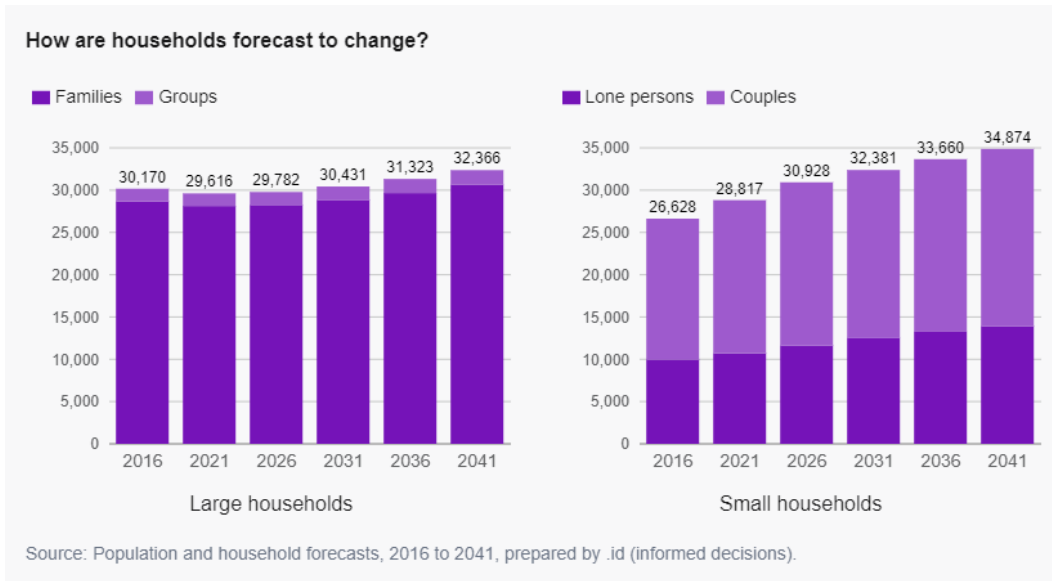









Figure 5

Current Housing Supply and Demand

Current housing stock

In 2021, there were 62,090 occupied dwellings in Joondalup. Of these, 87% were separate houses, 11% medium density and 1% high density. The breakdown of current housing stock as provided in the Market Demand Analysis is provided in Figure 6.

City of Joondalup Housing Snapshot, 2021			
HOUSING TYPOLOGY		AMOUNT (NO.)	PROPORTION OF HOUSING STOCK (%)
	 Population	160,003	-
LOW DENSITY	 Single house	54,372	87%
	 Semi-detached / grouped houses (1 storey)	4072	7%
MEDIUM DENSITY	 Grouped / terraced townhouses (2 storeys)	1483	2%
	 Low-rise apartments	1,268	2%
HIGH DENSITY	 High density apartments	647	1%
	 Other dwelling types	248	0.4%
Total		62,090	-

Source: ABS 2021 Census

Note: "Not stated" and "Not applicable" have been excluded from dwelling types. Further details are in the appendix.

Figure 6

The distribution of housing typologies across Joondalup is shown in Figure 7. Except for the Joondalup City Centre, separate houses are the dominant dwelling type across all suburbs, with there being only seven suburbs where medium density made up more than 10% of total dwellings in the suburb. The increase in medium density in some of these areas can be attributed to more recent redevelopment in Housing Opportunity Areas, being the locations currently identified for infill development at medium density by the City's current *Local Housing Strategy* and *Local Planning Strategy*. High density development is currently only located in the Joondalup City Centre, noting that planning approvals have been issued for high density development in the Whitfords Activity Centre and Sorrento Activity Centre, but construction has not commenced.

In terms of current supply, the Consultation Outcomes Report also indicated that there was a lack of diverse housing choices across the City of Joondalup, with community members expressing views that there is too little housing available, little if any is affordable and there is too little diversity in terms of style and location to meet need. This issue includes both homes to rent and homes to buy.

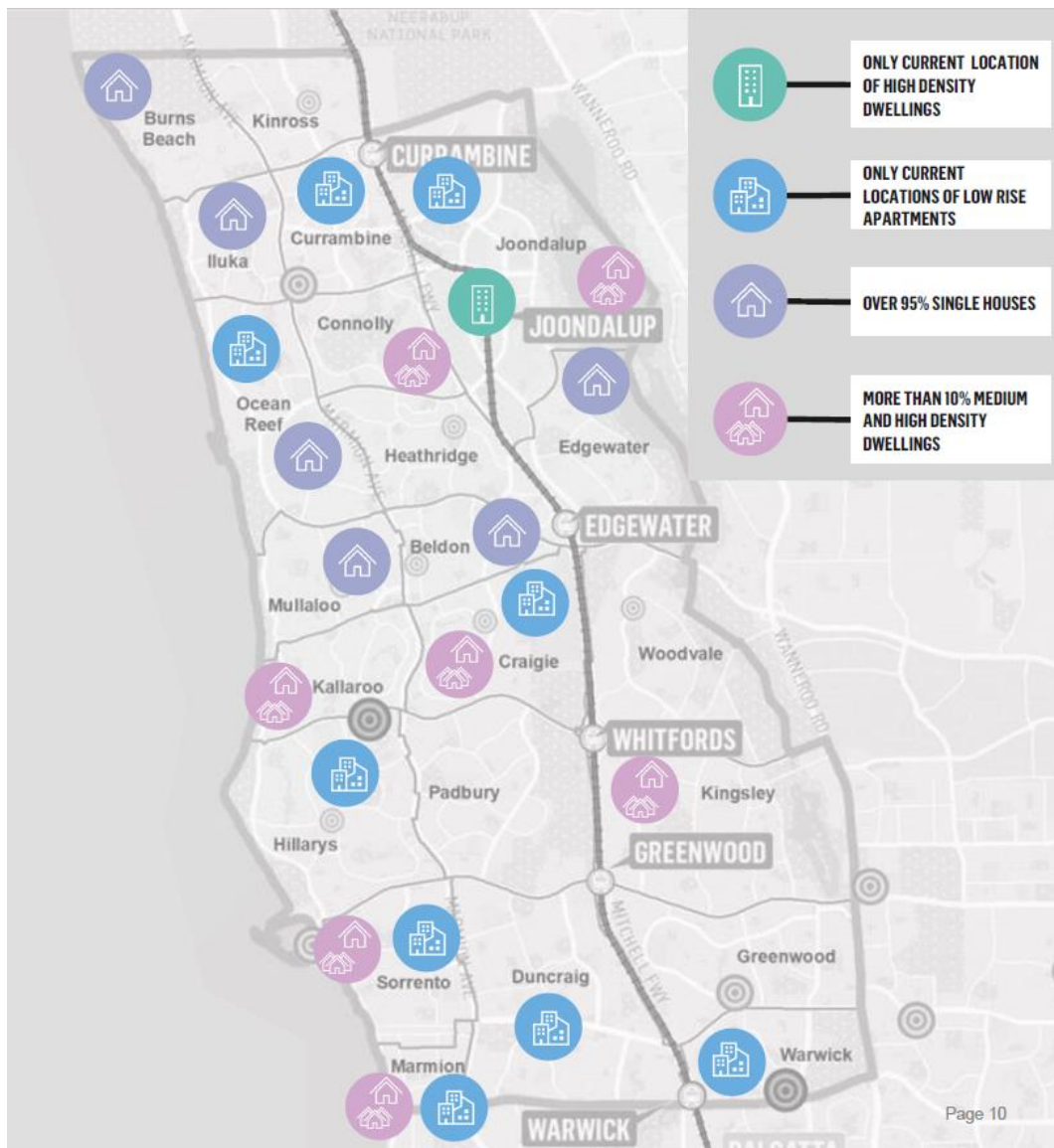


Figure 7

Housing Stress and Affordability

Housing stress

Housing stress is a specific term which refers to households having trouble meeting their financial housing obligations – rent or mortgage payments. For those who are purchasing or renting their dwellings, the definition of housing stress used by the State Government is households in prescribed income brackets spending more than 30% of their gross household income on either rent or mortgage repayments.

Housing stress is the most tangible measure of how many households in an area may be in financial difficulties, and directly correlates to affordability – if many households are in housing stress, it directly indicates that housing is unaffordable, but many people may have a necessity to live in the area, and so are paying this anyway.

In 2021, the City estimated 7.5% of all households (4,404 households) in the City of Joondalup were classed as being in housing stress:

- Of the 26,268 households with a mortgage in the City of Joondalup, 2,081 (7.9%) are in mortgage stress. This is lower than the Greater Perth average.
- Of the 8,870 households in private rentals in the City of Joondalup, 2,323 (26.2%) are in rental stress. This is comparable to the Greater Perth average.

Affordable housing need

Affordable housing need is the total of households unable to access housing provided by the market, or requiring some form of housing assistance in the private rental market to avoid a position of rental stress over the long term (greater than a year).

As stated above, affordability is based on:

- a first homebuyer spending more than 30% of gross income on a mortgage (based on a set of assumptions about deposit and interest rates), or
- spending more than 30% gross income on rent.

Affordable housing need is estimated for the following groups:

- Those experiencing homelessness
- Marginally housed
- Very low, low and moderate income households in rental stress
- Households in social housing.

Unmet need is based on the groups above, excluding households in social housing as their need is met.

At 2021, it is estimated that 1,305 households have an unmet need for affordable housing in Joondalup. This represents 2.3% of all households. The greatest need was for family and lone person household types, as shown in Figure 8.

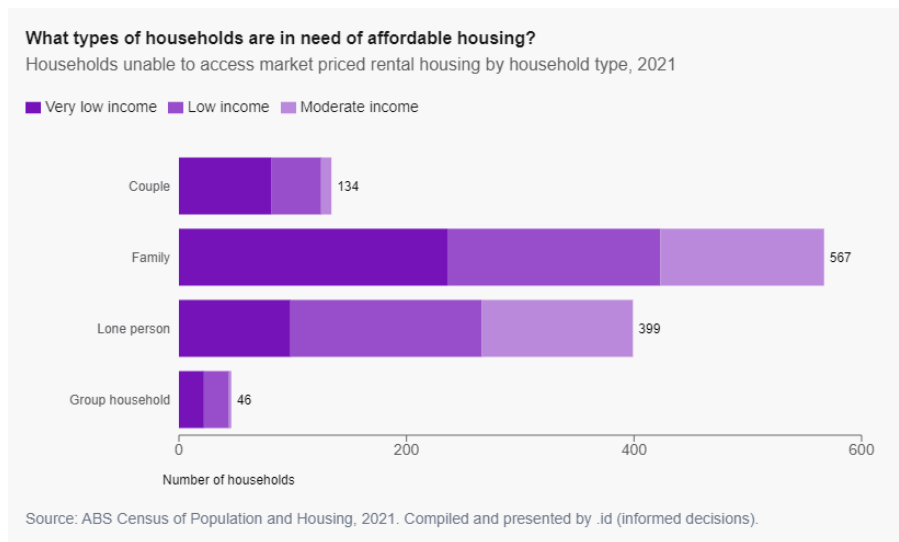


Figure 8

Availability of affordable housing

To demonstrate the supply of affordable housing, .id has undertaken an analysis to determine the number of sales and rentals in the City of Joondalup that would be considered affordable based on household incomes (spending no more than 30% gross household income on housing).

The availability of affordable housing for purchase and rent is shown in Figures 9 and 10 respectively. This shows that housing is generally unaffordable for very low and low income households.

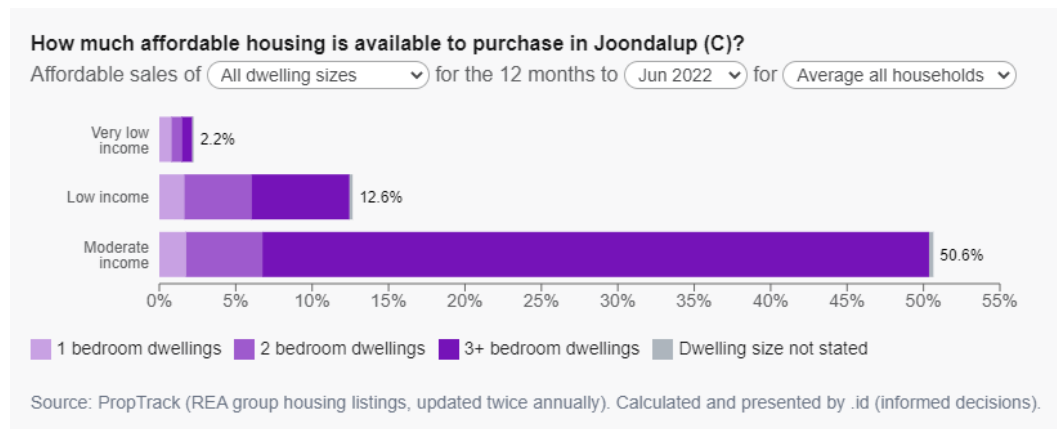


Figure 9

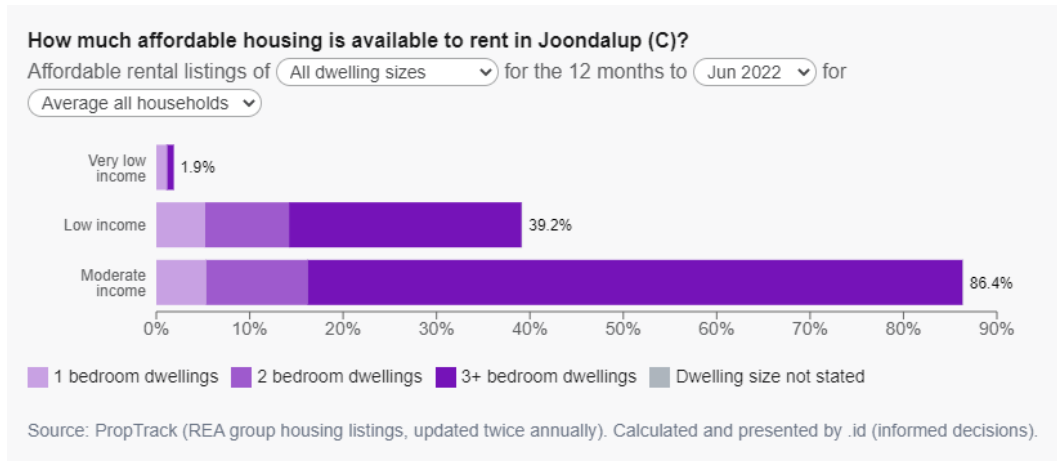


Figure 10

This data supports the feedback received during the consultation that housing in the City Joondalup is largely unaffordable for some households. The consultation outcomes report shows that young people identified housing affordability as their greatest housing issue/concern. It also showed that affordability and lack of housing diversity impacted on people from three main categories: renters, downsizers and young people. These are the demographics most likely to be impacted by affordability.

Future Housing Trends and Demand

Market trends

The Market Demand Analysis has identified the key market trends as influencing housing supply and demand within the City of Joondalup (Figure 11).

INCREASING HOUSE PRICES



After a prolonged period of limited price growth from 2015 - 2019, house and unit prices have increased across the City of Joondalup since 2020. Over the same time period apartment prices have fallen, likely reflecting the aging of existing stock and lack of new apartment projects on the market.

RENTAL STRESS



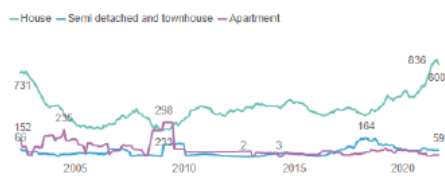
Rental stress in the City of Joondalup has increased very significantly over the last decade, from 5.8% of renters in 2011 to 29.7% in 2021, with minimal change in the proportion of residents renting. While this trend has been seen across WA and nationally, the increase in rental stress in Joondalup is more substantial.

SINGLE DWELLINGS



In recent years, the proportion of dwelling approvals across the City of Joondalup comprised of single houses increased significantly. This activity was catalysed by the economic stimulus measures during the pandemic.

DWELLING APPROVALS BY TYPE, CITY OF JOONDALUP



Sources: ABS 2021 and 2011 Census, ABS, Landgate, Urbis Essentials

LARGER HOUSES, SMALLER LOTS



Over the last decade in the City of Joondalup, more new properties have either 4+ bedrooms or 2 or less bedrooms. At the same time the proportion of semi-detached dwellings in the City of Joondalup has increased, while the proportion of single houses decreased slightly.

This means more houses are being built with a smaller footprint but provide larger accommodation inside. This is in line with the trend seen in WA and across Australia.

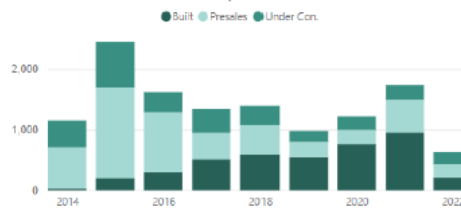
NEW APARTMENT SALES STAGNATING



New apartment sales across Perth have dropped significantly from 2021 levels to historic lows. Increasing inflation, especially for construction costs, is a key driver of this trend and has limited the viability of apartment projects.

There are currently no new apartment projects (greater than 25 dwellings) in pre-sales within the City of Joondalup, which will limit future apartment sales.

APARTMENT SALES BY STATUS, PERTH*



Source: Urbis
* These sales only include survey apartment projects captured by Urbis' Apartment Essentials database.

Figure 11

An analysis of new house sales undertaken as part of the Market Demand Analysis has shown that there is an appetite for non-detached housing. While house sales comprised the largest volume of sales (due to availability), there was also strong demand in sales of apartments and semi-detached/medium density housing.

At a suburb level, the review highlighted that a number of suburbs have experienced increased demand and supply of medium density development; particularly, Currambine, Iluka and Joondalup. While in some suburbs there were low level of sales of non-detached housing, this does not necessarily imply a lack of demand, as supply is influenced by a range of other factors such as market viability, land availability and policy controls (e.g. the City's Housing Opportunity Areas). Nonetheless, the analysis concluded that there was an appetite for medium density housing across the majority of the City's suburbs. Refer to Figure 12 below.

Apartment projects in the Joondalup City Centre (e.g. the 18 storey Arthouse development) have demonstrated that there is demand for well-located and quality development at a larger scale and there would likely be similar demand for infill development in high amenity, coastal locations if there were appropriately located, zoned sites and suitable market conditions to support required prices.

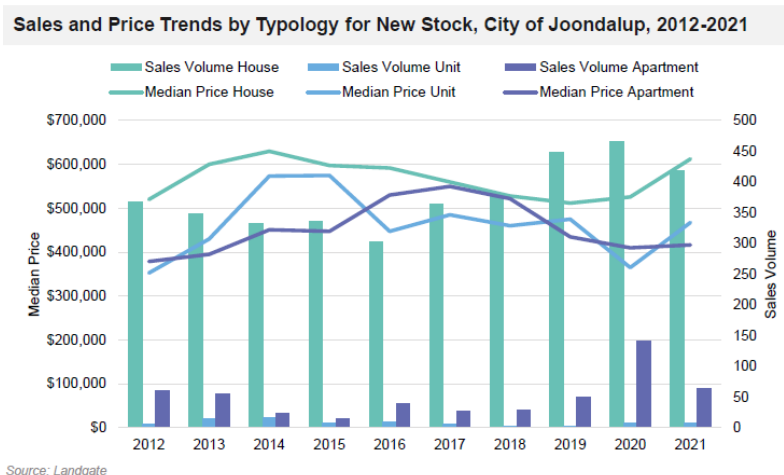


Figure 12

Future housing demand

The forecast increase in population and change in demographics will see a continued trend of a higher percentage of lone and couple households. While family households will still be the dominant household type in the City of Joondalup, this shift will see a growing demand for a more diverse housing stock.

Based on population growth and falling average household size, .id have forecast there will be a growth of 6,024 dwellings to 2031 and 8,065 dwellings to 2041.

The Market Demand Analysis has used a different methodology to forecast the future number of dwellings. The approach uses the age profile of the population and translates into household types (lone households, families etc.) and then applies the dwelling preferences for these households. Refer to figure 13.

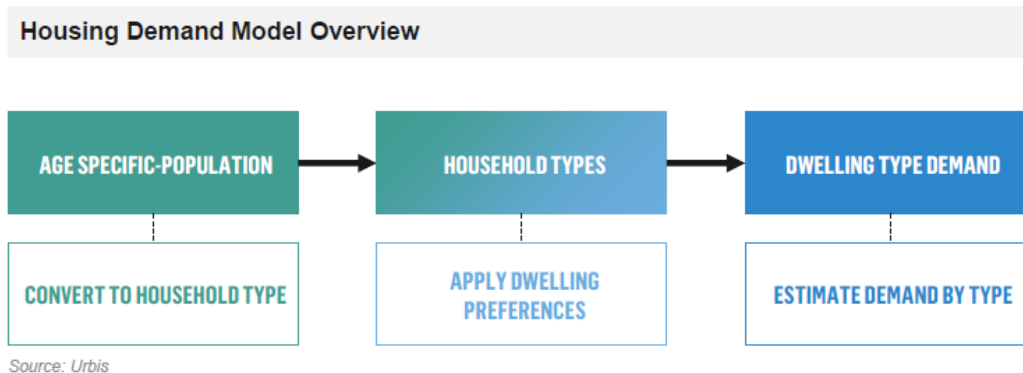


Figure 13

Using this methodology, two scenarios have been calculated:

- Based on current housing preferences in the City of Joondalup, where single houses remain the dominant housing choice for all household types, it is forecast an additional 6,569 dwellings will be needed by 2041.
- Based on a shift in household preferences, with smaller households preferring medium density and high density, it is forecast 5,273 dwellings will be required, with a reduction in single houses (due to demolitions) and construction of more medium density, and to a lesser extent, higher density. This alternative scenario also reflects what has occurred in other local government areas, in particular, the City of Stirling.

These scenarios are shown in Figure 14 below.

Future Dwelling Demand Scenarios					
DEMAND	YEAR	DETACHED HOUSES	UNITS & TOWNHOUSES	APARTMENTS (3+ STOREY)	TOTAL
Base Case Scenario	2021	53,386	5,905	521	59,811
	2031	55,529	6,238	551	62,319
	2041	59,093	6,695	592	66,380
	Net Demand	5,708	790	71	6,569
Alternative Scenario	2041	50,055	14,347	682	65,084
	Net Demand	-3,331	8,442	162	5,273
Proportion of Total Dwelling Stock					
Base Case Scenario	2021	89.3%	9.9%	0.9%	100%
	2031	89.1%	10.0%	0.9%	100%
	2041	89.0%	10.1%	0.9%	100%
Alternative Scenario	2041	86.9%	12.0%	1.1%	100%

Source: Urbis, ABS
 Note: Dwellings exclude non-private (e.g. short stay accommodation, aged care), unoccupied, and other (e.g. caravan, houseboat)

Figure 14

The results of the housing intentions survey undertaken by Research Solutions on behalf of the City have found that there is an increasing trend towards people wanting medium density

housing, and to a lesser extent, high density housing in the next 10 years (Figure 15). When survey participants were asked about their housing preferences and minimum acceptable housing choice, the proportion of respondents selecting medium density doubled between current housing in 2022 and preferences in 2032.

Figure B – Current and future housing preferences by density

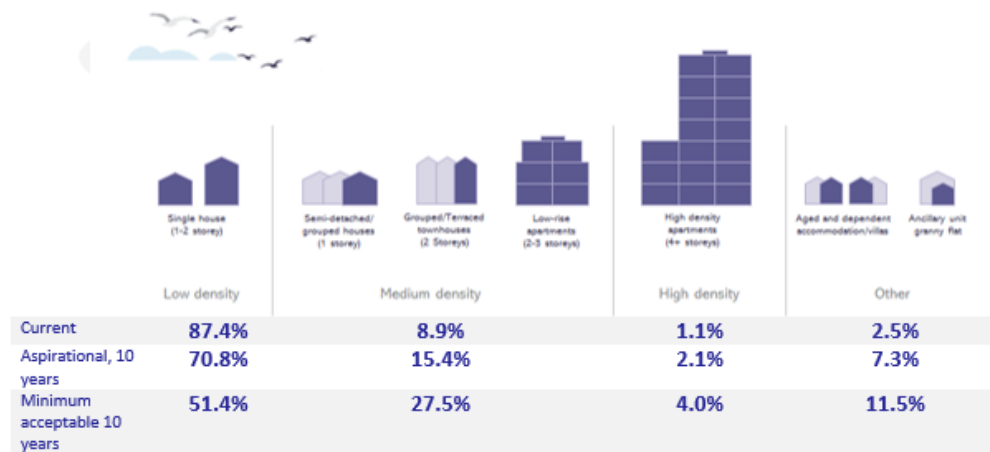


Figure 15

The increasing demand for medium and high density housing in the survey was largely driven by the younger participants and over 75 when participants considered downsizing. For families with children under 12, low density housing options remained a very strong preference both in 2022 and 2032.

It is noted that the percentage used in the alternative scenario for the Market Demand Analysis to calculate future housing demand is similar to the aspirational housing preferences of the survey. This further supports the assumptions used in the Market Demand Analysis, whereby it was determined that 5,273 dwellings would be required between 2021 to 2041.

Affordability will continue to be a challenge and was a key issue raised by the community through the community consultation. Affordability may also influence housing choice. For example, the price of a separate dwelling may force households to consider alternative housing types. The minimum acceptable housing preference at 10 years from the Community Outcomes Report (shown in Figure 15 above) can be an indicator of this, where a household may be willing to make a trade off for medium density if it is more affordable than a detached house.

Housing delivery preferences

The delivery of additional housing in the City of Joondalup will mostly be required through infill development, given the lack of currently undeveloped areas which have been zoned for future

residential land use (greenfields). When considering appropriate locations for medium and high density, the Market Demand Analysis has summarised key factors to be considered in Figure 16.



Figure 16

Other considerations such as demographic, amenity and market factors influence the viability of medium density development (R30 to R60) and high-density development (R80 or higher) in different areas. Some of these influences are outlined in Figure 17 below.

Medium and High Density Viability Success Factors		
	CRITERIA	DESCRIPTION
DEMOGRAPHIC PROFILE Existing or emerging population of smaller households	Household demographics	Understanding the demographic mix suitable for new development / redevelopment areas is fundamental to the suitable market positioning of the development. Medium and high density dwellings are typically favoured in areas with high proportions of lone persons, group households, and younger couple families without children.
	Proximity to employment centres	A key factor in determining higher density dwelling demand is the distance of the development from the CBD and other key employment nodes. People value living close to places of work. This particularly applies to young professionals and singles without children.
SUBURB AMENITY High amenity and well-connected locations or streets	Retail & entertainment amenity	One benefit of higher density living is often good access to a wide variety of entertainment, recreation, retail and service facilities. This is due to the critical mass of the denser population being able to support a wide range of facilities that may not be available in low density areas.
	Access to public open space	Given the fact that higher density dwellings typically have less outdoor space do not feature backyards, ready access to quality public space within comfortable walking distance that is safe and well maintained can be a decisive factor for many potential buyers.
	Access to public transport and major roadways	Medium and high density options located within close proximity to train stations and other high frequency public transport support more intensive forms of development. Being within walking distance of a train station is particularly attractive to workers commuting into the CBD or other places of employment.
	Views / aspect	Views of attractive natural amenities can be a powerful attractor for potential buyers, while a lack of views can be a deal breaker if there is substantial competition in the area. A northerly aspect is also a positive factor in influencing apartment demand.
MARKET FUNDAMENTALS Dwellings are affordable, at around 70-80% of the suburb median house price	Established property values	Medium and high density dwellings compete not just with traditional housing. Given 'space' is a key trade off for living in a smaller dwelling, the value of other housing types is a considerable factor influencing viability of higher density dwellings. If the price of a detached dwelling is equivalent to a new apartment or townhouse price, it is unlikely that the apartment or townhouse development will offer a significant value proposition to purchasers.
	Development context & competition	High levels of competition in an area often make it more difficult to sell medium and high density dwelling stock, particularly in areas that have relatively low market depth for higher density developments. However, clusters of higher density dwellings in particular areas can be an indicator of a fundamentally strong market for higher density housing types in an area.

Figure 17

The Consultation Outcomes Report also provides insights into factors raised by the community that may influence the success of medium and high density development in City of Joondalup:

- **Access to housing:** There is an indicative preference for diverse and affordable housing choices to be provided across the City of Joondalup, with a particular focus of density around activity centres and transport. In relation to apartments, it was preferable that high density should be focused around Joondalup City Centre and low-rise apartment buildings are seen as appropriate where services and facilities are nearby to support medium-density living. This need was most apparent among the young, renters and elderly people looking for a lifestyle change.
- **Liveability:** Need to ensure quality streetscapes and maintain liveability standards for the existing community and deliver housing that meets the needs for intended residents.

- Sustainability: Infill should be done in a sustainable way that reduces environmental footprint and that current infrastructure needs to be upgraded to support sustainability goals (e.g. transport infrastructure).

Conclusion

The forecasting, Market Demand Analysis and Consultation Outcomes Report have all demonstrated that currently there is likely to be an undersupply of medium density housing. Forecast population changes and resulting changes to household structures will likely see the demand for medium density increasing to 2041. There will remain relatively low demand for higher density living.

In terms of locational considerations for medium and high density, given the limited currently undeveloped areas which have been zoned for future residential land use (greenfields) sites available will need to be delivered through infill. The Consultation Outcomes Report demonstrates that there is a preference for medium density housing to be provided across the suburbs, with a particular focus around transport and activity centres. High density should be focused around higher order activity centres, such as the Joondalup City Centre and other larger activity centres. Other locational factors will also influence the demand, with areas of high amenity likely to drive a greater demand for medium density housing.

Affordability will also be a challenge, noting that the Consultation Outcomes Report shows this was a key issue among the community. While additional affordable housing supply can be accommodated through a Local Planning Scheme and Strategy, local governments generally have limited influence over housing affordability. Broader review of state and national policy positions relating to economic and population factors influencing affordability is required to effect meaningful change in housing affordability in Australia.



CITY OF JOONDALUP: RESIDENTIAL MARKET DEMAND ANALYSIS

Prepared for City of Joondalup
November 2022

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EXECUTIVE SUMMARY

To support a review of housing and density issues across the City of Joondalup, this study assessed the existing housing stock across the City and the historical, current and expected future demand for different housing typologies across the locality.

CURRENT HOUSING STOCK

The existing housing stock across the City is predominantly **single houses**, with **87%** of total housing stock of this type. High density housing is only located within the suburb of Joondalup and forms only **1%** of total housing stock.

The current household types reflect the typical makeup of an **ageing urban growth area**, with families with children forming a very high proportion of households at 65%.

MARKET TRENDS

New building activity is largely single house construction despite increasing land values and geographical and physical limitations in the City. However, there is evidence of the impact of price and supply pressure on the market leading to increased apartment development (with an estimated 200+ new apartments sold during 2020 and 2021). Current and near term (i.e. next 1-2 years) apartment supply in the City is expected to be minimal which reflects the impact of rising construction costs on the viability of medium and high density development.

This review additionally highlighted that a number of suburbs have experienced increased demand and supply of medium density development (particularly, the Currambine, Iluka and Joondalup suburbs) and that there has been demand for medium density across the vast majority of the City's suburbs over the past decade.

FUTURE MARKET DEMAND

Two future scenarios were modelled for future demand. The first used current dwelling preferences across the City of Joondalup (base case). The second adopted dwelling preferences informed by an urban area further along the urban renewal timeline (alternative scenario).

The base case scenario remains highly focused on providing single dwellings as the predominate new dwelling stock and the alternative scenario illustrates a greater diversity of demand for medium and high density housing stock (with these typologies expected to more than double in volume over the next 20 years), while single dwellings remain an important future product.

It is important to note that the demand analysis does not consider the ability of the urban form and policy framework to support these outcomes. It is nonetheless apparent that for the City of Joondalup population to grow, alternative dwelling types beyond single houses will be required. As such, the alternative scenario is considered to be more representative of the future housing demand than the base case scenario.

Whilst the analysis details potential future demand at a City-wide level, a medium and high density success factor framework has been provided to help inform which areas in the City could be better placed to accommodate this need. It is recommended however that market viability (both current and forecast) is explored for key locations to help understand if market fundamentals align with housing needs and policy controls.

INTRODUCTION



BACKGROUND & APPROACH

Access to affordable, diverse and liveable housing in the City of Joondalup is crucial to the development of diverse, vibrant and sustainable communities. It allows people to establish roots within their community, can facilitate ageing in place, improve the efficiency of the urban form by encouraging transit-oriented development, protect and enhance the amenity of residential areas and streetscapes, and facilitate urban renewal and investment across the City.

As such, the City of Joondalup have commenced a review of housing and density issues across the entire City. The scope of the review will include all housing and accommodation matters for the City, not just infill.

The initial project phase of the “housing review” is technical analysis and community consultation to identify the key housing issues within the City, which will inform the detailed project scope, including technical studies required, for later project phases.

To support above, the City has appointed Urbis to undertake a desktop study to analyse the existing housing stock across the City and the current, emerging and future demand for different housing typologies.

A study approach was based on seeking to understand:

- The current housing stock by typology across the City;
- The observed preferences for housing;
- The future housing demand; and
- Key housing market trends relevant to the City.

REPORT STRUCTURE

This report is structured as follows.

- **Local Context:** An overview of the geographical study area and housing typologies.
- **Housing Stock Benchmarking:** Analysis of the existing housing stock by typology for the study area and comparable local government areas.
- **Market Trends:** Analysis of historical demand and housing trends.
- **Market Demand Analysis:** Estimates of future housing demand for the City of Joondalup.

The appendix includes additional housing stock and demand market data to support the housing review.

01

LOCAL CONTEXT



LOCAL CONTEXT | GEOGRAPHICAL STUDY AREA

Overview

The City of Joondalup comprises the study area for this report.

Location

The City of Joondalup (City) is located 10 km from Perth CBD, and stretches a further 20 km north along the coast, covering 99 square kilometres in total.

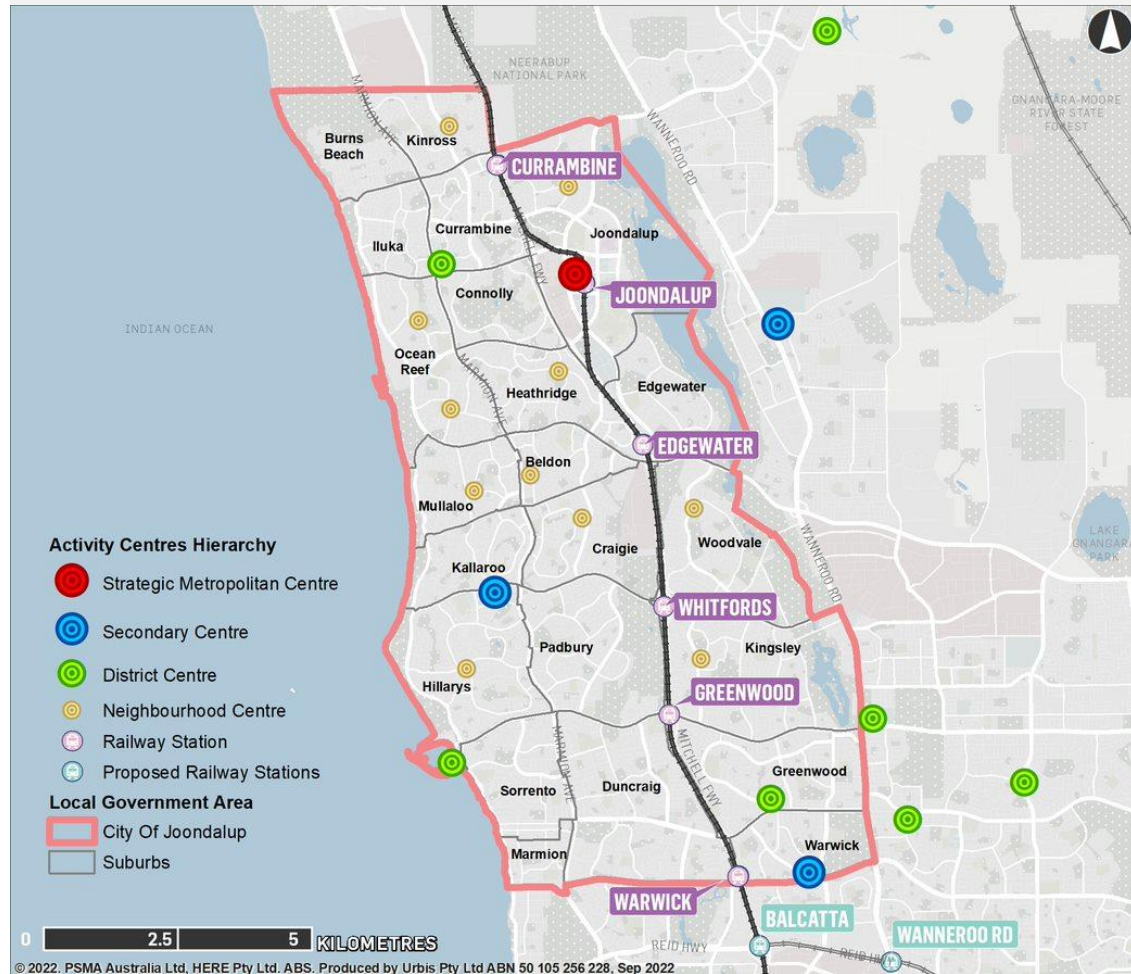
Joondalup City Centre is the key focal point for office, medical and other major commercial development, and is served by the northern passenger rail line.

Housing Context

This area includes long-established suburbs to the south with housing stock primarily built in the 1970s – 90s, with development further north occurring later with housing stock in these areas typically newer. There are some areas of Burns Beach and Iluka to the north which are still greenfield development areas.

The type of housing stock across the majority of the City of Joondalup reflects the context of the time during which housing stock was built. As a past and current housing growth frontier, single housing has typically been built and remains the key housing typology across the City.

Study Area



LOCAL CONTEXT | HOUSING TYPES

Key Findings


Housing stock has been profiled for this analysis in terms of the density, which captures the differences in the way the dwellings are constructed and they way they visually impact their neighbourhoods.

The following housing typologies have been profiled:

- Low density;
- Medium density; and
- High density.

Summary definitions of these typologies and examples are shown in the table to the right. Full definitions are available in the appendix.

OTHER



ANCILLARY UNIT



A "Fonzi" or "Granny" Flat; a self contained, small unit on the same property as an existing primary dwelling.

Housing Typology Definitions

LOW DENSITY



SINGLE HOUSE (1-2 STOREY)

A standard house with a backyard. Typically, would be on a single lot. Potential for one wall of the dwelling to be "attached" or built on boundary based on current R20 coding of the City's suburban area.



MEDIUM DENSITY



SEMI-DETACHED / GROUPED HOUSES (1 STOREY)

Grouped houses are a smaller house (typically single storey) with a small outdoor living area/courtyard. Terraced townhouses are a small, double storey home with a courtyard.



GROUPED / TERRACED TOWNHOUSES (2 STOREYS)

Could be on a single lot with a shared boundary wall with a neighboring house or part of a strata (duplex or triplex) Typically including the desired 2-3 bedrooms comes with a compromise of reduced indoor or outdoor living space, or reduced/reconfigured car parking (e.g., tandem).

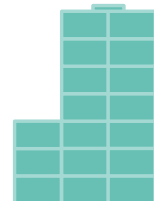


LOW RISE APARTMENTS (2-3 STOREYS)

An apartment in a low-rise building (2-3 storey) that may have modest common facilities including a meeting spot/communal garden or gathering space



HIGH DENSITY



An apartment in a high-rise building (4+ storeys)

Complex would have common facilities including a meeting spot/communal garden or gathering space. May also include a pool, gym and BBQ spaces depending on the scale of the complex.



Source: City of Joondalup

02

HOUSING STOCK BENCHMARKING



HOUSING STOCK BENCHMARKING | EXISTING HOUSING STOCK OVERVIEW








Key Findings

The current housing stock was profiled using ABS Census 2021 data. A summary of the results are shown in the table, right, and detailed results by suburb are in the appendix.

The current housing stock in the City is comprised primarily of low density single houses (87%), with a small proportion of medium density dwellings (11%), and minimal high density (1%).

'Other' dwelling types, such as retirement living, short-stay accommodation and ancillary dwellings are included in this data. There are a number of retirement villages located within the City, with the majority in the southern, longer-established suburbs.

City of Joondalup Housing Snapshot, 2021

HOUSING TYPOLOGY	AMOUNT (NO.)	PROPORTION OF HOUSING STOCK (%)
 Population	160,003	-
LOW DENSITY  Single house	54,372	87%
 Semi-detached / grouped houses (1 storey)	4072	7%
MEDIUM DENSITY  Grouped / terraced townhouses (2 storeys)	1483	2%
 Low-rise apartments	1,268	2%
HIGH DENSITY  High density apartments	647	1%
 Other dwelling types	248	0.4%
Total	62,090	-

Source: ABS 2021 Census

Note: "Not stated" and "Not applicable" have been excluded from dwelling types. Further details are in the appendix.

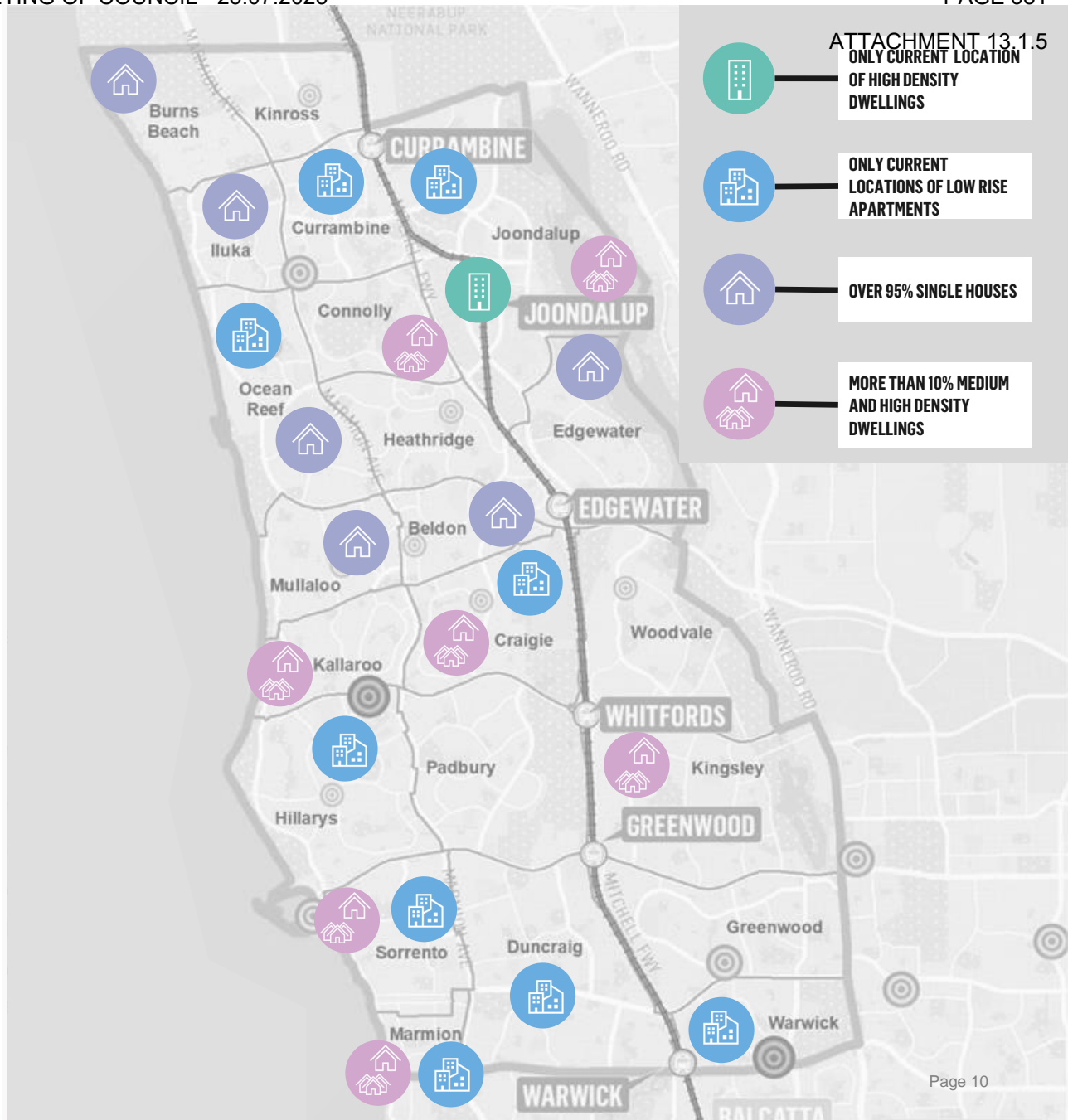
HOUSING STOCK BENCHMARKING | HOUSING TYPOLOGY HOTSPOTS

The current housing stock by suburb showed some key housing type trends. These are summarised below.

- The majority of suburbs had very high levels of single housing, low proportions of medium density housing and no high density housing.
- A small number of suburbs were comprised of 95%+ single housing.
- High density housing is restricted only to the suburb of Joondalup.
- Within the medium density housing typology, the majority of dwellings were single-storey semi-detached and double-storey terraces / townhouses.
- Medium density low-rise apartments were only present in nine suburbs. These suburbs had key characteristics that make this type of development viable and attractive, including coastal location, high median property value, or are a City Centre location.
- Only a small number of suburbs had housing stock diversity of more than 10% medium and high density dwellings.

Some suburbs did not have any key trends highlighted. These were typically comprised primarily of single housing with a small amount of medium density housing.

Detailed information for all suburbs, including those not highlighted on this page, is in the appendix.



HOUSING STOCK BENCHMARKING | EXISTING HOUSING STOCK COMPARISONS

Key Findings

Benchmark LGAs








Three additional local government areas (LGAs) were profiled to compare the housing stock with the City of Joondalup. The Cities of Cockburn, Rockingham and Stirling were selected as they represent areas that have longer-established housing stock, coastal locations and median house prices within a similar range. These LGAs demonstrate the potential housing and population profile of the City of Joondalup in the medium to long term future as the population matures and the development frontier shifts elsewhere.

Benchmarking Results

The Cities of Cockburn and Rockingham have similar profiles to the City of Joondalup in terms of housing diversity. Cockburn has higher levels of medium density housing (14%) and slightly higher levels of high density housing (3%). Rockingham, with a typically lower price-point for housing and therefore minimal drivers for higher density dwellings is highly characterised by single housing (91%).

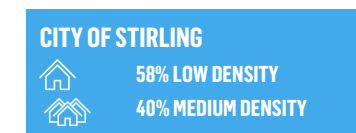
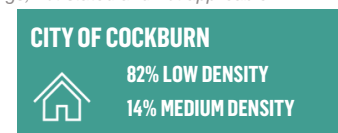
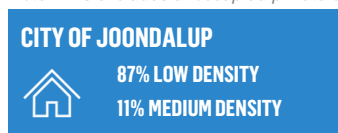
The City of Stirling shows a significantly different housing stock profile, with 58% low density and 40% medium density. Similar to the City of Joondalup and the other benchmarked suburbs, Stirling has minimal high density housing stock. Infill development from redeveloped single housing lots appears to comprise a significant proportion of medium density development.

Housing Typology Benchmark, 2021

HOUSING TYPOLOGY	JOONDALUP	COCKBURN	ROCKINGHAM	STIRLING
 Population	160,003	118,091	135,678	226,369
 Single house	87%	82%	91%	58%
 Semi-detached group houses	7%	9%	5%	24%
 Grouped / terrace townhouse	2%	2%	1%	8%
 Low-rise apartments	2%	3%	3%	8%
 High Density apartments	1%	3%	1%	1%
 Other dwelling types	0.4%	0.5%	0.6%	0.1%

Source: ABS 2021 Census

Note: This excludes unoccupied private dwellings, not stated and not applicable.



HOUSING STOCK BENCHMARKING | HOUSEHOLD ATTRIBUTES

Key Findings

The household composition of existing dwellings reflects the past and current preferences of City residents to live in different dwellings types, given the available supply.

The breakdown of dwelling types in the City is shown top right, while the composition of family types within each dwelling type is shown bottom right.

Observed Preference for Dwelling Types

The large proportion of single houses comprising the majority of dwelling stock across the City is reflected in the chart, top right.

A review of household composition and type identified that family households are most likely to live in a single dwelling. This is particularly true of couple families with children. A higher proportion of one parent families live in semi-detached dwellings than couple families with children.

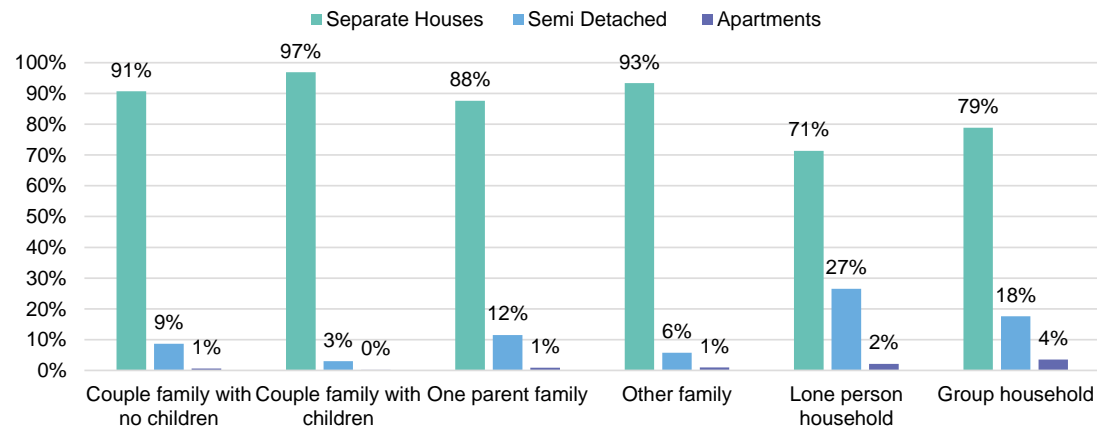
Household Composition of Dwelling Types

Examining the household composition of each dwelling type provides further insights.

While the majority of lone person and group households also live in single dwellings, these two household types are more likely to live in semi-detached or apartment housing than families.

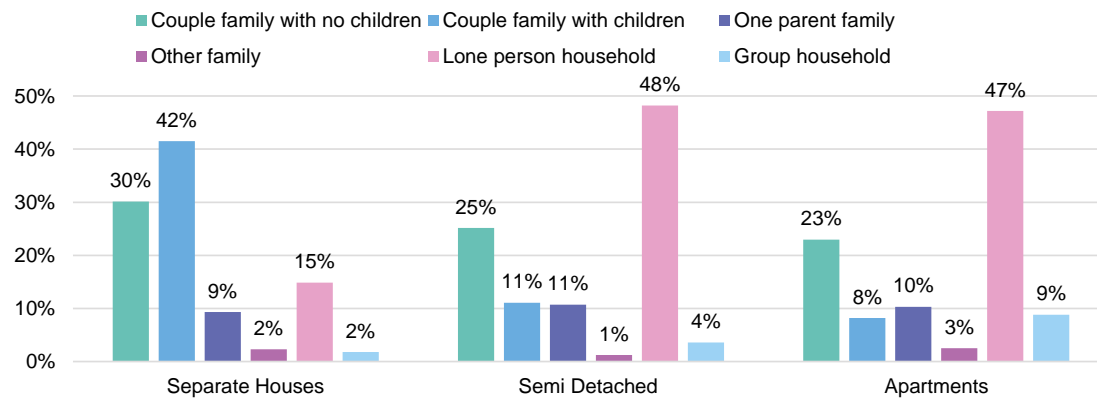
The second largest cohort for non-detached housing is couples without children. This can include downsizers, young couples and older adult couples.

Proportion of Dwelling Type by Household Composition, City of Joondalup, 2021



Source: ABS

Household Proportion by Composition of Dwelling Type, City of Joondalup, 2021



Source: ABS

HOUSING STOCK BENCHMARKING | HOUSEHOLD ATTRIBUTES BENCHMARKING

Key Findings








The family and household composition of the benchmark LGAs are shown, right.

This demonstrates the greater diversity of household structure in areas that have been developed over a longer period of time.

The City of Stirling shows the most significant shift in household structure diversity, which is typical of a population comprised of greater proportions of both younger and older age cohorts, different family types, and a diversity of different dwelling types reflecting these characteristics. The resulting breakdown of household types across dwelling types illustrates that while there remains a preference for single houses for couple families with children, there is a greater proportion of this household type in semi-detached (medium density) housing.

This information has been used to inform the future demand modelling.

Dwelling, Family and Household Comparisons by LGA, 2021

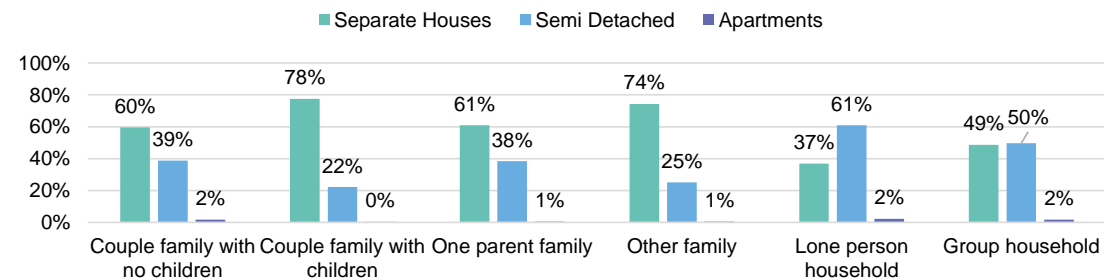
LOCAL AUTHORITY / ATTRIBUTE	JOONDALUP	COCKBURN	ROCKINGHAM	STIRLING
 Median Age	41	37	36	38
 Family Composition – Couple Family with No Children	26%	37%	36%	41%
 Family Composition – Couple Family with Children	65%	48%	46%	44%
 Family Composition – One Parent Families	9%	16%	18%	15%
 Household Composition – Family Households	79%	74%	74%	65%
 Household Composition – Single Person Households	19%	23%	23%	31%
 Household Composition – Group Households	2%	3%	2%	4%

Source: ABS

Family composition classifies families into different family types and shows the proportion of different family types within the LGA.

Household composition classifies the type of household within a dwelling and shows the proportion of different household types that occupy dwellings.

Proportion of Dwelling Type by Household Composition, City of Stirling, 2021



Source: ABS

03

MARKET TRENDS



MARKET TRENDS | CITY OF JOONDALUP HOUSING TRENDS



City of Joondalup | Residential Market Demand Analysis

INCREASING HOUSE PRICES



After a prolonged period of limited price growth from 2015 - 2019, house and unit prices have increased across the City of Joondalup since 2020. Over the same time period apartment prices have fallen, likely reflecting the aging of existing stock and lack of new apartment projects on the market.

RENTAL STRESS



Rental stress in the City of Joondalup has increased very significantly over the last decade, from 5.8% of renters in 2011 to 29.7% in 2021, with minimal change in the proportion of residents renting. While this trend has been seen across WA and nationally, the increase in rental stress in Joondalup is more substantial.

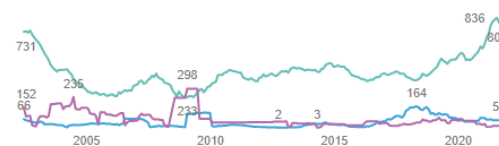
SINGLE DWELLINGS



In recent years, the proportion of dwelling approvals across the City of Joondalup comprised of single houses increased significantly. This activity was catalysed by the economic stimulus measures during the pandemic.

DWELLING APPROVALS BY TYPE, CITY OF JOONDALUP

— House — Semi detached and townhouse — Apartment



Sources: ABS 2021 and 2011 Census, ABS, Landgate, Urbis Essentials

LARGER HOUSES, SMALLER LOTS



Over the last decade in the City of Joondalup, more new properties have either 4+ bedrooms or 2 or less bedrooms. At the same time the proportion of semi-detached dwellings in the City of Joondalup has increased, while the proportion of single houses decreased slightly.

This means more houses are being built with a smaller footprint but provide larger accommodation inside. This is in line with the trend seen in WA and across Australia.

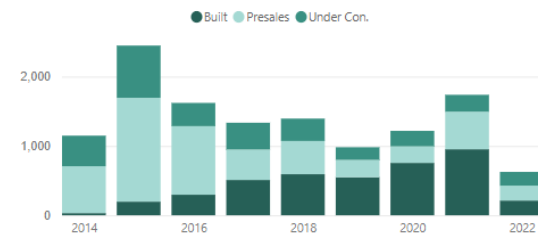
NEW APARTMENT SALES STAGNATING



New apartment sales across Perth have dropped significantly from 2021 levels to historic lows. Increasing inflation, especially for construction costs, is a key driver of this trend and has limited the viability of apartment projects.

There are currently no new apartment projects (greater than 25 dwellings) in pre-sales within the City of Joondalup, which will limit future apartment sales.

APARTMENT SALES BY STATUS, PERTH*



Source: Urbis
* These sales only include survey apartment projects captured by Urbis' Apartment Essentials database.

MARKET TRENDS | HISTORICAL DEMAND

Key Findings

Demand for new housing products in the City of Joondalup over the last 10 years is shown in the chart, right. Some degree of demolitions will have taken place to enable new development, which is excluded from the data. This data is provided by suburb in the appendix.

House sales comprise the largest volume of new dwelling sales. This is followed by apartments, for which the volume depends significantly on the availability of a new apartment projects. Units (semi-detached / medium density) have had the lowest sales volumes across the time period.

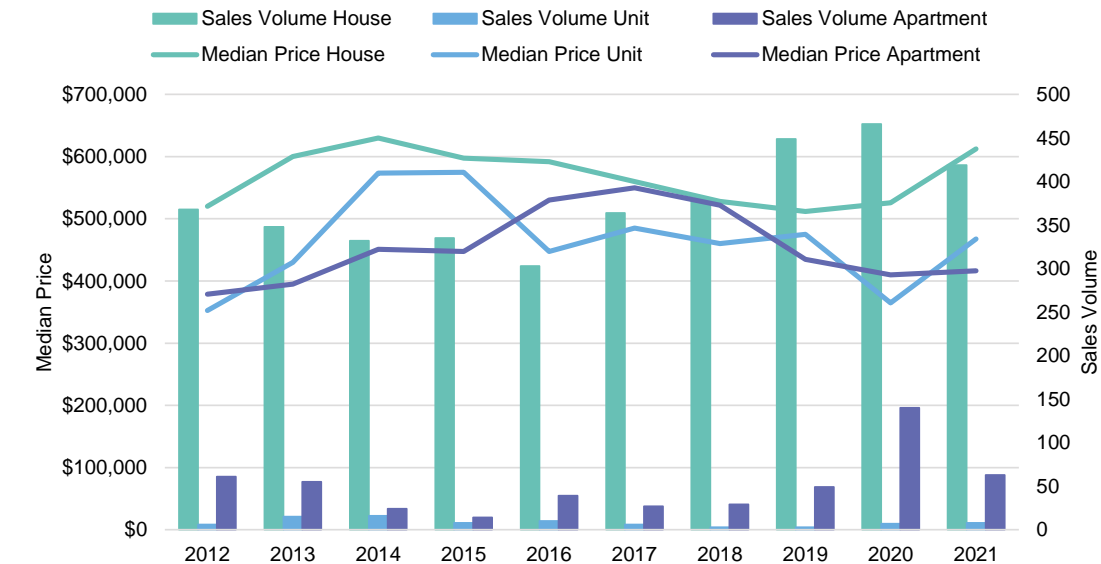
Prices for new houses have been increasing since 2019 and are on track to exceed the previous peak in 2014.

The low volume of sales for non-detached housing is reflective of both low supply and demand. For instance, projects in the Joondalup City Centre have demonstrated that there is demand for well-located and quality infill development at scale and there would likely be similar demand for infill development in high amenity, coastal locations if there were appropriately located, zoned sites and suitable market conditions to support required prices.

The difference in the price of house and non-detached dwelling prices is reflective of land supply dynamics in the City and overtime will support a greater uptake of medium and high density development.

It is important to note that vacant land sales have been excluded from this analysis however it is worth noting that these vacant land sales would likely have been developed in detached housing. Therefore, the chart does not capture the total volume of new stock.

Sales and Price Trends by Typology for New Stock, City of Joondalup, 2012-2021



Source: Landgate

MARKET TRENDS | HISTORICAL DEMAND (CONT.)

Key Findings

At a suburb level, a review of historical new dwelling sales was undertaken to highlight if an area has been experiencing notable levels of non-detached housing development over the past decade.

This review highlighted that a number of suburbs have experienced increased demand and supply of medium density development; particularly, the Currambine, Iluka and Joondalup suburbs.

There are additionally a number of suburbs that have experienced limited medium density sales or sales well below total existing stock proportions; such as Burns Beach, Connolly, Greenwood, Kingsley, Ocean Reef, Padbury, Sorrento and Woodvale. This low level of sales of new non-detached housing stock does not necessarily imply lack of demand as supply is influenced by a range of other factors such as market viability, land availability and policy controls (amongst others).

This analysis nonetheless demonstrates that there is demand for medium density across the vast majority of the City's suburbs.

New Non-Detached Dwellings Trends, City of Joondalup

SUBURB	NON-DETACHED DWELLINGS PROPORTION OF NEW STOCK (2012-21)	NON-DETACHED DWELLINGS PROPORTION OF TOTAL DWELLINGS (2021)
BELDON	7%	5%
BURNS BEACH	0%	1%
CONNOLLY	0%	14%
CRAIGIE	9%	11%
CURRAMBINE	54%	9%
DUNCRAIG	9%	8%
EDGEWATER	6%	4%
GREENWOOD	0%	7%
HEATHRIDGE	5%	8%
HILLARYS	17%	10%
ILUKA	89%	2%
JOONDALUP	83%	43%
KALLAROO	8%	12%
KINGSLEY	6%	14%
KINROSS	5%	7%
MARMION	18%	18%
MULLALOO	2%	5%
OCEAN REEF	1%	4%
PADBURY	1%	7%
SORRENTO	6%	19%
WARWICK	11%	10%
WOODVALE	1%	7%

Source: Landgate, ABS

Note: Excludes non-private dwellings and other dwellings

MARKET TRENDS| MEDIUM AND HIGH DENSITY SUCCESS FACTORS

Overview

Market demand at a suburb level for different housing typologies is influenced by a broad set of market factors, policy settings, locational attributes and landowner intentions.

There are, in particular, a number of broad key success factors that influence whether a location is attractive for medium and high density dwellings (outside of policy controls). These are profiled in the table to the right.

Ideal locations for medium and high density development will combine a number of these characteristics within a distinct precinct to provide a high quality urban environment.

This framework can provide a guide to whether suburbs or localities are likely to be favourable to medium and high density developers and attractive to prospective buyers.

Medium and High Density Viability Success Factors

DEMOGRAPHIC PROFILE

Existing or emerging population of smaller households

SUBURB AMENITY

High amenity and well-connected locations or streets

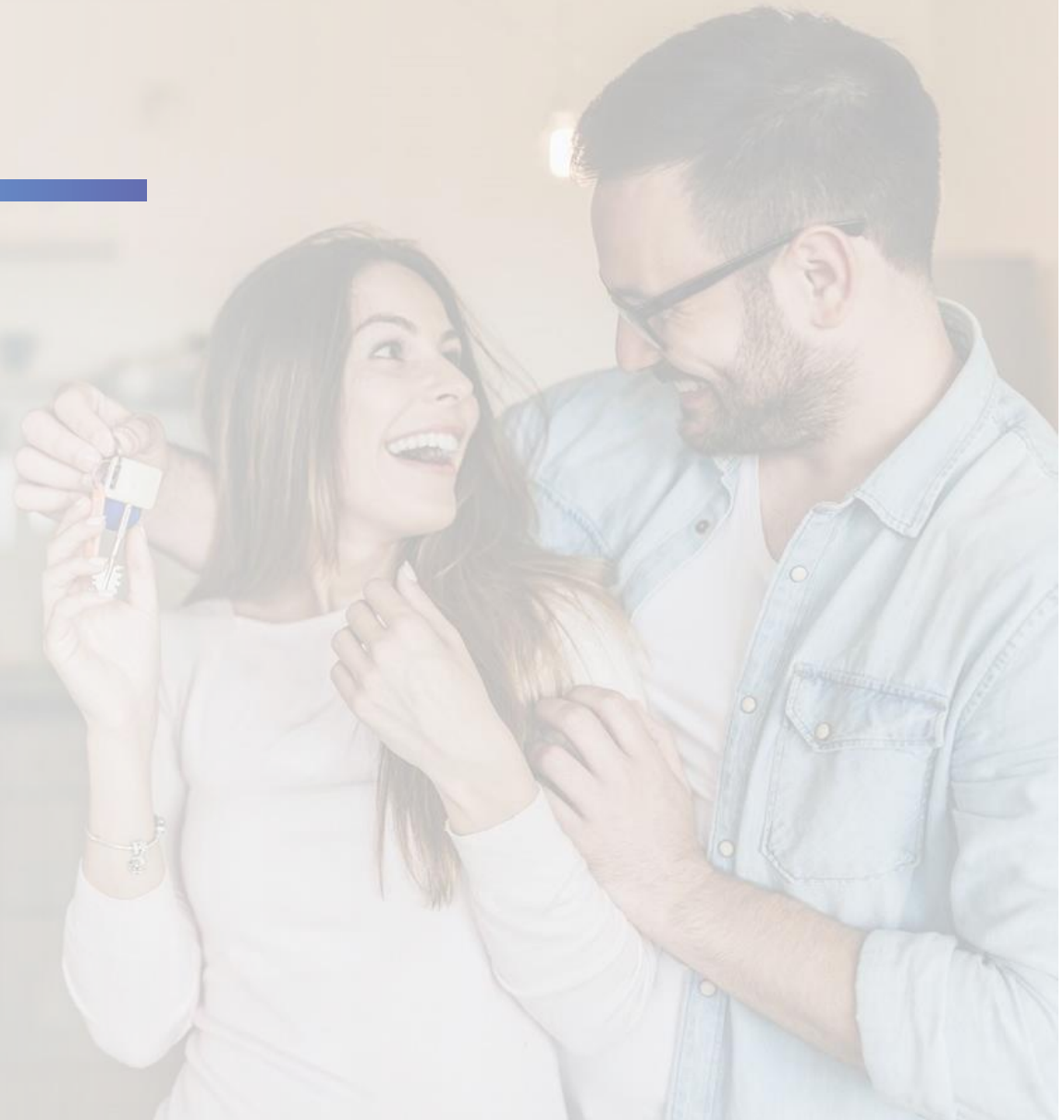
MARKET FUNDAMENTALS

Dwellings are affordable, at around 70-80% of the suburb median house price

CRITERIA	DESCRIPTION
Household demographics	Understanding the demographic mix suitable for new development / redevelopment areas is fundamental to the suitable market positioning of the development. Medium and high density dwellings are typically favoured in areas with high proportions of lone persons, group households, and younger couple families without children.
Proximity to employment centres	A key factor in determining higher density dwelling demand is the distance of the development from the CBD and other key employment nodes. People value living close to places of work. This particularly applies to young professionals and singles without children.
Retail & entertainment amenity	One benefit of higher density living is often good access to a wide variety of entertainment, recreation, retail and service facilities. This is due to the critical mass of the denser population being able to support a wide range of facilities that may not be available in low density areas.
Access to public open space	Given the fact that higher density dwellings typically have less outdoor space do not feature backyards, ready access to quality public space within comfortable walking distance that is safe and well maintained can be a decisive factor for many potential buyers.
Access to public transport and major roadways	Medium and high density options located within close proximity to train stations and other high frequency public transport support more intensive forms of development. Being within walking distance of a train station is particularly attractive to workers commuting into the CBD or other places of employment.
Views / aspect	Views of attractive natural amenities can be a powerful attractor for potential buyers, while a lack of views can be a deal breaker if there is substantial competition in the area. A northerly aspect is also a positive factor in influencing apartment demand.
Established property values	Medium and high density dwellings compete not just with traditional housing, Given 'space' is a key trade off for living in a smaller dwelling, the value of other housing types is a considerable factor influencing viability of higher density dwellings. If the price of a detached dwelling is equivalent to a new apartment or townhouse price, it is unlikely that the apartment or townhouse development will offer a significant value proposition to purchasers.
Development context & competition	High levels of competition in an area often make it more difficult to sell medium and high density dwelling stock, particularly in areas that have relatively low market depth for higher density developments. However, clusters of higher density dwellings in particular areas can be an indicator of a fundamentally strong market for higher density housing types in an area.

04

MARKET DEMAND ANALYSIS



MARKET DEMAND ANALYSIS | DEMAND MODELLING METHODOLOGY

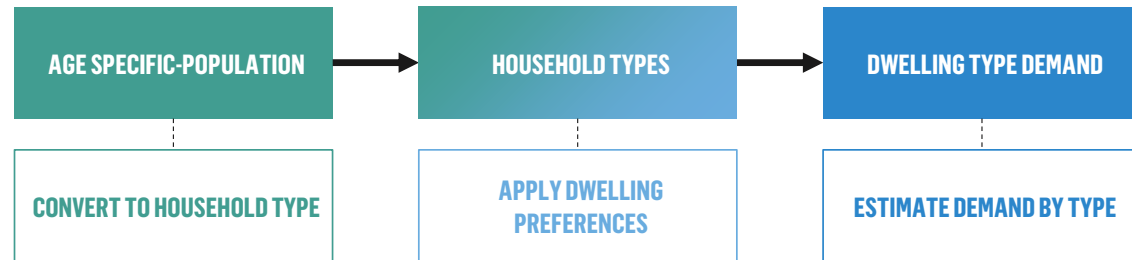
Overview

Housing demand for the City of Joondalup was modelled using the following multi-stage methodology.

This approach has proven highly effective in estimating local housing demand, by translating age-specific population estimates and projections into household types before applying household-based dwelling preferences. This approach recognises that dwelling demand is directly driven by the growth and changes in household formation, not simply population growth. It also recognises that the application of whole-of-market average household sizes to population estimates fail to properly capture changes in both the age-profile of the population and in household formation rates. The application of dwelling preferences recognises observed behaviour and therefore inherently captures the role of price in decision making.

A key assumption underpinning this analysis is the expected 'dwelling preferences' of different household types. The analysis is thus based on observed preferences – i.e. the status quo – and an alternative 'expected' scenario. As such, a key 'step change' or shift in behaviour (not adopted as part of the two scenarios) such as towards apartment living, for instance, would likely translate into a higher need for apartments than modelled outputs demonstrate and less of a need for other dwelling types.

Housing Demand Model Overview



Source: Urbis

MARKET DEMAND ANALYSIS | DEMAND SCENARIOS

Overview

The demand modelling provides a base case and an alternative dwelling demand scenario. Note, these scenarios do not take into account the land area available for development, but provide information on what dwelling types could be required for the City population to grow.

Base Case

The base case illustrates what dwelling demand will look like if the population increases in line with .id projections to 2041, but dwelling preferences remain the same as observed as of 2021.

Alternative Scenario

The alternative scenario illustrates what dwelling demand looks like if dwelling preferences shift to a more diverse household type / dwelling type makeup given the physical constraints of the City, increasing land values and policy objectives. To test alternative outcomes, the alternative scenario assumed that dwelling preferences would, over time, move towards those observed in the City of Stirling. In particular, the modelling assumes that dwelling preferences by 2041 would be broadly between those observed currently in the Joondalup and Stirling local government areas (i.e. dwelling preferences will be the average of both these locations by 2041).

The alternative scenario therefore does not assume that dwelling preferences will match those in the City of Stirling over the next two decades, but rather housing preferences will slowly follow a similar path towards greater need for medium and high density dwellings.

Modelling Assumptions

ASSUMPTION VARIABLE	ASSUMPTION	NOTES
Occupancy Rate	94.6%	Based on the 2021 ABS census data for occupied private dwellings the Joondalup LGA.
Age-Specific Household Composition	As per 2021 levels	The model groups resident projections into household types based on age characteristics.

Source: Urbis, ABS

Population Forecast Assumptions, City of Joondalup, 2021-2041

PERSONS	2021 ERP	2031	2041
0-4 years	8,809	9,783	10,441
5-14 years	21,989	22,083	23,287
15-19 years	10,606	11,026	11,573
20-24 years	9,298	9,847	10,442
25-34 years	16,803	19,607	21,190
35-44 years	22,011	23,910	25,462
45-54 years	23,492	23,211	24,880
55-64 years	22,426	19,475	20,099
65-74 years	18,671	16,788	16,633
75-84 years	8,099	11,559	12,679
85 years and over	2,870	3,893	5,156
Total Population	165,075	171,182	181,842
Net Increase since 2021	-	6,107	16,767

Source: ABS, Forecast.id

MARKET DEMAND ANALYSIS | FUTURE DEMAND

Key Findings

The current numbers of dwellings by type are shown for 2021. This is the starting point for both scenarios. The future dwelling numbers for each scenario are based on the household formation and dwelling type preferences.

Base Case

This scenario is highly dependent on new single houses being provided to accommodate additional population growth, with approximately 5,700 additional single dwellings. Under this scenario only an additional 800 medium density dwellings (units / townhouses) are required, and 70 apartments (which would represent one medium sized apartment development, or 2-3 small developments).

A net increase of 6,600 dwellings are required under this scenario from the 2021 existing dwellings.

Alternative Scenario

This scenario provides a greater proportion of medium density and high density dwellings to accommodate population growth and assumes a notable level of demolitions to accommodate this.

Under this scenario, approximately 8,600 additional medium and high density dwellings would be required. This translates into a net increase of around 5,300 dwellings, with reduced demand for detached dwellings partly offsetting increased medium and high density demand.

Future Dwelling Demand Scenarios

DEMAND	YEAR	DETACHED HOUSES	UNITS & TOWNHOUSES	APARTMENTS (3+ STOREY)	TOTAL
Base Case Scenario	2021	53,386	5,905	521	59,811
	2031	55,529	6,238	551	62,319
	2041	59,093	6,695	592	66,380
	<i>Net Demand</i>	<i>5,708</i>	<i>790</i>	<i>71</i>	<i>6,569</i>
Alternative Scenario	2041	50,055	14,347	682	65,084
	<i>Net Demand</i>	<i>-3,331</i>	<i>8,442</i>	<i>162</i>	<i>5,273</i>
Proportion of Total Dwelling Stock					
Base Case Scenario	2021	89.3%	9.9%	0.9%	100%
	2031	89.1%	10.0%	0.9%	100%
	2041	89.0%	10.1%	0.9%	100%
Alternative Scenario	2041	86.9%	12.0%	1.1%	100%

Source: Urbis, ABS

Note: Dwellings exclude non-private (e.g. short stay accommodation, aged care), unoccupied, and other (e.g. caravan, houseboat)

MARKET DEMAND ANALYSIS | KEY CONCLUSIONS



Key conclusions from the two demand scenarios modelled are summarised, right. Demand for medium and high density dwellings in both scenarios has been distributed across the City. Factors influencing the best location for different housing product are detailed on the following page.

BASE CASE SCENARIO



LOW DENSITY

MEDIUM DENSITY

HIGH DENSITY

- This scenario assumes current dwelling preferences (by demographic and household cohort) are maintained.
- This scenario is likely unable to be supported as there will likely be insufficient land to provide for the number of new single houses required.
- There is an existing lack of diverse housing options in the City which likely demonstrates that some needs in the community are not being adequately met (e.g. lone and small households within large homes). This scenario likely exacerbates these issues.

ALTERNATIVE SCENARIO



LOW DENSITY

MEDIUM DENSITY

HIGH DENSITY

- This scenario assumes that dwelling preferences shift slowly over time (as has been observed in metropolitan locations across Australia).
- In this scenario demand for medium density dwellings increases significantly and there is a small increase in demand for high density dwellings. There is however a degree of ability for demand to shift between medium and high density given product similarities (e.g. apartment in low-rise development versus apartment in mid-rise development).

MARKET DEMAND ANALYSIS | KEY INFLUENCES AND IMPLICATIONS FOR DEMAND

Demand for housing is influenced by a range of key factors, many of which are not related to supply directly.

Understanding these factors can provide insight into the best locations for medium and high density dwellings.



PRECINCT CHARACTER

The quality of the streetscapes, public realm and private amenities (built and natural) have a direct impact on the attractiveness of a location for alternative housing products. In general, areas with comparably more desirable amenities support increased density development demand.



DWELLING AVAILABILITY / APPROPRIATENESS

The availability of appropriate housing in a location directly influences the choice of housing typology. For instance, an area with a large supply of medium density dwellings may limit demand for higher density dwellings that offer comparable product types.



DEVELOPMENT FEASIBILITY

Ultimately, new dwellings will only be delivered in areas where sufficient development return can be achieved. As such, any influences on the viability of development will impact housing demand and choice (e.g. if land value growth significantly increases build costs then medium and high density becomes more viable).



POPULATION GROWTH

Strong population growth drives growth for housing. Higher levels of growth than anticipated may lead to higher demand for non-detached housing earlier than predicted.



TYPE AND TENURE

People who are renting are, on average, more likely to select medium and high density dwelling types. A high proportion of renters within the local population thus will lead to higher demand for medium and high density dwellings.



DEMOGRAPHIC PROFILE

Demographic changes not anticipated will influence housing demand. For instance, non-Anglo migrants and young adults are more likely to have higher demand for medium and high density dwellings than other demographic cohorts.



HOUSEHOLD & FAMILY TYPE

Household and family attributes influence dwelling demand. Smaller households such as lone persons and couples with no children, for instance, are more likely demand medium or high density than families with children.



AFFORDABILITY

The affordability (for purchase or rent) of different housing types influences demand considerably. A household is willing to make a trade off for a medium density dwelling, for instance, if it is more affordable than a detached house.

05

APPENDICES



APPENDIX | DEFINITIONS

Detached Housing

The ABS define **separate houses** as:

"This is a house which is separated from other dwellings by a space of at least half a metre. A separate house may have a flat attached to it, such as a granny flat or converted garage (the flat is categorised under Flat or apartment - see below). The number of storeys of separate houses is not recorded. Also included in this category are occupied accommodation units in manufactured home estates which are identified as separate houses."

Medium Density Housing

The ABS defines **Semi-detached, row or terrace house and townhouse** as:

"These dwellings have their own private grounds and no other dwelling above or below them. They are either attached in some structural way to one or more dwellings or are separated from neighbouring dwellings by less than half a metre."

Apartments

The ABS defines **apartments** as:

"This category includes all dwellings in blocks of flats or apartments. These dwellings do not have their own private grounds and usually share a common entrance foyer or stairwell. This category also includes flats attached to houses such as granny flats, and houses converted into two or more flats."

Non-Private Dwellings

The ABS defines **Non-Private Dwellings** as:

"NPDs are those dwellings, not included above, that provide a communal or transitory type of accommodation. They are classified according to their function for the variable Type of Non-Private Dwelling (NPDD). NPDs include hotels, motels, guest houses, prisons, religious and charitable institutions, boarding schools, defence establishments, hospitals and other communal dwellings."

Unoccupied Private Dwellings

The ABS defines **Unoccupied Private Dwellings** as:

"These are structures built specifically for living purposes which are habitable, but unoccupied on Census night. Vacant houses, holiday homes, huts and cabins (other

than seasonal workers' quarters) are counted as unoccupied private dwellings. Also included are newly completed dwellings not yet occupied, dwellings which are vacant because they are due for demolition or repair, and dwellings to let."

Other dwelling types include and are defined by the ABS as:

- **Caravan:** "Includes all occupied caravans, regardless of where they are located. Occupied campervans are also included."
- **Cabin, houseboat:** "This includes all occupied cabins and houseboats. Cabins are self-contained and not intended for long-term residential use. This includes occupied cabins located in residential parks or set up as temporary accommodation. A houseboat is an occupied mobile dwelling (intended for use on water). It is not typically intended for long-term use, although it could be currently used on a permanent or semi-permanent basis. Occupied houseboats are treated as occupied private dwellings regardless of location. Separate houses in caravan or residential parks or marinas occupied by managers or caretakers are not included in this category."
- **Improvised home, tent, sleepers out:** "These include sheds, tents, humpies and other improvised dwellings that were occupied on Census night. This category includes people sleeping-out, including those sleeping on the streets, in abandoned buildings, under bridges or in cars."
- **House or flat attached to a shop, office etc.:** "A house or flat attached to a shop, office, factory or any other non-residential structure is included in this category."

Not Stated

The ABS defines **Not stated** as:

"Not stated means the question wasn't answered on the Census form."

Not Applicable

The ABS defines **Not applicable** as:

"Not applicable means the question wasn't applicable to the person so they did not need to respond."

This includes the categories Non-private dwellings and Migratory, off-shore and shipping SA1.

APPENDIX | EXISTING HOUSING - SUBURB

Housing Typology by Suburb, 2021

	SINGLE HOUSE	SEMI-DETACHED GROUP HOUSES	GROUPED / TERRACE TOWNHOUSE	LOW-RISE APARTMENTS	HIGH DENSITY APARTMENTS	TOTAL
BELDON	1,476	80				1,556
BURNS BEACH	1,244	11				1,255
CONNOLLY	1,129	59	120			1,308
CRAIGIE	2,308	267	4	20		2,599
CURRAMBINE	2,188	61	5	160		2,414
DUNCRAIG	5,087	309	45	85		5,526
EDGEWATER	1,649	70	4			1,723
GREENWOOD	3,385	261	8			3,654
HEATHRIDGE	2,438	189	23			2,650
HILLARYS	3,523	217	115	72	<10	3,930
ILUKA	1,803	3	10	21		1,837
JOONDALUP	2,037	210	464	379	469	3,559
KALLAROO	1,727	170	64			1,961
KINGSLEY	4,051	580	85			4,716
KINROSS	2,195	162				2,357
MARMION	696	83	53	13		845
MULLALOO	2,015	78	28			2,121
OCEAN REEF	2,589	91	18			2,698
PADBURY	2,967	239				3,206
SORRENTO	2,215	168	204	154		2,741
WARWICK	1,353	98	37	21		1,509
WOODVALE	3,134	240				3,374

Source: ABS 2021 Census

Note: Excludes Other dwelling types, not stated and not applicable

APPENDIX | EXISTING HOUSING - SUBURB

Housing Typology as Proportions by Suburb, 2021

	SINGLE HOUSE	SEMI-DETACHED GROUP HOUSES	GROUPED / TERRACE TOWNHOUSE	LOW-RISE APARTMENTS	HIGH DENSITY APARTMENTS
BELDON	95%	5%	0%	0%	0%
BURNS BEACH	99%	1%	0%	0%	0%
CONNOLLY	86%	5%	9%	0%	0%
CRAIGIE	89%	10%	0%	1%	0%
CURRAMBINE	91%	3%	0%	7%	0%
DUNCRAIG	92%	6%	1%	2%	0%
EDGEWATER	96%	4%	0%	0%	0%
GREENWOOD	93%	7%	0%	0%	0%
HEATHRIDGE	92%	7%	1%	0%	0%
HILLARYS	90%	6%	3%	2%	0%
ILUKA	98%	0%	1%	1%	0%
JOONDALUP	57%	6%	13%	11%	13%
KALLAROO	88%	9%	3%	0%	0%
KINGSLEY	86%	12%	2%	0%	0%
KINROSS	93%	7%	0%	0%	0%
MARMION	82%	10%	6%	2%	0%
MULLALOO	95%	4%	1%	0%	0%
OCEAN REEF	96%	3%	1%	0%	0%
PADBURY	93%	7%	0%	0%	0%
SORRENTO	81%	6%	7%	6%	0%
WARWICK	90%	6%	2%	1%	0%
WOODVALE	93%	7%	0%	0%	0%

Source: ABS 2021 Census

Note: Excludes Other dwelling types, not stated and not applicable

APPENDIX | HISTORICAL DEMAND - SUBURB

Median Sales Price and Sales Volume by Housing Typologies for New Stock, 2012-2022

	HOUSE		UNIT / SEMI-DETACHED		APARTMENT	
	MEDIAN PRICE	SALES VOLUME	MEDIAN PRICE	SALES VOLUME	MEDIAN PRICE	SALES VOLUME
BELDON	\$458,750	95	\$548,000	7		
BURNS BEACH	\$587,500	27				
CONNOLLY	\$630,000	58				
CRAIGIE	\$437,000	292	\$297,500	4	\$300,000	26
CURRAMBINE	\$263,000	38	\$410,000	3	\$371,000	41
DUNCRAIG	\$665,000	568	\$637,500	2	\$462,500	51
EDGEWATER	\$540,000	132			\$349,000	9
GREENWOOD	\$525,000	346				
HEATHRIDGE	\$430,000	219	\$350,000	1	\$315,000	11
HILLARYS	\$677,500	221			\$495,000	45
ILUKA	\$1,160,000	3	\$742,500	2	\$662,500	23
JOONDALUP	\$460,000	54	\$515,000	21	\$440,000	244
KALLAROO	\$592,500	156	\$625,000	8	\$431,250	6
KINGSLEY	\$575,000	364	\$407,500	11	\$370,000	12
KINROSS	\$495,000	18	\$348,000	1		
MARMION	\$920,000	94	\$400,000	1	\$702,500	20
MULLALOO	\$710,000	184	\$460,000	3		
OCEAN REEF	\$710,000	122	\$280,000	1		
PADBURY	\$512,000	333	\$395,000	3	\$465,000	1
SORRENTO	\$880,000	245	\$432,500	14		1
WARWICK	\$530,000	244	\$374,000	3	\$345,000	27
WOODVALE	\$591,000	151	\$430,000	1		

Source: Landgate

APPENDIX | HISTORICAL DEMAND – NEW AND EXISTING STOCK

Sales Volume and Median Price by Housing Typology for New Stock, City of Joondalup, 2012-2021

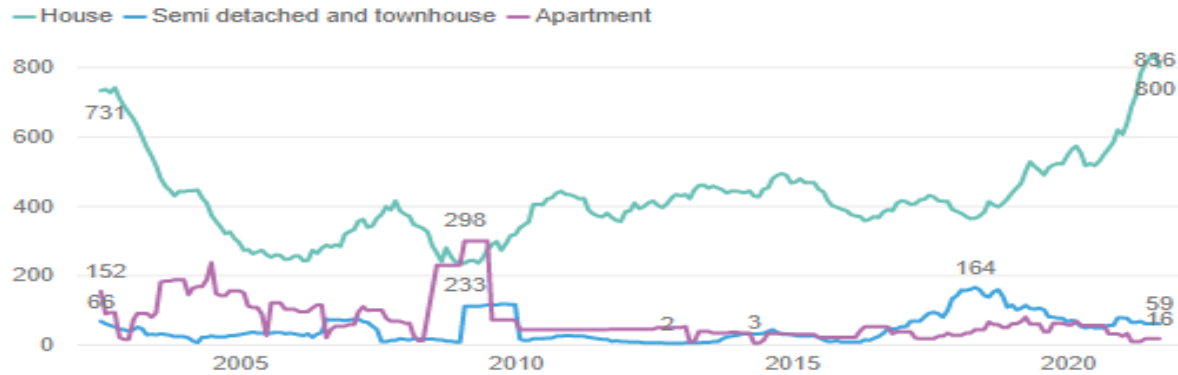
	MEDIAN PRICE			SALES VOLUME		
	HOUSE	UNIT / SEMI-DETACHED	APARTMENT	HOUSE	UNIT / SEMI-DETACHED	APARTMENT
2012	\$520,000	\$352,500	\$379,000	368	6	61
2013	\$600,000	\$430,000	\$395,000	348	15	55
2014	\$630,000	\$573,500	\$451,000	332	16	24
2015	\$597,500	\$575,000	\$447,500	335	8	14
2016	\$592,000	\$447,500	\$530,000	303	10	39
2017	\$560,000	\$485,000	\$550,000	364	6	27
2018	\$528,000	\$460,000	\$521,830	377	3	29
2019	\$512,000	\$475,000	\$435,000	449	3	49
2020	\$526,000	\$365,000	\$410,000	466	7	140
2021	\$612,500	\$467,500	\$416,250	419	8	63

Source: Landgate

Note: sales only include settled transactions.

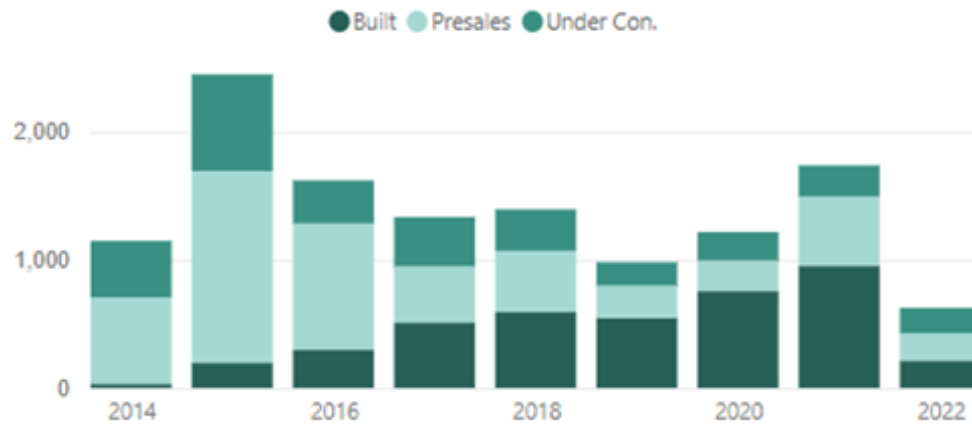
APPENDIX | MARKET TRENDS

Dwelling Approvals by Type, City of Joondalup



Sources: ABS 2021 and 2011 Census, ABS, Landgate, Urbis Essentials

Apartment Sales by Status, Perth*



Source: Urbis

* These sales only include survey apartment projects captured by Urbis' Apartment Essentials database.

APPENDIX | MARKET TRENDS

Dwelling Approvals by Type, City of Joondalup, 2002-2021

YEAR	HOUSE	APARTMENT	SEMIDETACHED AND TOWNHOUSE	TOTAL
2002	4327	456	315	5098
2003	6415	1434	384	8233
2004	4613	1978	231	6822
2005	3148	1294	382	4824
2006	3253	932	545	4730
2007	4368	982	489	5839
2008	3642	1307	152	5101
2009	3165	2366	1238	6769
2010	4708	532	306	5546
2011	4652	42	202	4896
2012	4837	455	48	5340
2013	5323	389	78	5790
2014	5454	300	375	6129
2015	5292	228	211	5731
2016	4507	464	252	5223
2017	4948	294	954	6196
2018	4639	516	1760	6915
2019	5943	687	1141	7771
2020	6617	593	670	7880
2021	6696	142	579	7417

Sources: ABS 2021 and 2011 Census, ABS, Landgate, Urbis Essentials

APPENDIX | MARKET TRENDS

Apartment Sales by Status, Perth*

YEAR	BUILT	PRESALES	UNDER CONSTRUCTION	TOTAL
2014	31	676	441	1148
2015	196	1498	753	2447
2016	296	989	335	1620
2017	509	439	386	1334
2018	591	479	323	1393
2019	548	250	184	982
2020	770	239	223	1232
2021	944	545	244	1733
2022	332	270	252	854

Source: Urbis

* These sales only include survey apartment projects captured by Urbis' Apartment Essentials database.

APPENDIX | DEMAND MODEL INPUTS

Family Household Composition by Age, Joondalup, 2021

PERSONS	COUPLE FAMILY WITH NO CHILDREN	COUPLE FAMILY WITH CHILDREN	ONE PARENT FAMILY	OTHER FAMILY	LONE PERSON HOUSEHOLD	GROUP HOUSEHOLD
0-4 years	64	7,452	517	339	0	0
5-14 years	66	17,455	2,803	500	0	8
15-19 years	117	7,613	1,812	342	97	53
20-24 years	812	4,907	1,306	604	317	580
25-34 years	4,290	6,953	1,251	843	1,048	895
35-44 years	2,005	14,613	1,741	553	996	311
45-54 years	2,591	14,580	2,238	575	1,297	255
55-64 years	8,768	7,136	1,407	650	2,021	307
65-74 years	10,647	2,078	677	630	2,633	221
75-84 years	4,250	573	334	231	1,815	84
85 years and over	849	144	189	67	929	25

Source: ABS 2021 Census

Source: ABS 2021 Census

Note: Excludes Other dwelling types

City of Joondalup | Residential Market Demand Analysis

APPENDIX | DEMAND MODEL INPUTS

Family Household Composition by Dwelling Structure (base case), Constant for 2021, 2031 and 2041

DWELLINGS	COUPLE FAMILY WITH NO CHILDREN	COUPLE FAMILY WITH CHILDREN	ONE PARENT FAMILY	OTHER FAMILY	LONE PERSON HOUSEHOLD	GROUP HOUSEHOLD
Detached Houses	91%	97%	88%	93%	71%	79%
Terrace/Townhouses	7%	3%	10%	5%	21%	15%
Units (1-2 storey)	1%	0%	1%	0%	3%	1%
Units & Terrace	1%	0%	1%	0%	3%	1%
Apartments (3+ storey)	1%	0%	1%	1%	2%	4%

Source: ABS 2021 Census

Note: Dwellings exclude non-private (e.g. short stay accommodation, aged care), unoccupied, and other (e.g. caravan, houseboat)

Family Household Composition by Dwelling Structure (alternative scenario), as at 2041

DWELLINGS	COUPLE FAMILY WITH NO CHILDREN	COUPLE FAMILY WITH CHILDREN	ONE PARENT FAMILY	OTHER FAMILY	LONE PERSON HOUSEHOLD	GROUP HOUSEHOLD
Detached Houses	75%	87%	74%	84%	54%	64%
Terrace/Townhouses	18%	11%	21%	12%	31%	27%
Units (1-2 storey)	3%	1%	2%	2%	7%	3%
Units & Terrace	3%	1%	2%	2%	7%	3%
Apartments (3+ storey)	1%	0%	1%	1%	2%	3%

Source: ABS 2021 Census

Note: Dwellings exclude non-private (e.g. short stay accommodation, aged care), unoccupied, and other (e.g. caravan, houseboat)

COVID-19 AND THE POTENTIAL IMPACT ON DATA INFORMATION

The data and information that informs and supports our opinions, estimates, surveys, forecasts, projections, conclusion, judgments, assumptions and recommendations contained in this report (Report Content) are predominantly generated over long periods, and is reflective of the circumstances applying in the past. Significant economic, health and other local and world events can, however, take a period of time for the market to absorb and to be reflected in such data and information. In many instances a change in market thinking and actual market conditions as at the date of this report may not be reflected in the data and information used to support the Report Content.

The recent international outbreak of the Novel Coronavirus (COVID-19), which the World Health Organisation declared a global health emergency in January 2020 and pandemic on 11 March 2020, has and continues to cause considerable business uncertainty which in turn materially impacts market conditions and the Australian and world economies more broadly.

The uncertainty has and is continuing to impact the Australian real estate market and business operations. The full extent of the impact on the real estate market and more broadly on the Australian economy and how long that impact will last is not known and it is not possible to accurately and definitively predict. Some business sectors, such as the retail, hotel and tourism sectors, have reported material impacts on trading performance. For example, Shopping Centre operators are reporting material reductions in foot traffic numbers, particularly in centres that ordinarily experience a high proportion of international visitors.

The data and information that informs and supports the Report Content is current as at the date of this report and (unless otherwise specifically stated in the Report) does not necessarily reflect the full impact of the COVID-19 Outbreak on the Australian economy,

the asset(s) and any associated business operations to which the report relates. It is not possible to ascertain with certainty at this time how the market and the Australian economy more broadly will respond to this unprecedented event and the various programs and initiatives governments have adopted in attempting to address its impact. It is possible that the market conditions applying to the asset(s) and any associated business operations to which the report relates and the business sector to which they belong has been, and may be further, materially impacted by the COVID-19 Outbreak within a short space of time and that it will have a longer lasting impact than we have assumed. Clearly, the COVID-19 Outbreak is an important risk factor you must carefully consider when relying on the report and the Report Content.

Where we have sought to address the impact of the COVID-19 Outbreak in the Report, we have had to make estimates, assumptions, conclusions and judgements that (unless otherwise specifically stated in the Report) are not directly supported by available and reliable data and information. Any Report Content addressing the impact of the COVID-19 Outbreak on the asset(s) and any associated business operations to which the report relates or the Australian economy more broadly is (unless otherwise specifically stated in the Report) unsupported by specific and reliable data and information and must not be relied on.

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This report is dated **November 2022** and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (Urbis) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of **the City of Joondalup** (Instructing Party) for the purpose of a **Residential Property Market Demand Analysis** (Purpose) and not for any other purpose or use. Urbis expressly disclaims any liability to the Instructing Party who relies or purports to rely on this report for any purpose other than the Purpose and to any party other than the Instructing Party who relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events including wars, civil unrest, economic disruption, financial market disruption, business cycles, industrial disputes, labour difficulties, political action and changes of government or law, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or made in relation to or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

Urbis acknowledges the important contribution that Aboriginal and Torres Strait Islander people make in creating a strong and vibrant Australian society.

We acknowledge, in each of our offices, the Traditional Owners on whose land we stand.

Urbis has made all reasonable inquiries that it believes is necessary in preparing this report but it cannot be certain that all information material to the preparation of this report has been provided to it as there may be information that is not publicly available at the time of its inquiry.

In preparing this report, Urbis may rely on or refer to documents in a language other than English which Urbis will procure the translation of into English. Urbis is not responsible for the accuracy or completeness of such translations and to the extent that the inaccurate or incomplete translation of any document results in any statement or opinion made in this report being inaccurate or incomplete, Urbis expressly disclaims any liability for that inaccuracy or incompleteness.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the belief on reasonable grounds that such statements and opinions are correct and not misleading bearing in mind the necessary limitations noted in the previous paragraphs. Further, no responsibility is accepted by Urbis or any of its officers or employees for any errors, including errors in data which is either supplied by the Instructing Party, supplied by a third party to Urbis, or which Urbis is required to estimate, or omissions howsoever arising in the preparation of this report, provided that this will not absolve Urbis from liability arising from an opinion expressed recklessly or in bad faith.

Urbis staff responsible for this report were:

Director	Tim Connoley
Senior Consultant	Suzie Turner
Research Analyst	Karen Salik
Project code	P0042272
Report number	Version 5

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Building sustainable neighbourhoods

LIVEABILITY AND DIVERSITY FOR FUTURE GENERATIONS

Meta-analysis –

Past Community Consultations on Strategic Planning for Housing

Date: 23 February 2023

Introduction

This report forms part of a suite of documents and reports to inform *building sustainable neighbourhoods*.

Building sustainable neighbourhoods: liveability and diversity for future generations is a significant strategic planning project being delivered by the City of Joondalup, which will review the housing component of the Local Planning Strategy. The project forms part of a broader review of the City's local planning strategy.

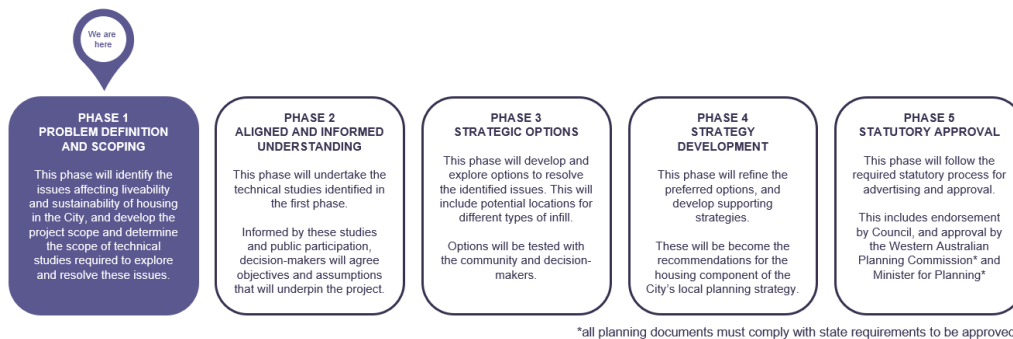
Project background

The *Planning and Development Act 2005* requires all local governments to maintain a local planning scheme, including regular five-yearly review of the operation of a scheme.

To inform the review of the City's *Local Planning Scheme No. 3*, a review of the City's *Local Planning Strategy* is required. Commencing a review of the City's Local Planning Strategy was scheduled for the 2022/23 financial year. At its May 2021 meeting, Council agreed to bring forward the review of the housing component of the Local Planning Strategy to 2021/22 in response to ongoing, expressed community concern regarding the impacts of infill housing. The decision follows a number of preceding projects, community consultations, and decisions with respect to housing and infill in the City of Joondalup.

All processes associated with preparing, reviewing, and amending local planning schemes and strategies are specified in the *Planning and Development (Local Planning Schemes) Regulations 2015*. In accordance with the regulations, the City of Joondalup will review both its Local Planning Strategy and Local Planning Scheme No. 3, with the review of the housing element being progressed as a distinct sub-project: *building sustainable neighbourhoods*.

Building sustainable neighbourhoods will make recommendations for how the City's strategic planning framework can meet the City's future housing needs, including where different housing densities and types should be located within the City. The project will identify, explore and develop planning recommendations for liveable streets and housing in the City of Joondalup across five project phases.



The project is currently in its first phase: problem definition and scoping. As part of this phase, the City is undertaking initial analysis and community consultation to understand the full range of housing issues being experienced across the City to inform preparation of a detailed scope of works, including the range of technical studies that will inform the project.

Report Purpose

The City has undertaken a number of community consultations in relation to matters concerning housing and infill since 2009. The following report provides an examination (or meta-analysis) of the various outcomes reporting for all previous consultation exercises relating to housing and infill development.

The scale and frequency of previous consultations presents a risk of consultation fatigue and community frustration for future engagement with community members who have previously engaged with the City. In response to this, consultation activities undertaken as part of the first phase of *building sustainable neighbourhoods* were designed to give previously engaged community members the opportunity to confirm and prioritise a set of known issues identified from previous consultations, rather than asking to list their issues again.

The information outlined as part of this meta-analysis was broadly used to inform the endorsed stakeholder engagement strategy, but more specifically it was used to provide input into the design of the open online consultation form which was delivered as one of the consultation activities for phase one of the project. The open online consultation asked community members to confirm and prioritise issues relating to housing and infill development identified through the meta-analysis.

The following report outlines the consultation activities undertaken since 2009 in relation to housing and infill development, as well as the levels of engagement for each consultation. The report also includes a summary of key issues identified by the meta-analysis and a detailed table of thematic feedback provided.

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Consultation summary:

The table below summarises previous consultations undertaken in relation to infill housing matters. A timeline of consultations and stakeholder participation and response rates are presented graphically below.

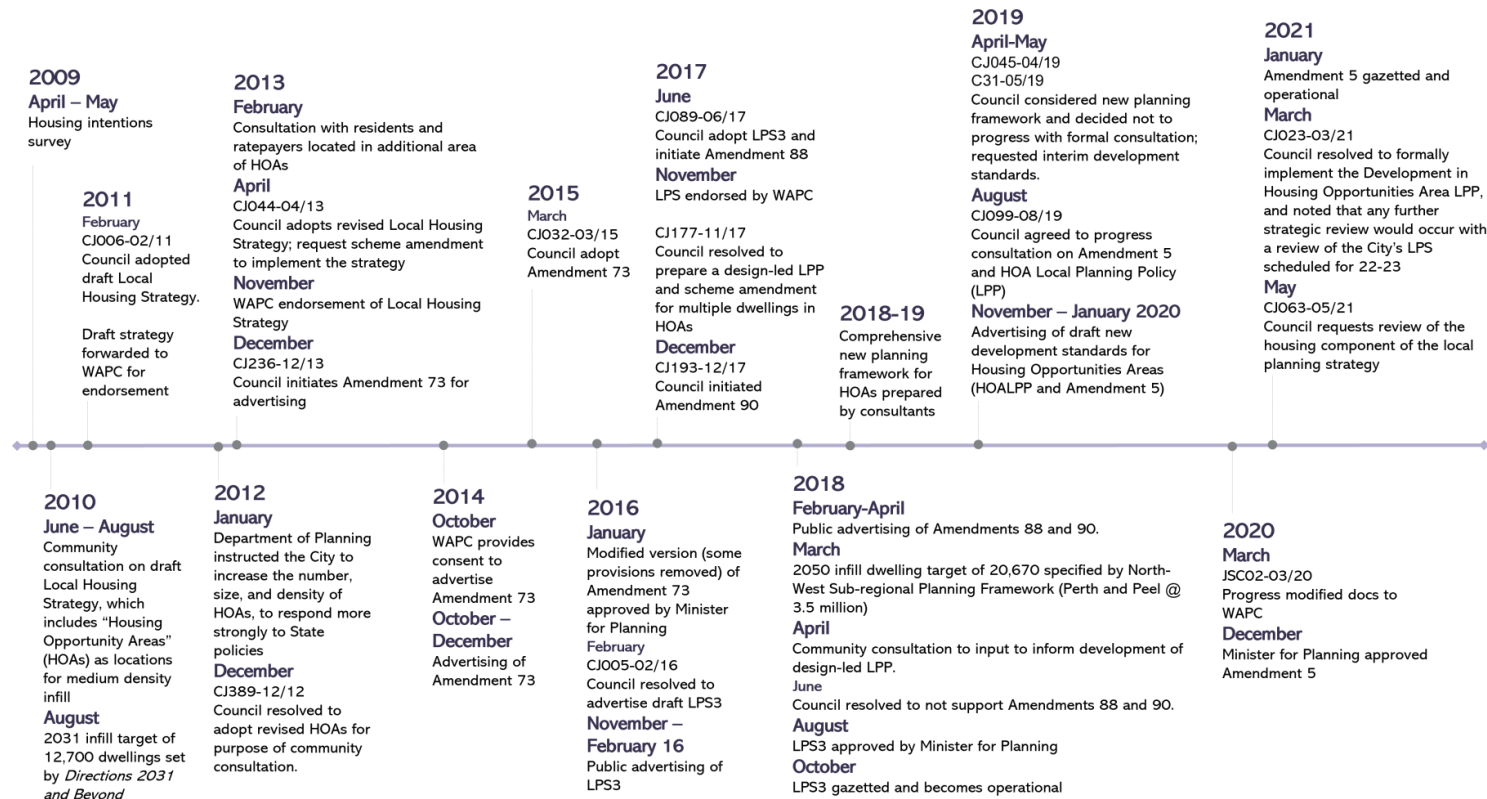
Past consultation details:

Table 1 Summary of Past Consultations

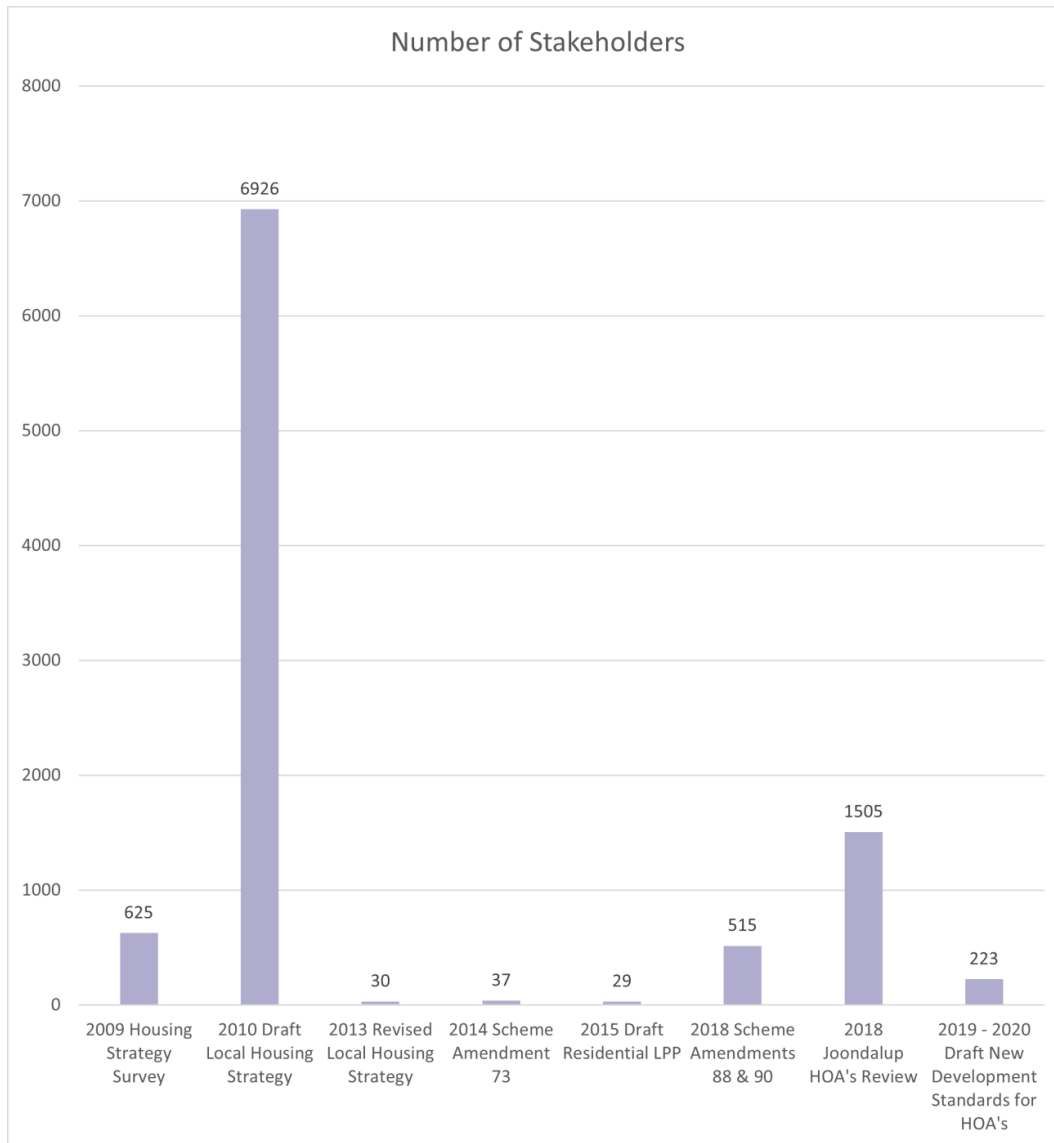
Date	Consultation	Feedback methodology	Communications	Targeted stakeholders	Number of responses
Apr-May 2009	Housing Strategy Survey	<ul style="list-style-type: none"> • Hard copy questionnaire • Online questionnaire 	<ul style="list-style-type: none"> • Direct letter • General advertising (extensive) 	<ul style="list-style-type: none"> • Random sample of residents across wards (2200) 	625
Jun-Aug 2010	Draft Local Housing Strategy <i>Original draft LHS before state government review</i>	<ul style="list-style-type: none"> • Hard copy questionnaire • Written submissions 	<ul style="list-style-type: none"> • Direct letter • General advertising • 2 x community information sessions (drop in) 	<ul style="list-style-type: none"> • All residents and landowners of residential properties in CoJ (63,685) 	6,926
Feb 2013	Revised Local Housing Strategy <i>Revised version of the originally advertised LHS with amendments to increase size and density of HOAs as per State Gov instruction</i>	<ul style="list-style-type: none"> • Written submissions 	<ul style="list-style-type: none"> • Direct letter • General advertising 	<ul style="list-style-type: none"> • Landowners who were not previously located in HOAs, but were proposed to be included as part of the revised strategy (914). 	30
Oct-Dec 2014	Scheme Amendment No 73. <i>To formalise changes proposed in the new LHS – inclusive of recommended changes by WAPC.</i>	<ul style="list-style-type: none"> • Written submissions 	<ul style="list-style-type: none"> • General advertising 	<ul style="list-style-type: none"> • Non targeted 	37
Sep-Oct 2015	Draft Residential Development Local Planning Policy <i>Draft design policy to implement development provisions in HOAs.</i>	<ul style="list-style-type: none"> • Written submissions 	<ul style="list-style-type: none"> • General advertising 	<ul style="list-style-type: none"> • Non targeted 	29
Feb-Apr 2018	Scheme Amendments 88 and 90	<ul style="list-style-type: none"> • Hard copy questionnaire 	<ul style="list-style-type: none"> • Direct letter/email • General advertising 	<ul style="list-style-type: none"> • Local residents and landowners within the boundaries of Scheme Amendment No 88 (624) 	515

Date	Consultation	Feedback methodology	Communications	Targeted stakeholders	Number of responses
	<i>Proposal to down-code sections of HOA 1. Amendments were not adopted.</i>	<ul style="list-style-type: none"> • Online questionnaire • Written submissions 	One on one meetings (on request)	<ul style="list-style-type: none"> • Local residents and landowners within the boundaries of Scheme Amendment No 90 (218) • Community engagement network members in Duncraig (101) • Local businesses (48) • Local community groups (1) • Industry stakeholders (4) • Government Stakeholders (18) 	
Sep-Dec 2018	Joondalup Housing Opportunity Areas Review <i>Review of HOAs and HOA provisions.</i>	<ul style="list-style-type: none"> • Hard copy questionnaire • Online questionnaire • 5 x listening posts • 5 x community workshops • Industry workshop • 17 x Stakeholder interviews 	<ul style="list-style-type: none"> • Direct letter • General advertising 	<ul style="list-style-type: none"> • All residents and landowners of residential properties in CoJ (66,350) • Local members (State Government) (8) • Resident/ratepayer groups (6) • State government depts (4) 	<ul style="list-style-type: none"> • 1505 questionnaire responses • 628 attendees to listening posts, workshops, forums, interviews
Nov 2019 to Jan 2020	Draft New Development Standards for HOA's <i>Draft design policy to implement new development provisions in HOAs</i>	<ul style="list-style-type: none"> • Online questionnaire • Written submissions 		<ul style="list-style-type: none"> • Residents and landowners within/adjoining HOAs (17,771) • Community engagement network members (3,233) • Participants of previous consultation activities who requested ongoing engagement (1,419) • Resident/ratepayer groups (19) • Utility providers/agencies (6) • Industry groups/peak bodies (20) • State government depts (15) • MPs (State and Federal) (10) 	223

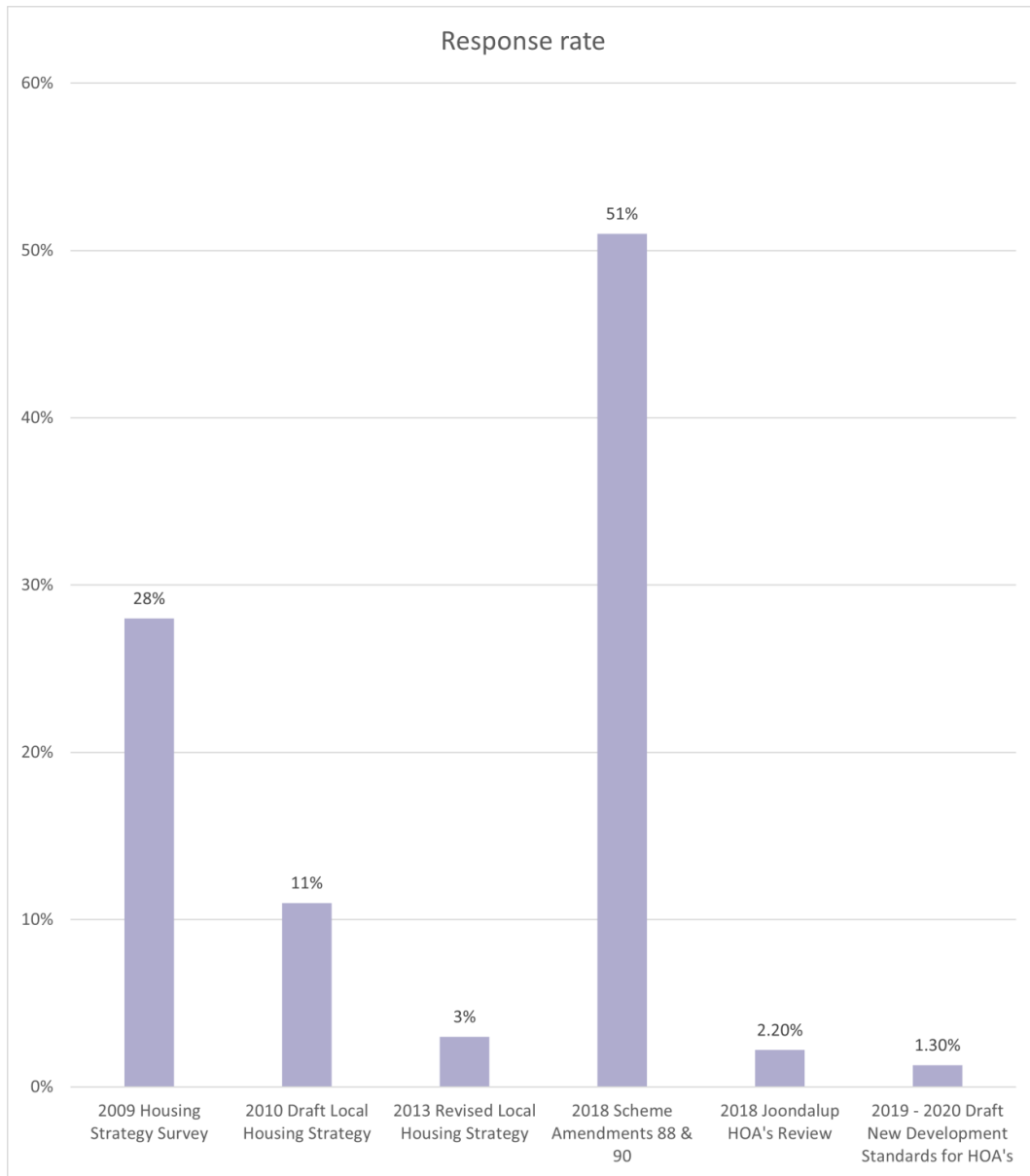
Timeline of consultations and decisions:



Stakeholder participation:



The above provides the number of stakeholder responses received for past consultation activities. Response rates are reflective of the extent of previous consultation undertaken.



The above provides the response rates for past consultations as a percentage of the total number of people advertised to.

Meta Analysis – Issues Summary

Community identified housing issues:

The following outlines key housing related issues raised by the community in previous consultations for housing related projects:

- Tension between infill and existing (accepted) suburban character in transitional areas with lacking support for character change in established suburbs.
- Concerns that design of contemporary dwellings at medium density result in compromised liveability outcomes for future residents (e.g. loss of outdoor space, smaller room sizes).
- Infill development outcomes should have improved energy efficiency through solar passive design and ventilation.
- The impact of increased population density on the existing road network with concern over existing congestion being made worse.
- The impact of increased population density on existing community services and infrastructure.
- Adverse impacts of high-density development adjacent to established low density dwellings e.g. bulk, overshadowing, loss of privacy.
- Suitability of road types to accommodate infill housing e.g. cul-de-sacs.
- Safety and amenity impacts of on street parking resultant from infill development.
- Suitability of parking ratios for context of residential areas, considering public transport accessibility and current transport behaviours.
- Loss of tree canopy/landscaped area and the resultant impact of urban heat island effects.
- Changes in coding will reduce some landowners return on investment/property value.

Community identified housing opportunities:

The following outlines key housing related opportunities suggested by the community in previous consultation for housing related projects.

- Infill development should be planned through activity centres and precinct planning.
- Amalgamation should be incentivised for multiple dwelling developments to achieve better liveability outcomes.
- Density around centres should be treated differently to transport hubs.
- Density should not be restricted on corner lots given large frontages.
- Suburban character studies can inform future development control standards.
- Mixed use developments in high density precincts provide public benefit.
- Mandated minimum landscaped areas should be included for all infill development.
- Native planting to be encouraged to improve waterwise landscaping.
- Tree preservation orders should be introduced for existing trees with high amenity value.
- Developer contributions should be introduced to provide public benefit for those in high density areas.
- Future housing policy should be tested to determine likely outcomes before being adopted.

Issues identified from consultation which present a risk to the project:

Issues identified through the meta-analysis which present a risk to the project achieving authentic and constructive community engagement given project givens and non-negotiables.

- Lack of alignment between stakeholders on appropriate approach for delivering infill
 - o Distrust in the rationale and process for locating the City's current housing opportunity areas (medium density infill areas)
 - o Lack of understanding and acceptance of the need for infill and infill targets
 - o Misalignment in community views relating to how state and regional planning policy for allocating density should be and have been applied with respect to locating medium density
 - o Misalignment regarding the built form outcomes that constitute low, medium, and high density
 - o Divergent views amongst some stakeholder groups regarding scale and location and form of infill at different densities

- Misunderstanding/disengagement given the complexity of the planning framework
 - o Lack of community understanding of the centralised planning system in WA and the role of local government in the decision-making process.
 - o Planning terms/jargon are complex and can lead to misunderstanding/disengagement.

Detailed Thematic Commentary Summary

The below outlines detailed community commentary taken from a review of individual responses/outcomes reports to all past community consultations undertaken for infill housing matters.

Table 2 Detailed Thematic Commentary

Column header	Column header
Scale of density/coding	<ul style="list-style-type: none"> - Preference for no increased density in existing low density suburbs. - Preference for no multiple dwellings to be developed in HOA's. - HOA's are supposed to be transition areas, the densities provided are not conducive to a transition from existing housing typologies. - Structure plans should be set up for infill areas. - A maximum of two houses per lot should be allowed in suburban areas. - Many believe current densities are considered to be 'high' density. - Need to consider the impacts of any future down-coding and/or restrictive policy provisions which will reduce the development potential on sites. Some landowners will have bought into HOA's to develop. This will diminish some landowners return on investment. - Some believe up-coding is a good opportunity. <p>Larger minimum lot sizes should be required for multi-unit development to incentivise amalgamation.</p>
Location of density	<ul style="list-style-type: none"> - Generally, there is a lack of collective agreement on where/how density should be allocated in the City. - Some preference for lower densities over a greater area rather than higher densities around train stations and shops. - Density should be limited in cul-de-sac's and other non-through roads. - Apartments should be limited to distributor roads. - Density needs to be co-located with both transport and commercial centres, not just one or the other. - HOA's are bigger and denser than they need to be. Development potential in centres needs to be taken into account. - Density should be located around activity centres as outlined in liveable neighbourhoods. Ped sheds of 800m should be applied to secondary centres and 400m ped shed to district centres. Train stations do not serve the same purpose as activity centres and so the same principles should not be applied. - Activity centres should be created in accordance with SPP 7.2 with R30 density in suburbs around activity centres. Eg. Warwick Centre etc. - Higher densities should be provided immediately around activity centres with lower densities in existing suburban areas. - Opportunity for community owned land to be redeveloped to include mixed use residential and community facilities.

	<ul style="list-style-type: none"> - Density should not be restricted on corner lots given their large frontage. - Consultation with PTA is essential to identify future planned high frequency bus routes and PT upgrades. - Boundaries of areas that are up-coded should be delineated by roads. There should not be a situation arise where an up-coded property backs onto an R20 coded property given the impacts. - Need to reconsider locating density in local access roads given they often do not have infrastructure to support density (no footpaths in cul-de-sac's etc). <p>Some preference for smaller areas of higher density allowing for the majority to be down-coded.</p>
Housing typologies and design outcomes	<ul style="list-style-type: none"> - Side by side development is preferred to battle-axe style development. - Battle-axe results in large paved areas and are unattractive as viewed from the street. - Wider lot frontages >10m are preferred – Narrow lot frontages encourage boundary to boundary development and are unattractive. - Terraced housing with an access provided at the rear creates an ugly perspective for adjoining neighbours. - Design provisions should allow for innovation and variation in any street. - Need to recognise established suburban character. Woodvale is different to Hillarys which is different to Edgewater. Should not be a one size fits all approach. - Some believe terraced housing is not suitable for HOA's, others believe it is good given many successful examples in city's elsewhere. - Three grouped dwellings in a battle-axe style result in a poor design outcome for the middle unit. - Discretion to design standards should not be allowed. - Some residents identify the need for a variety of housing options to cater to downsizers. - Need for more mixed-use development. Opportunity exists for this in housing immediately adjacent to activity centres. - A precedent has already been set in HOA's with medium density developments approved so densities should remain as existing. <p>Development outcomes are better addressed through design requirements rather than coding.</p>
Multiple dwellings	<ul style="list-style-type: none"> - Multiple dwellings should not be located in cul-de-sac's given the lack of street parking available in these road types. <p>If multiple dwellings are to be permitted, they should be restricted to main distributor roads only which are most suitable to for apartments given they are wider and often have bus routes along them.</p>
Environmental design,	<ul style="list-style-type: none"> - Increased landscaping to accessways for battleaxe lots.

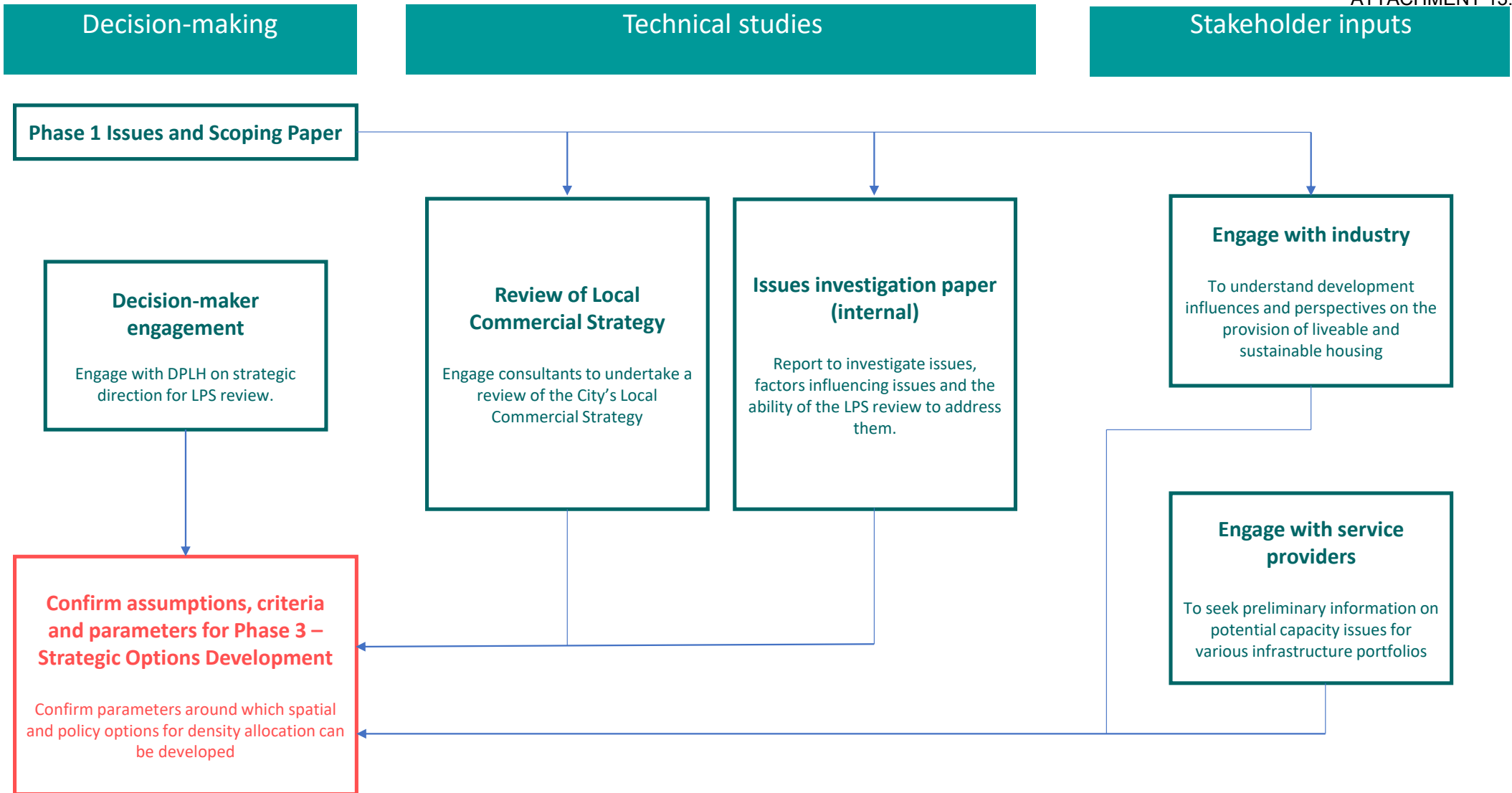
landscaping and tree retention	<ul style="list-style-type: none"> - Multiple and grouped dwellings do not allow for enough landscaped area and therefore have a detrimental impact on the amenity of the area. - Energy efficiency is important. Dwellings to make use of the northern aspect. - Support for mandated minimum landscaped areas. - Amount of landscaping required should not be a percentage of lot size but should be consistent. - Retention of mature trees on site is important, where new trees are planted they should be larger than just saplings to contribute to amenity and wildlife straight away. - Native landscaping and tree planting should be encouraged. - Paving should not form part of the landscaped area where not permeable. - Green space may not be maintained and would be hard for the City to enforce. - Thought needs to be given to landscaping not resulting in the forced reduction of alfresco/outdoor living areas. - What constitutes landscaping should be clearly defined in any future policy. - Demographics of people living in infill areas do not have the time, ability or inclination to maintain large areas of landscaping. - Increased landscaping will result in duplexes instead of triplexes which is counter productive to the City achieving the state's targets. - Trees form an essential part of landscaping. - Minimum dimensions for landscaping disincentivise innovative ways of achieving increased planting on site such as planter boxes and wall gardens. - Artificial lawn should not be included in the landscaping definition. - Landscaping should not be reduced to reward large tree retention. - Tree preservation orders should be introduced. - Trees die, need maintenance, damage infrastructure, affect neighbours. A new owner will inherit these obligations. Will be difficult for council to enforce tree planting and retention. - Strong support for increased verge tree planting. - Compliance action should be taken more regularly for verge landscaping matters. Not all developers seem to be aware of their obligations to plant/retain trees and landscape the verge. - Landscaping and tree provision should be incentivised rather than mandated through development provisions. - Tree provision important to reduce heat island effect. - Small trees should not be permitted on developments in lieu of medium or large trees. - Incentives for vegetation on site should be implemented such as rate rebates for those with soft verge landscaping. - Tree planting should be set back at least 2m from neighbouring properties to prevent overhanging.
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	<ul style="list-style-type: none"> - Landscaping provisions should be extended to the whole City – not just within HOA's.
Building heights	<ul style="list-style-type: none"> - Bulk and scale of three storey apartment buildings is inconsistent with the existing character and amenity in HOA's. - Preference for a two-storey height limit across all HOA areas. - Three storey developments result in increased overlooking and overshadowing. Current R-Code restrictions are not adequate in mitigating these impacts. - Suitability of building height is dependent on topography of sites relative to neighbouring lots. <p>Increased heights change the character of the neighbourhood.</p>
Street setbacks	<ul style="list-style-type: none"> - General lack of community alignment in relation to street setbacks. - Support for minimum 4m street setbacks across all HOA's to remain in keeping with existing dwellings in HOA's. - R60 developments should not be permitted a 2m setback. - Increased street setbacks result in smaller less liveable housing. - Structures such as porches and verandas should not project forward of the 4m setback line. - Preference for secondary street setbacks to be 2m. - Smaller street setbacks will result in on street and verge parking. <p>Reduced street setbacks often allow for improved liveability to the rear of the dwelling.</p>
Boundary walls	<ul style="list-style-type: none"> - Boundary walls should only be allowed where they are concurrent (exactly). - Preference for no boundary walls for multiple dwellings. - Not allowing boundary walls has impacts on building envelopes and could result in forced double storey designs. This will mean development won't occur if the extra cost is not supported by market prices. - Orientation of walls is to be considered. Boundary walls should not be permitted to southern boundaries. <p>Rules should vary depending on whether the adjoining dwelling has been developed at the higher coding or not.</p>
Side setbacks	<ul style="list-style-type: none"> - Preference for 1.5m side boundary setbacks - Greater setbacks should be imposed as building height increases. - Orientation should be considered when determining lot boundary setbacks. - Important that side setbacks are set so not to overshadow adjoining outdoor living areas. - Setbacks required in SPP 7.3 are not sufficient. - Larger setbacks will also allow better sunlight access for dwellings. <p>Rear boundary setbacks should be greater.</p>
Parking	<ul style="list-style-type: none"> - Increased density results in increased street parking which creates traffic flow problems and endangers young kids. - Residential parking bays should be required to avoid parking on streets and verges, particularly to avoid vehicles overhanging footpaths.

	<ul style="list-style-type: none"> - Support for walkable catchments to determine car parking requirements being measured based on footpath infrastructure rather than straight lines. - Maximum parking provision should be implemented for dwellings close to PT. - Garages to the current standards do not realistically cater for two vehicles. Developments need to go beyond this requirement to ensure street parking does not occur. - Street parking in cul-de-sacs is limited and so provisions for these streets should be different. - In reality people in HOA locations are not likely to favour public transport over cars given the distance required to be travelled. - Parking bays should be provided on site, one for every bedroom. - Walkable distances to high frequency bus stops should be reduced. - All parking should be provided on site both residential and visitor and cars should not overhang into the verge. - Most typical households have the need for at least two cars. - Visitor parking rate of 0.5 bays per dwelling should be maintained, any less will result in additional street parking. - Verges are essential for green space and should not be used for parking. - Need for a broader strategy to deal with increased resident and visitor parking needs in HOA's. - Development on laneways needs to consider parking requirements as vehicles are unable to park on laneways. - On site-visitor parking bays take up space that could be used for landscaping etc. <p>Enforcing off street parking to be developed in the verge is unrealistic given most property owners would not be able to absorb the cost.</p>
Overshadowing	<ul style="list-style-type: none"> - Overshadowing from adjoining developments should not impact on existing solar collectors, swimming pools, patios and outdoor living areas. - Overshadowing throughout HOA's should be a maximum allowable 25%. - Assessment of overshadowing impacts should not just be a percentage calculation; it should consider the impact of the shadow cast on adjoining habitable spaces and major openings. <p>Topography of the locality to be considered in overshadowing assessment.</p>
Visual Privacy	<ul style="list-style-type: none"> - Visual privacy needs to be further protected beyond the current controls by way of increased setback requirements. - Higher density development should be designed to restrict direct line of sight to adjoining outdoor living areas and swimming pools. - Highlight windows result in poor liveability outcomes. Overlooking should be dealt with through good design rather than just highlight windows. <p>Restrictions should apply to non-habitable spaces such as stairwells and external walkways.</p>

Light and Ventilation	<ul style="list-style-type: none"> - Use of highlight windows should be minimised. Habitable rooms should have an outlook and highlight windows do not allow for adequate cross-ventilation. - Dwellings should be designed to incorporate solar design principles and should have improved ventilation to minimise energy use. <p>Outdoor living areas should be open to the northern aspect.</p>
Vehicle congestion	<ul style="list-style-type: none"> - A transport impact assessment should be undertaken to indicate whether the existing road network is adequate to cater to increased densities. - Increased density will result in further vehicle congestion which is already an issue in HOA areas. - Established road networks were designed to cope with existing subdivision densities and will not cope with increased traffic. - Laneways in Sorrento need to be upgraded, resurfaced, lighting installed and traffic calming measures to respond to increased vehicle traffic resultant from increased density. - Cycle path infrastructure within the City should be improved to promote active modes of transport so that vehicle congestion is minimised. <p>Need to consider areas near schools and shops which already have congestion and on street parking issues.</p>
Waste Management	<p>Multiple dwelling and grouped dwelling developments need to have communal waste to avoid multiple bins on the kerb during collection days.</p>
Community Services/ Infrastructure	<ul style="list-style-type: none"> - How will increased population impact on service provision and existing infrastructure such as school, sporting etc. - High density development should create public benefit. - Parks/public open space should be upgraded/increased in size as density increases. <p>Unified plans for streets in HOA's/precincts should include street furniture, street lighting, surface treatments etc.</p>
Planning Policy	<ul style="list-style-type: none"> - Planning development standards and objectives should be tied to a specific vision for each sub-section. - Language used in planning policies should be simplified and planning jargon reduced. - Policy should encourage/incentivise developers to engage with the community during the design process. - Policy should require developer contributions for upgrades to community facilities/parks/roads to respond to increased density. - Suggest performance-based development standards are complimented with design guidance similar to R-Codes Vol 2 to provide clarity to developers. - Where external documents are referenced, the provision should be copied into the new policy. - Where the development standard references 'character' this should be complemented by a character statement for each locality. - Overall, better definition of terms used in development standards should be incorporated.

	Policy provisions should be tested to determine likely outcomes.
Development industry feedback	<ul style="list-style-type: none"> - Planning provisions which focus on external aspects such as trees, deep soil zones and open space come at a cost to internal liveability. - The market still demands for car bays (two per grouped dwelling and one per apartment). - Market demand for higher density development in high amenity areas – less so in low amenity areas (Joondalup City Centre for example). - Development industry would like to see a more flexible approach towards development controls. - Bulk/scale development standards are preferred to plot ratio standards. - Street parking allows for improved open space and amenity on site. - Densities in and around activity centres could be much higher (Warwick, Whitfords etc.) - Density should be co located with activity centres – not just train stations – Activity centres should be planned around transport nodes. - City of Vincent average street setback should apply. - Opportunity to locate density on key corner sites. - Height should not be limited by levels as this can be restrictive on sloping lots. - Planning framework should incentivise amalgamation for infill development. - Building height restrictions need to be relaxed to allow for greater provision of landscaping and deep soil area. - Underground parking only makes financial sense when land values are high. <p>It is the role of the local government to demonstrate the benefits of density in their neighbourhood.</p>



Location plan



Approved Currambine Local Development Plan

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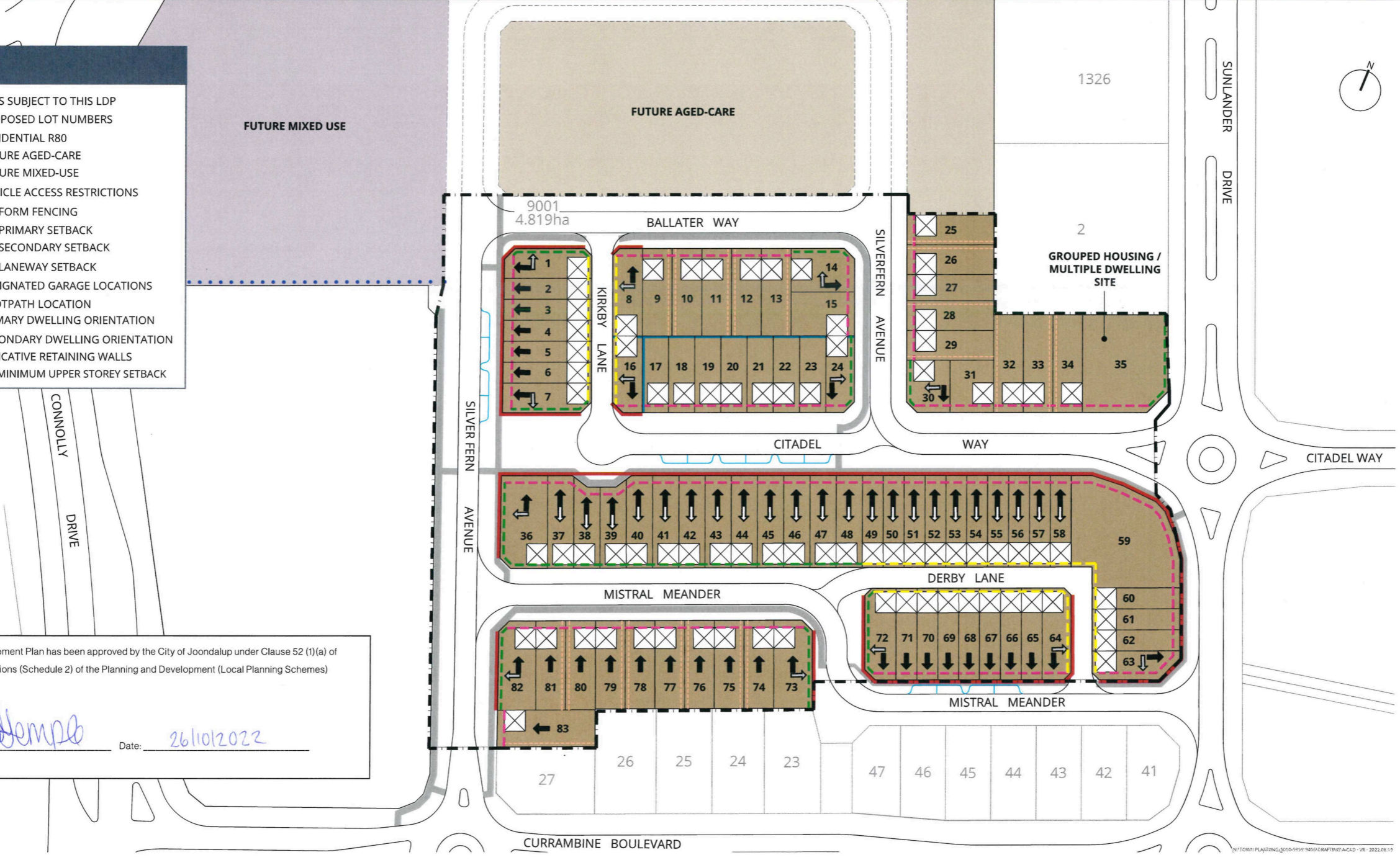
CURRAMBINE

LOCAL DEVELOPMENT PLAN

- Legend**
- LOTS SUBJECT TO THIS LDP
 - 7** PROPOSED LOT NUMBERS
 - RESIDENTIAL R80
 - FUTURE AGED-CARE
 - FUTURE MIXED-USE
 - VEHICLE ACCESS RESTRICTIONS
 - UNIFORM FENCING
 - 2m PRIMARY SETBACK
 - 1m SECONDARY SETBACK
 - 1m LANEWAY SETBACK
 - X DESIGNATED GARAGE LOCATIONS
 - FOOTPATH LOCATION
 - PRIMARY DWELLING ORIENTATION
 - SECONDARY DWELLING ORIENTATION
 - INDICATIVE RETAINING WALLS
 - 1m MINIMUM UPPER STOREY SETBACK

This Local Development Plan has been approved by the City of Joondalup under Clause 52 (1)(a) of the deemed provisions (Schedule 2) of the Planning and Development (Local Planning Schemes) Regulations 2015.

Signature: *[Signature]* Date: 26/10/2022



Approved Currambine Local Development Plan



PROVISIONS

LOCAL DEVELOPMENT PLAN REQUIREMENTS

This Local Development Plan ('LDP') applies to all lots contained within the development of Lot 9001 Sunlander Drive Currambine (Stages 1 and 2). The requirements detailed below relate to the Western Australian Planning Commission (WAPC) approved subdivision of Lot 9001 Sunlander Drive, Currambine (WAPC Reference(s): 159928 and 161316).

This LDP applies to the development of Single Houses only. Single Houses that are compliant with the provisions of this LDP and any relevant deemed-to-comply provisions of the Residential Design Codes (R-Codes) do not require an application for development approval. An application for development approval is required for Grouped Dwellings and Multiple Dwellings.

Where a development standard is specifically stipulated within this LDP, that standard prevails over the requirements of the R-Codes, and any other requirements of LPS 3. For all other matters not addressed in this LDP, the requirements of the R-Codes, local and state planning policies apply where relevant.

The proposed R-Codes densities as illustrated on the plan conform to the densities in the corresponding WAPC subdivision approval(s).

This Local Development Plan amends/replaces/augments the following 'deemed-to-comply' provisions of the Residential Design Codes, in accordance with clause 7.3.1 of the R-Codes

Development Standards	'Deemed to Comply' R-Codes Provisions	Amend/ Replace/ Augment	Local Development Plan 'Deemed-to-comply' provision
Street Setbacks	5.1.2 C2.1 – C2.4	Replace	The following street setbacks apply: <ul style="list-style-type: none"> - 2.0m minimum to primary street; no average. - 1.0m to porch / veranda, no maximum length. - 1.0m minimum to secondary street. - 1.0m minimum to laneway.
Lot Boundary Setback	5.1.3 C3.1, C3.2	Replace	Except where a boundary setback is shown in this LDP, boundary walls may be built behind the street setback, to both side boundaries to no maximum length and a maximum height of 7.0m. Boundary walls, or portions of boundary walls, which are visible from the public realm or adjoining lots are to be finished appropriately in a colour / style consistent with the dwelling façade. The use of face brick is an acceptable finish, where the use of mortar joints such as concave finish or flat is used, and the bricks being cleaned appropriately. For Lot 83, the provisions of the R-Codes apply to the southern boundary only. Where a wall does not contain major openings at the ground or upper floor, the wall may be setback a minimum of 1.0m from the lot boundary.
Open Space	5.1.4 C4 Table 1 – Provision 6	Replace	A minimum open space requirement of 25% applies to Lots 1 – 7, 49 – 58 and 60 – 72.
Building Height	5.1.6 C6	Replace	A minimum and maximum building height of two (2) storeys applies to all lots.

Approved Currambine Local Development Plan



CURRAMBINE

PROVISIONS

Development Standards	'Deemed-to-Comply' R-Codes Provisions	Amend/ Replace/ Augment	Local Development Plan 'Deemed-to-Comply' Provisions
Garage Setbacks	5.2.1 C1.1 – C1.5	Replace	For Lots 9 – 13, 15 and 24, garages are to be setback a minimum of 3.0m from the primary street. For all other lots, garages are to be setback a minimum of 2.0m from the primary street. For Lots 24 and 30, the garage is to be setback a minimum of 2.0m from the secondary street. For Lot 14, the garage is to be setback a minimum of 3.0m from the secondary street. Garages are to be setback in line or behind the dwelling alignment. For all laneway lots, garages are to be setback a minimum of 1.0m from the laneway.
Garage Width	5.2.2 C2	Replace	Double garages are permitted on all lots to a maximum width of 6.0m where: a. Minimum of 50% of the upper storey or balcony overhangs the garage by a minimum of 0.5m. b. A major opening to a habitable room is directly above the garage façade. c. The entrance to the dwelling is clearly visible from and fronts the primary street.
Street Surveillance	5.2.3 C3.2	Augment	Buildings located on corner lots are to address the primary and secondary street frontages with articulated building facades and provide a minimum of one (1) major opening to each street frontage to provide passive surveillance. Secondary street elevations should be generally consistent with the external colours and finishes of the primary elevation.
Fencing	5.2.4 C4.1	Augment	Fencing to secondary street elevations is to be visually permeable above 1.2m of natural ground level, except where located adjacent to the primary outdoor living area where solid fencing is permitted to a maximum length of 4.0m.
Landscaping	5.3.2 C2.2	Augment	For all lots where vehicular access is taken from the primary street, the street setback area is to include a minimum of 30% landscaping which is not to consist of any impervious surfaces (being brick and other solid paving, artificial turf and concrete).
Vehicular Access	5.3.5 C5.1 and C5.3	Augment	Garages are to be located in accordance with the nominated location on the plan. A crossover up to 4.5m in width is permitted on all lots where a double garage is permitted, with the exception of rear loaded lots and Lots 8, 14, 16, 24 and 30 where a maximum crossover width of 6.0m applies. Driveways may be located closer than 0.5m from a side lot boundary. Driveways may be located closer than 6.0m to a street corner where the garage is located as close to the lot boundary opposite the corner truncation as possible.
Visual Privacy	5.4.1 C1.1	Replace	For Lots 73 – 79, the visual privacy provisions of the R-Codes apply to the rear of the dwellings. For Lot 83, the visual privacy provisions of the R-Codes apply to the southern and rear boundaries of the lot. For all other lots within the LDP, no visual privacy provisions apply.
External Fixtures, Utilities and Facilities	5.4.4 C4.1 – C4.7	Augment	Refuse / storage areas are to be located within garages and/or screened from view from the public realm.

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CURRAMBINE

LOCAL DEVELOPMENT PLAN

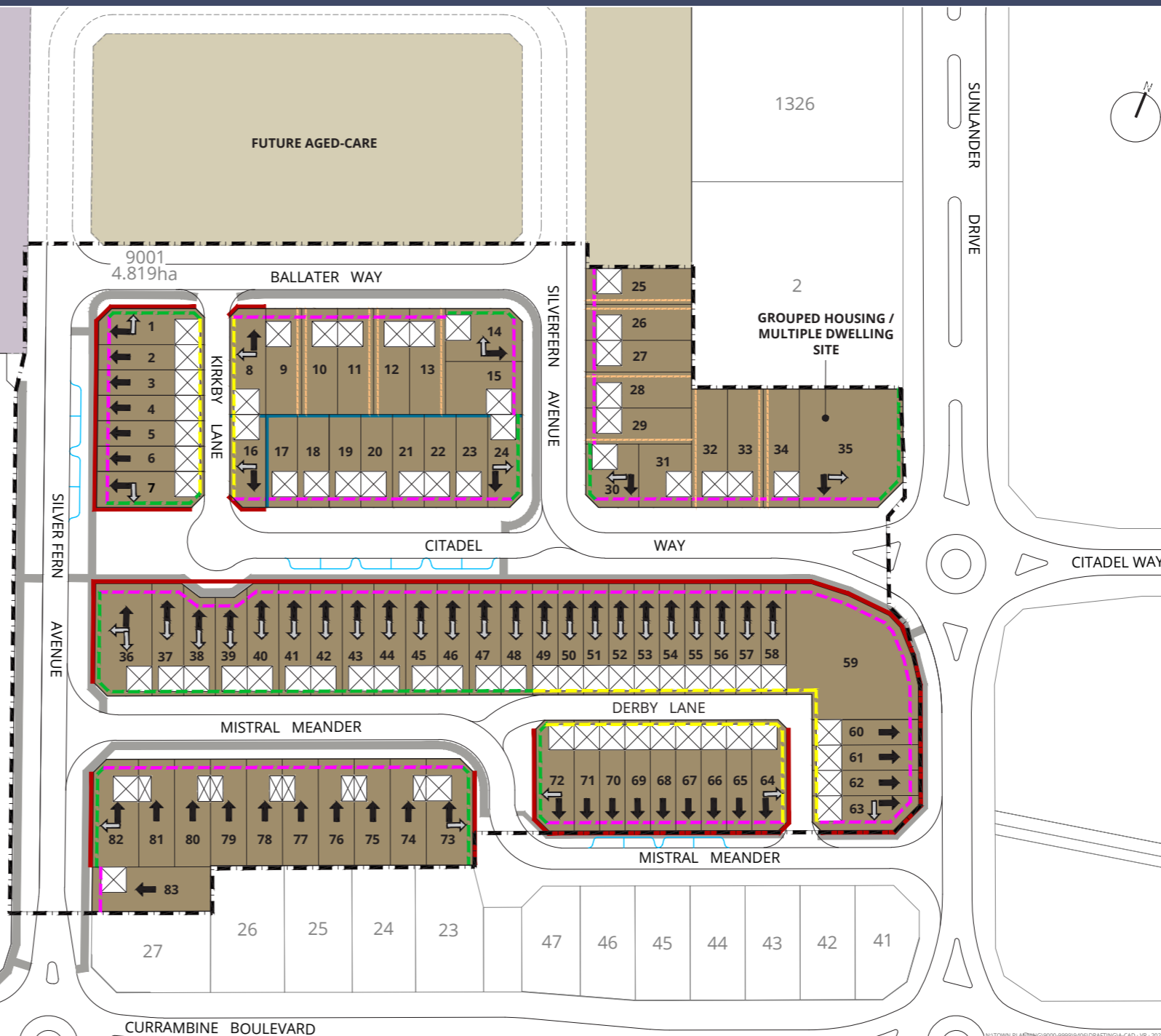
Legend

- LOTS SUBJECT TO THIS LDP
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- 1m LANEWAY SETBACK
- DESIGNATED GARAGE LOCATIONS
- FOOTPATH LOCATION
- PRIMARY DWELLING ORIENTATION
- SECONDARY DWELLING ORIENTATION
- INDICATIVE RETAINING WALLS
- 1m MINIMUM UPPER STOREY SETBACK

FUTURE MIXED USE

This Local Development Plan has been approved by the City of Joondalup under Clause 52 (1)(a) of the deemed provisions (Schedule 2) of the Planning and Development (Local Planning Schemes) Regulations 2015.

Signature: _____ Date: _____



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PROVISIONS



LOCAL DEVELOPMENT PLAN REQUIREMENTS

This Local Development Plan ('LDP') applies to all lots contained within the development of Lot 9001 Sunlander Drive Currumbine (Stages 1 and 2). The requirements detailed below relate to the Western Australian Planning Commission (WAPC) approved subdivision of Lot 9001 Sunlander Drive, Currumbine (WAPC Reference(s): 159928 and 161316).

Single Houses that are compliant with the provisions of this LDP and any relevant deemed-to-comply provisions of the Residential Design Codes (R-Codes) do not require an application for development approval. An application for development approval is required for Grouped Dwellings and Multiple Dwellings.

Where a development standard is specifically stipulated within this LDP, that standard prevails over the requirements of the R-Codes, and any other requirements of LPS 3. For all other matters not addressed in this LDP, the requirements of the R-Codes, local and state planning policies apply where relevant.

This Local Development Plan amends/replaces/augments the following 'deemed-to-comply' provisions of the Residential Design Codes, in accordance with clause 7.3.1 of the R-Codes

Development Standards	'Deemed to Comply' R-Codes Provisions	Amend/ Replace/ Augment	Local Development Plan 'Deemed-to-comply' provision
Street Setbacks	5.1.2 C2.1 – C2.4	Replace	The following street setbacks apply: <ul style="list-style-type: none"> - 2.0m minimum to primary street; no average. - 1.0m to porch / veranda, no maximum length. - 1.0m minimum to secondary street. - 1.0m minimum to laneway.
Lot Boundary Setback	5.1.3 C3.1, C3.2	Replace	For lots subject to a minimum and maximum two storey height limit, except where a boundary setback is shown in this LDP, boundary walls may be built behind the street setback, to both side boundaries to no maximum length and a maximum height of 7.0m. For lots subject to a maximum single storey building height limit (Lots 36-48 and 73-83) boundary walls behind the street setback must not exceed 3.5m in height. Boundary walls, or portions of boundary walls, which are visible from the public realm or adjoining lots are to be finished appropriately in a colour / style consistent with the dwelling façade. The use of face brick is an acceptable finish, where the use of mortar joints such as concave finish or flat is used, and the bricks being cleaned appropriately. For Lot 83, the provisions of the R-Codes apply to the southern boundary only. Where a wall does not contain major openings at the ground or upper floor, the wall may be setback a minimum of 1.0m from the lot boundary.
Open Space	5.1.4 C4 Table 1 – Provision 6	Augment	A minimum open space requirement of 25% applies to Lots 1 – 7, 49 – 58 and 60 – 72.
Landscaping	5.3.2 C2.2	Augment	For all lots where vehicular access is taken from the primary street, the street setback area is to include a minimum of 30% landscaping which is not to consist of any impervious surfaces (being brick and other solid paving, artificial turf and concrete).
Building Height	5.1.6 C6	Replace	A minimum and maximum building height of two (2) storeys applies to all lots, excluding the following lots: Lots 36-48 and 73-83 which must be single (1) storey. Lot 35 may be single (1) or two (2) storeys.

PROVISIONS



Development Standards	'Deemed-to-Comply' R-Codes Provisions	Amend/ Replace/ Augment	Local Development Plan 'Deemed-to-Comply' Provisions
Garage Setbacks	5.2.1 C1.1 – C1.5	Replace	<p>For all lots, other than those listed below, garages are to be setback a minimum of 2.0m from the primary street.</p> <p>For all laneway lots (1-8, 16, 49-72) garages are to be setback a minimum of 1.0m from the laneway.</p> <p>For lots, 9-13 and 15 garages are to be setback a minimum of 3.0m from the primary street.</p> <p>For lots 14 and 24, garages are to be setback a minimum of 3.0m from the secondary setback</p> <p>For lots 36-48 garages are to be setback a minimum of 1.0m from the secondary street.</p> <p>For lots 73-83 garages are to be setback a minimum of 4.5m from the primary street.</p>
Garage Width	5.2.2 C2	Replace	<p>For all lots subject to a minimum and maximum two storey height limit, all garages are permitted to a maximum width of 6.0m where:</p> <ol style="list-style-type: none"> Minimum of 50% of the upper storey or balcony overhangs the garage by a minimum of 0.5m. A major opening to a habitable room directly above the garage façade. The entrance to the dwelling is clearly visible from and fronts the primary street. <p>For Lots 73, 82 and 83, garages are permitted up to a maximum width of 6.0m where:</p> <ol style="list-style-type: none"> A major opening to a habitable room is directly facing the primary street is provided; and The entrance to the dwelling is clearly visible and fronts the primary street. <p>For lots 36-48 garages are permitted up to a maximum width of 6.0m.</p> <p>For lots 74-81 garages are permitted up to a maximum width of 3.0m.</p>
Street Surveillance	5.2.3 C3.2	Augment	Buildings located on corner lots are to address the primary and secondary street frontages with articulated building facades and provide a minimum of one (1) major opening to each street frontage to provide passive surveillance. Secondary street elevations should be generally consistent with the external colours and finishes of the primary elevation.
Fencing	5.2.4 C4.1	Augment	<p>Fencing to secondary street elevations is to be visually permeable above 1.2m of natural ground level, except where located adjacent to the primary outdoor living area where solid fencing is permitted to a maximum length of 4.0m</p> <p>For Lots 36-48, fencing to the primary street elevation fronting Citadel Way must be visually permeable above 1.2m for the entire length of the boundary as measured from the midpoint of the verge. This height includes the height of any retaining wall.</p> <p>Any fencing installed by the developer in accordance with the engineering plan approved by the City, shall not be altered or modified without the approval of the City of Joondalup.</p>
Vehicular Access	5.3.5 C5.1 and C5.3	Augment	<p>Garages are to be located in accordance with the nominated location on the plan. A crossover up to 4.5m in width is permitted on all front loaded lots and a crossover up to 6.0m is permitted on all side and rear loaded lots.</p> <p>Driveways may be located closer than 0.5m from a side lot boundary.</p> <p>Driveways may be located closer than 6.0m to a street corner where the garage is located as close to the lot boundary opposite the corner truncation as possible.</p>
Visual Privacy	5.4.1 C1.1	Replace	<p>For Lot 49, the visual privacy provisions of the R-Codes apply to the western boundary only.</p> <p>For Lot 34, the visual privacy provisions of the R-Codes apply to the eastern boundary only.</p> <p>For Lot 35 the visual privacy provisions of the R-Codes apply.</p> <p>For all other lots within the LDP, no visual privacy provisions apply.</p>



INDICATIVE RENDER ONLY - REFER TO ENGINEER'S SPECIFICATIONS



INDICATIVE RENDER ONLY - REFER TO ENGINEER'S SPECIFICATIONS







INDICATIVE RENDER ONLY - REFER TO ENGINEER'S SPECIFICATIONS



INDICATIVE RENDER ONLY - REFER TO ENGINEER'S SPECIFICATIONS



Subject Lot
Liwara Catholic Primary School
Lot 847 Plan 10409 - 4.7714 ha
5 Tuart Road, Greenwood

Lot847_5-Tuart_Road

Local Planning Scheme No.3 Amendment No.


LEGEND

 Boundary of Amendment

REGIONAL SCHEME RESERVES

 MRS - Primary Regional Road

LOCAL SCHEME RESERVES

 Public Open Space

 Drainage / Waterways

 Local District Distributor

 Local Road

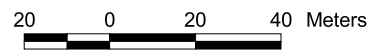
ZONES

 Residential

 Private Community Purposes

 A Additional Use

SCALE 1: 3500 @A3

 20 0 20 40 Meters

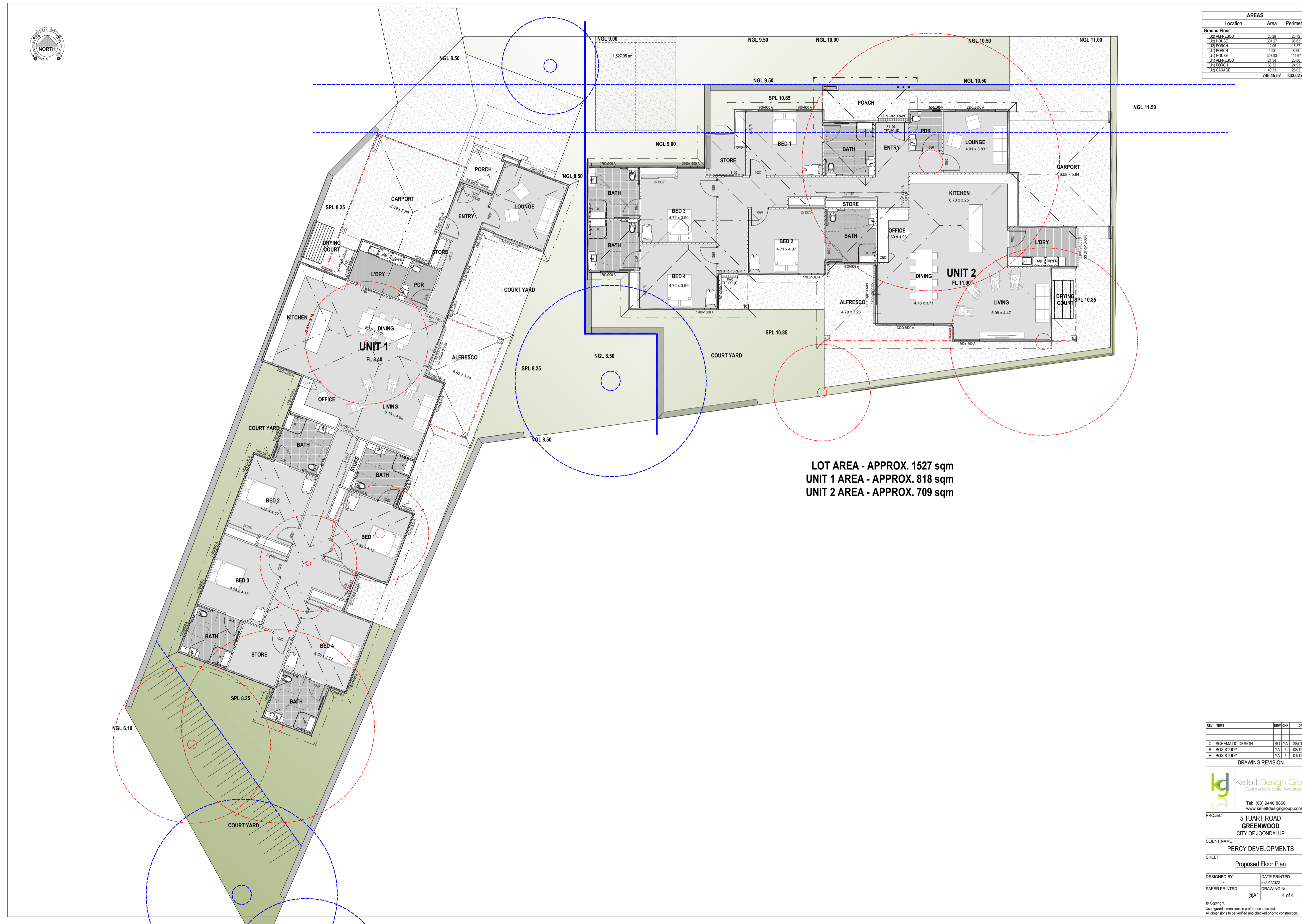


EXISTING ZONING



SCHEME AMENDMENT

CONCEPT PLANS



REV	ITEMS	DRW/CHK	DATE
C	SCHEMATIC DESIGN	SG/YA	28/01/2022
B	BOX STUDY	YA	08/12/2021
A	BOX STUDY	YA	01/12/2021

DRAWING REVISION

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PROJECT
**5 TUART ROAD
 GREENWOOD
 CITY OF JOONDALUP**

CLIENT NAME
PERCY DEVELOPMENTS

SHEET
Proposed Floor Plan

DESIGNED BY
 DATE PRINTED
 28/01/2022

PAPER PRINTED
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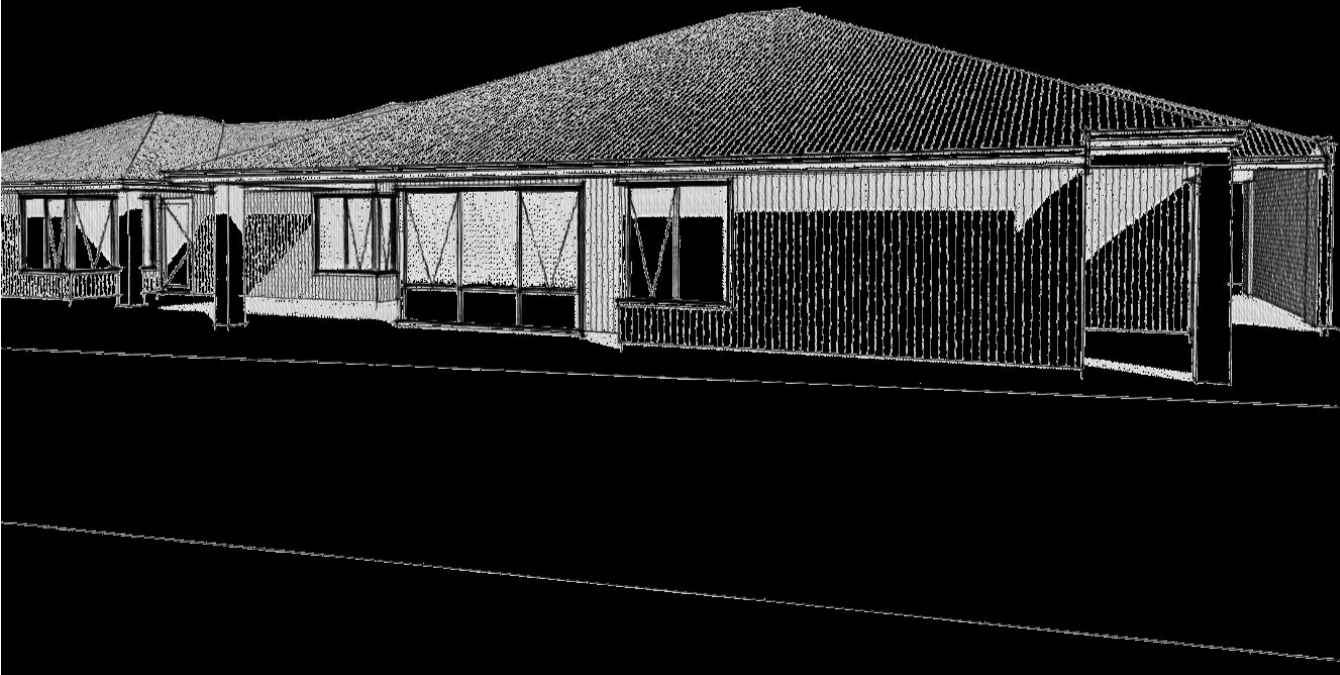
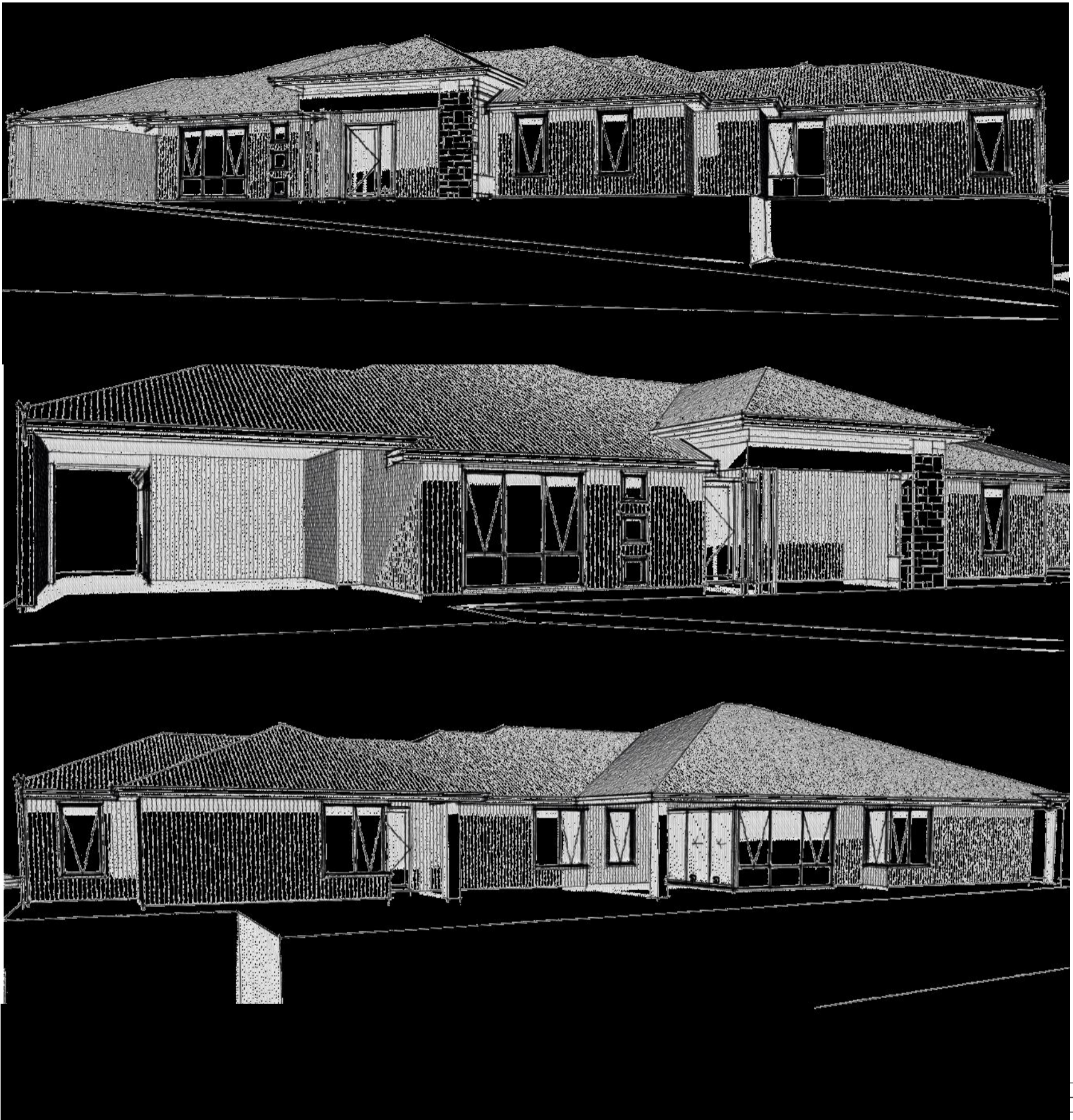
PROJECT
**5 TUART ROAD
GREENWOOD
CITY OF JOONDALUP**

CLIENT NAME
PERCY DEVELOPMENTS

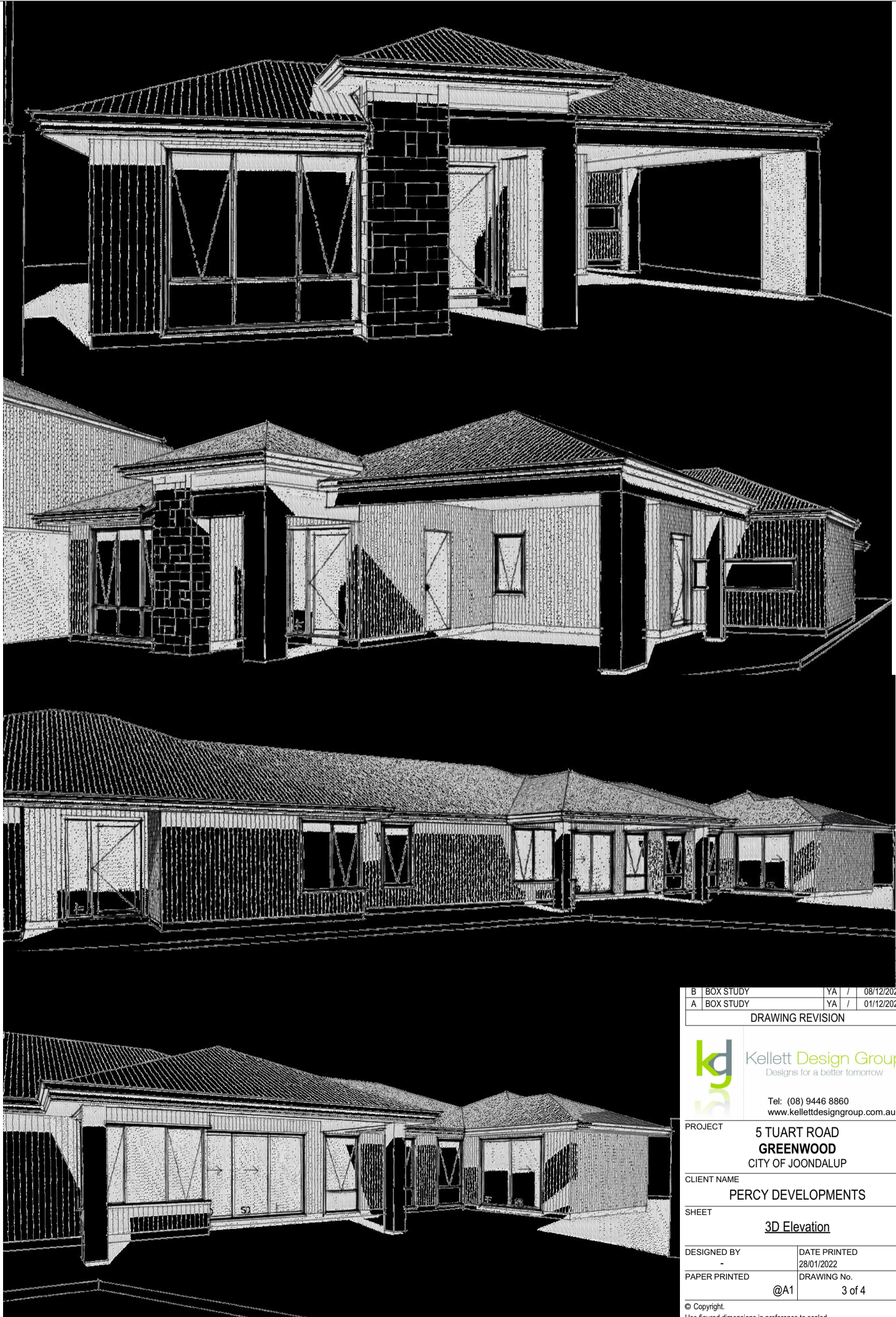
SHEET
3D Elevations

DESIGNED BY -	DATE PRINTED 28/01/2022
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C	SCHEMATIC DESIGN	SG	YA	28/01/2022
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PROJECT	5 TUART ROAD GREENWOOD CITY OF JOONDALUP			
CLIENT NAME	PERCY DEVELOPMENTS			
SHEET	<u>3D Elevation</u>			
DESIGNED BY	-	DATE PRINTED	28/01/2022	
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A	BOX STUDY	YA /	01/12/2021

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PROJECT
**5 TUART ROAD
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CLIENT NAME
PERCY DEVELOPMENTS

SHEET
3D Elevation

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APPLICANTS SUBMISSION

Rise Urban.

RISEURBAN.COM.AU



**Lot 847 Tuart Road, Greenwood****Proposed Amendment to City of Joondalup Local Planning Scheme No.3****Additional Use for SDA Housing**

Prepared for:	Identitywa
Prepared by:	Rise Urban Pty Ltd 3/448 Roberts Road Subiaco WA 6008 Cameron@riseurban.com.au
Project Planner	Cameron Leckey – Director
Job Code:	0612021
Doc Reference:	Rep05A-0612021
Issue No:	2 - Lodgement
Date:	19 September 2022



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Attachments

1. Attachment 1 – Proposed Scheme Map (Rise Urban, 2022)
2. Attachment 2 – SDA Housing - Development Concept Plans (KDG, 2022)

1. Purpose

The purpose of this amendment is to create an Additional Use over part of Lot 847 Tuart Road, Greenwood such that a portion of the site can be developed with two dwellings for the specific purpose of providing Specialist Disability Accommodation for members of the community with severe intellectual/cognitive or physical disabilities.

2. Background

The following sections set out the background to this proposal, including the context / objectives of the amendment and the current site and planning context.

2.1 About Identitywa

Rise Urban is proud to provide planning support to Identitywa. Identitywa is a not-for-profit outreach of the Catholic Archdiocese of Perth. A registered NDIS provider, Identitywa is one of WA's leading agencies supporting people with disabilities to live fulfilled and independent lives. Originally known as Catholic Care, Identitywa was established to provide support, care, and greater acceptance from the parish communities for people with significant intellectual and physical disabilities.

Identitywa is now an agency that supports over 550 individuals and their families, providing support services and supported living options to people with disabilities.

Recently Identitywa has embarked on a program to develop and provide its own range of brand new Specialist Disability Accommodation to meet the needs of the community.

2.2 About SDA Housing

The Federal Government established the National Disability Insurance Scheme (NDIS) and associated legislation in 2013 with a view to providing greater support and access to funding for people with severe disabilities.

As part of the overall NDIS initiative, a need was identified to support and fund Specialist Disability Accommodation (SDA), which differs significantly to more traditional housing with respect to its specific infrastructure needs.

The National Disability Insurance Scheme (Specialist Disability Accommodation) Rules 2016 describe SDA and the role of the NDIS in supporting SDA – refer extract below.

- 1.2 *One of the supports that may be funded for some participants who have an extreme functional impairment or very high support needs is SDA. SDA refers to accommodation for people who require specialist housing solutions, including to assist with the delivery of supports that cater for their extreme functional impairment or very high support needs. SDA does not refer to the support services, but the homes in which these are delivered. SDA may, for example, have specialist designs for people with very high needs or a location or features that make it feasible to provide complex or costly supports for independent living.*

At present there is a shortage of SDA housing in the northern suburbs, with current demand for an additional 23-25 dwellings in the Joondalup / Wanneroo region alone ([source](#)). This shortage has resulted in people with disabilities having to be accommodated in aged care facilities (often despite not being elderly), hospitals, or in other unsuitable / undesirable



accommodation that does not meet their needs or allow them to be treated with dignity and respect.

There are a number of challenges with delivering suitable SDA developments – in particular the ability to secure suitable development sites when competing with the open market and the ‘mum and dad’ investors.

One strategy that Identitywa has employed is to target surplus land held by Catholic entities and zoned Private Community Purposes, which avoids competing with the open market for standard residential sites.

Identitywa has recently reached agreement with the All Saints Catholic Parish (as the owners of the land) to lease and develop an unused portion of Lot 847 Tuart Road for SDA housing to accommodate up to eight tenants across two dwellings.

2.3 Site Description

Lot 847 Tuart Road, Greenwood (“the subject land”) is a 4.7ha parcel of land located on the eastern side of the Mitchell Freeway in the suburb of Greenwood. A location plan is Figure 1.

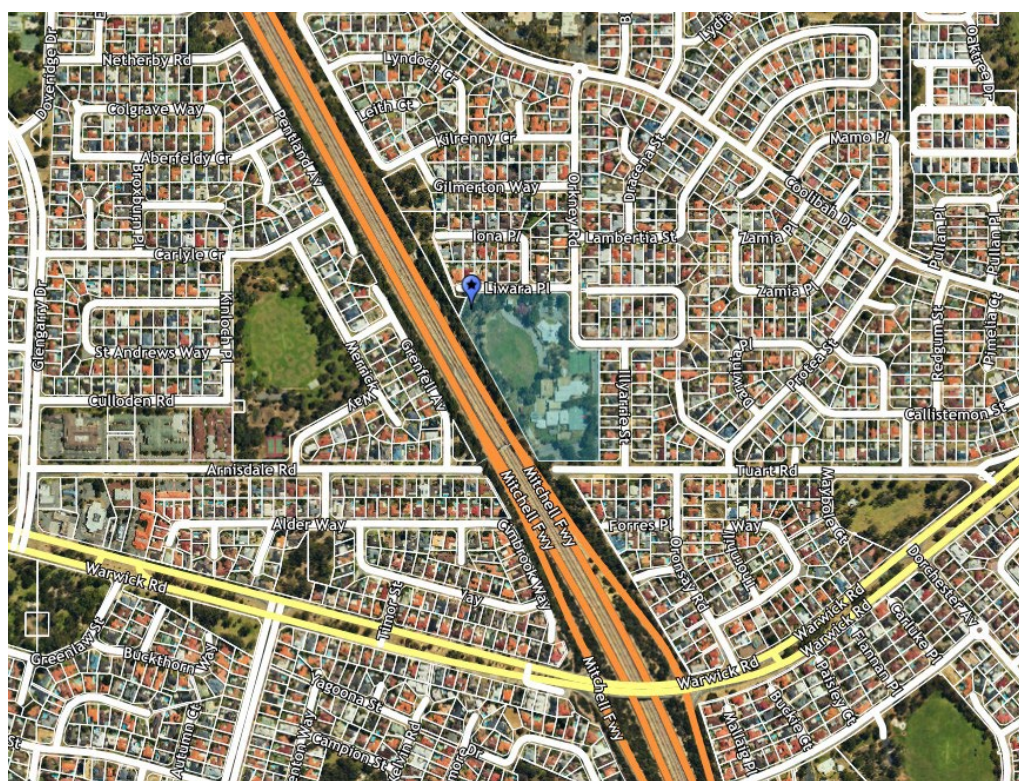


Figure 1 – Location Plan (source: MNG Access, 2022)

The subject land is owned by the Roman Catholic Archbishop of Perth and is managed by the All Saints Catholic Parish entities.

At present the subject land accommodates the Liwara Catholic Primary School and associated facilities and playing fields, as well as the All Saints Catholic Church and the Chapel of the Blessed Sacrament.

The main infrastructure associated with the school is located at the southern and eastern sides of the site, while the playing fields are located along the western boundary and buffer the school from the adjoining freeway. The church is located on the corner of Liwara Place and Orkney Road, in the north eastern corner of the site, with the Chapel of the Blessed Sacrament immediately adjacent fronting Liwara Place.

There is an undeveloped and under-utilised portion of the site of approximately 1,530m² located in the north western corner fronting Liwara Place and the Mitchell Freeway as depicted in Figure 2 below.



Figure 2 – Proposed SDA Site Location (source: MNG Access, 2022)

An opportunity exists to develop this underutilised area for Specialist Disability Accommodation to provide high-support housing for people with severe disabilities. The purpose of this amendment is to put in place the statutory planning framework that will enable this portion of the site to be developed for SDA housing.

2.4 Current Planning Context

The subject land is zoned 'Urban' under the Metropolitan Region Scheme, and 'Private Community Purposes' under the City of Joondalup Local Planning Scheme No.3 ("LPS3").

Clause 16 (Table 2) of LPS3 sets out the objectives of the Private Community Purposes Zone as follows:

- To provide sites for privately owned and operated recreation, institutions and places of worship.

- *To provide for a range of privately owned community facilities, and uses that are incidental and ancillary to the provision of those facilities, which are compatible with surrounding development.*
- *To ensure that the standard of development is in keeping with surrounding development and protects the amenity of the area.*

Despite referencing the use '*Aged and Dependent Persons Dwellings*' on multiple occasions, LPS3 does not include this use as a stand-alone use class in the Zoning Table (Table 3). Instead, officers have consistently taken the position that accommodation for aged or dependent persons ought to be classified as single, grouped or multiple dwellings depending on the built form proposed in each circumstance.

Amendment 6 to LPS3 was gazetted on 21 June 2021, and had the effect of changing the use class permissibility for *Grouped Dwelling* and *Multiple Dwelling* in the Private Community Purposes zone from 'D' to 'X' meaning that these uses are now prohibited in this zone. It is understood that this amendment was brought about on the advice of the Western Australian Planning Commission ("WAPC") who advised the City that residential uses are not aligned with the objectives of the zone and no residential density code (R-Code) has been assigned.

With the exception of the use classes *Residential Building* and *Residential Aged Care Facility* all permanent residential uses are now prohibited in the Private Community Purposes zone unless specified pursuant to clause 19 and Table 4 of LPS3 (Additional Uses).

The same amendment also recognised that there are some exceptions within the Private Community Purposes zone that might be well suited to grouped or multiple dwellings in the future (subject to not undermining the predominant use of the area) and listed them as Additional Uses in Table 4 of the Scheme (additional uses 15-17).

Clause 19 and Table 4 of LPS3 set out those specific sites that are:

- (a) *classes of use for specified land that are additional to the classes of use that are permissible in the zone in which the land is located; and*
- (b) *the conditions that apply to that additional use.*

This amendment is seeking to include 'Grouped Dwelling' as an additional use for the northern portion of the subject land, with the inclusion of appropriate conditions that restrict the use / occupancy of the Grouped Dwellings to SDA / dependent persons, and ensure that the predominant use of the site remains for Private Community Purposes consistent with the conditions to existing Additional Uses 15-17 of Table 4.

3. The Proposed Amendment to LPS3

This amendment proposes the following two modifications to LPS3:

- i. Insert Additional Use No.18 in Table 4 '*Specified additional uses for zoned land in Scheme area*' as shown below.

Table 4 - Specified additional uses for zoned land in Scheme area

No.	Description of land	Additional use	Conditions
18	Lot 847 Tuart Road, Greenwood	Grouped Dwelling	<p><i>Purpose / use of the grouped dwellings is restricted to housing for dependent persons as defined in State Planning Policy 7.3 Residential Design Codes Volume 1, and may include provision for on site care and support services.</i></p> <p><i>A residential density code of R20 shall apply.</i></p> <p><i>The predominant form of development over the site is for Private Community Purposes.</i></p>

- ii. Amend the Scheme Map to designate the Additional Use by including an 'A18' notation over Lot 847 Tuart Road, Greenwood.

The proposed amendment to the Scheme Map is shown indicatively at Attachment 1.

Having regard to regulation 34 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, the proposed amendment is considered to be a *Standard* amendment as the proposal:

- a) Is consistent with the objectives of the Private Community Purposes zone of the City's LPS3;
- b) Will have minimal impact on land in the scheme area that is not the subject of the amendment;
- c) Will not result in any significant environmental, social, economic or governance impacts on land in the scheme area; and
- d) Aligns with Amendment 6 to LPS3 which also added additional uses into the Private Community Purposes zone, and was also treated as a Standard amendment.

4. Planning Justification

The following paragraphs set out the justification for the proposed amendment in the context of the City's strategic planning framework.

4.1 Land Use

As noted above, the purpose of this amendment is to facilitate the development of two grouped dwellings for the purposes of providing permanent accommodation for people with severe physical and / or mental disabilities.

Although the built form will appear as traditional single storey grouped dwellings from the street, the dwellings will be custom built to meet the NDIS rules associated with SDA housing, and to ensure high quality and fit-for-purpose residential accommodation for the tenants.

Although the land use is listed as Grouped Dwelling in Table 4, the conditions that are proposed to be added will restrict the use of the grouped dwellings to SDA housing, and will ensure that the development will be very limited in scope.

4.2 Objectives of the Zone

As noted above, Identitywa is a Western Australian based outreach service provided by the Catholic Church. Although its services are non-denominational, Identitywa retains a close affiliation with the Catholic institution.

The proposed amendment, and the resultant SDA dwellings are consistent with the objectives of the Private Community Purposes zone in that:

- It will allow for a site to be developed as a privately owned and operated institution with close affiliations to the adjoining church and school.
- It will deliver a use and form of development that is compatible with the adjoining school, church, and residential properties on the opposite side of Liwara Place.
- The SDA housing is a low-impact and low-intensity form of development comprising two single-storey dwellings, which is in keeping with the surrounding development and the amenity of the area. Furthermore, the proposal will ensure the retention of a number of the existing trees within the development site (to be confirmed at DA stage), ensuring that the existing character is respected.

The proposed amendment is consistent with the principle established in Additional Uses 15-17 as listed in Table 4 of LPS3, where grouped dwellings and multiple dwellings are permissible in the Private Community Purposes zone subject to the predominant use of the site continuing as private community purposes. This proposal will not replace or remove the existing private school or place of worship located on the site, and instead will provide a complementary use that will not undermine the overall purpose of the zone.

It is noted that Residential Aged Care is a permissible use in the Private Community Purposes zone. SDA housing performs a very similar function to residential aged care, and it follows that if aged care is an appropriate use in this zone, then SDA housing should also be permitted on a discretionary basis.

4.3 Special Conditions

The amendment proposes to include three special conditions in Table 4 that will remove the potential for any unintended consequences of the amendment being approved.

1. Occupancy of the grouped dwellings is restricted to dependent persons as defined in the R-Codes Volume 1:

Dependent person: A person with a recognised form of disability requiring special accommodation for independent living or special care.

2. A density code of R20 has been allocated in order to ensure that the grouped dwellings are designed and constructed to a comparable standard and density to the surrounding residential areas, which also have a R20 density code.

3. Consistent with Additional Uses 15-17, a condition has been included that ensures the predominant use of the site will remain as Private Community Purposes and will not be undermined or replaced by the proposed SDA housing.

These conditions will ensure that the grouped dwellings can only ever be used as SDA housing, that they will be of a scale and form that is consistent with the surrounding residential context, and that the predominant use of the site as a private community facility is not undermined.

5. Next Steps

This Amendment, if approved, does not in and of itself enable development to occur on the site. There are a number of subsequent steps in the process including planning approval, building certification and construction. Although difficult to predict in this current climate, we estimate that the SDA housing will be completed and ready for occupation within 24 months.

5.1 Development Application

Once the amendment is further progressed to the point that it has been advertised and is considered to be 'seriously entertained', and it is clear that both the City and WAPC are supportive of the proposed additional use, Identitywa will proceed to lodge a development application with the City.

The dwellings will be designed in accordance with the Residential Design Codes Volume 1 and the City's local planning framework. As well as the standard information, the development application will likely provide:

- A site and feature survey;
- An earthworks / retaining strategy;
- An environmental assessment of trees / vegetation and other environmental attributes of the site and identification of those trees / attributes to be retained; and
- An acoustic assessment to address noise mitigation from the Mitchell Freeway.

5.2 Concept Plans

Although the detailed design is yet to be finalised, the preliminary concept plans at Attachment 2 demonstrate a likely built form outcome for the two SDA dwellings fronting Liwara Place. Key aspects of the preliminary concept design include:

- Both dwellings are single storey, and as such are consistent with the local housing character / typology.
- Existing trees are recognised and retained within the outdoor living areas where practicable, having regard to the need to deliver a level development site to ensure sufficient mobility for its future occupants and achieve the necessary NDIS certification.
- Adequate car parking for carers and visitors is provided on site to ensure minimal impact on the street and to meet the NDIS rules for SDA housing.

As demonstrated in the concept plans, the grouped dwellings are consistent with the surrounding scale and form of development, and are a low-impact, low-scale development that will make a positive contribution to the streetscape and the community.



6. Conclusion

There is a significant shortage of suitable SDA housing options for those in need in the northern suburbs at present. The proposed amendment to create an additional use over a portion of Lot 847 Tuart Road will result in the development of two grouped dwellings, accommodating up to eight individual dependent persons. The homes are custom-designed with the end user in mind, and allow the occupants to live independently or semi-independently with dignity. Once completed, the homes will relieve some of the pressure from aged care facilities and hospitals in the locality which are currently struggling to cope with demand.

Overall, the proposed amendment will facilitate a form of development that meets a specific need in the community, whilst also making use of surplus land that would otherwise remain vacant.

From a planning perspective the proposal is very limited in nature, and does not undermine the objectives of the zone or the amenity / character of the area. Further, the site-specific nature and the special conditions associated with the additional use ensure that approval of the amendment will not set any form of precedent for other sites within the Private Community Purpose zone.

On this basis it is requested that the City of Joondalup proceed to initiate the standard amendment to create this additional use over Lot 847 Tuart Road, Greenwood.

**PROPOSED AMENDMENT NO 12
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
LOT 847 (5) TUART ROAD, GREENWOOD
(Closed 4 May 2023)**

Submi- sion Number	SUBMISSION SUMMARY	APPLICANT RESPONSE TO SUBMISSIONS	ADMINISTRATION COMMENTS
Support			
1	It would be wonderful if this accommodation goes ahead as far more are needed and not only for the disability sector.	Agreed.	Noted.
6	A marvellous project for very needy people.	Agreed.	Noted.
13	Support proposal as there is an identified shortage of specialist disability accommodation (SDA) housing in the northern suburbs. This results in people with disabilities having to be accommodated in aged care facilities, hospitals or other accommodation. Beneficial use of an underutilised portion and create opportunities for SDA housing. The housing should not produce inappropriate noise or traffic congestion.	Agreed. Specialist Disability Accommodation does not produce noise or traffic beyond that produced by typical residential dwellings.	Noted.
14	Identitywa is one of Western Australia's leading agencies supporting people with disability and their families throughout the Perth metropolitan area. They have identified shortage of specialist disability accommodation (SDA) housing in the northern suburbs. This results in people with disabilities having to be accommodated in aged care facilities (often despite not being elderly), hospitals, or in other unsuitable / undesirable accommodations that does not meet their needs. The additional use of the proposed land will make beneficial use of an underutilised portion of Lot 547, along Liwara Place and create opportunities for SDA housing in accordance with the National Disability Insurance Scheme requirements. The development will alleviate the pressure from aged care facilities and hospitals in the locality. The area proposed to be utilised for the two SDA dwellings is located opposite existing residential dwellings, coded R20, and the SDA housing should not produce inappropriate noise or traffic congestion in the area.	Agreed. Specialist Disability Accommodation does not produce noise or traffic beyond that produced by typical residential dwellings.	Noted.
16	No comment.	Noted.	Noted.
18	Proposal would permit the independent living of people with disabilities in accordance with the requirements of the NDIS. Minimal impact on neighbouring residences as it is part of a housing scheme.	Agreed.	Noted.
20	The proposal will enhance the immediate area. Providing suitable housing is a challenge. This will provide an ideal setting while not disturbing nearby neighbours.	Agreed.	Noted.
27	We must, if we are to judge ourselves humane, provide accommodation for the increasingly ageing disabled community. The development would provide this and, by its location, perhaps also assist in attenuating the anti-social behaviour which impacts on the church, school and their surrounding environment.	Agreed.	Noted.
Objection			
3	Loss of vegetation after already so many trees have been taken down. Additionally, disruption to the school and parish community.	We have obtained a professional environmental assessment for this site, which determined that the vegetation on this site is degraded and is not environmentally significant in terms of flora or habitat for fauna, and is therefore not necessary to conserve. This Scheme amendment has also been considered by the Environmental	The submitter may be referring to the removal of trees on adjoining sites associated with Freeway works however it is noted that this is not related the current proposal under consideration. The applicant has advised that it is intended to retain trees on the site where possible.

**PROPOSED AMENDMENT NO 12
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
LOT 500 (5) TUART ROAD, GREENWOOD
(Closed 4 May 2023)**

Submi- sion Number	SUBMISSION SUMMARY	APPLICANT RESPONSE TO SUBMISSIONS	ADMINISTRATION COMMENTS
		<p>Protection Authority, which determined that the proposal does not require assessment due to the lack of environmental impacts.</p> <p>Notwithstanding, trees will be retained where possible to maintain the amenity of the site.</p> <p>The site is topographically and visually separated from the school site, and will also operate separately, and will therefore not disrupt the school or parish.</p>	
4	<p>Concern that group housing on the lot at Liwarra School will put children at risk. There may potentially be members housed that make the school unsafe. The proposed site looks directly onto the oval.</p> <p>Parking is already terrible with only a one-way entrance to the school oval. Group Housing will congest this even more with their visitors using the school carpark instead of the proposed carpark.</p> <p>Not in the best interest of the Catholic School especially since all the developments to the freeway have impacted negatively on school safety/noise increase to environment and therefore children learning.</p>	<p>Refer to our response to submission 3 regarding interface with the school.</p> <p>Sufficient parking will be proposed on site at development application stage to cater for all occupant and visitor demand. The anticipated demand will be consistent with that reasonably expected on a typical residential street.</p> <p>Also note that there is no evidence to suggest that SDA accommodation would put children at risk. This claim is completely unfounded.</p>	<p>There are many examples where housing adjoins or has views to school sites. Visual privacy will be assessed at development application stage in accordance with the provisions of the Residential Design Codes.</p> <p>The road network is capable of accommodating the traffic that the additional use will generate. Notwithstanding, parking and access arrangements will be assessed at development application stage. The application for the scheme amendment has been made on behalf of the owners of the site.</p>
7	<p>With the clearing that MRWA has undertaken down the Mitchell Freeway corridor, the City should focus on retaining existing vegetation in residential areas. The church has already cleared vegetation for the recently built parish centre. Vegetation is being cleared at an exponential rate in urban areas and this needs to be a true and important consideration.</p> <p>The provision of parking spaces for services seems superfluous when the church has a carpark in the vicinity.</p>	<p>Refer to our response to submission 3 regarding vegetation and submission 4 regarding car parking and traffic.</p>	<p>The proposal has been referred to the Environmental Protection Authority who have reviewed the Environmental Assessment Report and determined that the proposal did not warrant formal assessment. The applicant has advised that it is intended to retain trees on the site where possible.</p> <p>Parking and access arrangements will be assessed at development application stage.</p>
11	<p>Limited access into the site. Adjoining roads are already under pressure and congested at school and church times. Parking at supported housing is very limited relying on verge parking.</p> <p>The amendment approved by the Minister for Planning in June 2021 should stand and not be interfered with.</p> <p>Large hardwood Tuart/Marri trees were destroyed unnecessarily so the church hall could be built. Proposal would likely destroy others.</p>	<p>Refer to our response to submission 3 regarding vegetation and submission 4 regarding car parking and traffic.</p> <p>Each dwelling will be required to provide on-site parking in accordance with the Residential Design Codes.</p>	<p>The road network is capable of accommodating the traffic that the additional use will generate. Notwithstanding, parking and access arrangements will be assessed at development application stage.</p> <p>Amendment No 6 was supported to address an anomaly in LPS3. The amendment acknowledged that there may be circumstances where residential development may be appropriate on a site zoned 'Private Community Purposes' where it would not be the predominant use.</p> <p>The applicant has advised that it is intended to retain trees on the site where possible.</p>
15	<p>Increased vehicle traffic.</p> <p>Established hardwood trees plus others with large canopies would be removed. Trees should be kept and green space preserved.</p> <p>Ample community housing nearby including Freemason Homes, Brightwater, Kingsley Lakeside, Bethanie, Amana Living, Opal, St Ives, Barrisdale Lodge, Aegis.</p>	<p>Refer to our response to submission 3 regarding vegetation and submission 4 regarding car parking and traffic.</p> <p>There is a demonstrated shortage of Specialist Disability Accommodation in Perth, and the northern suburbs in particular.</p>	<p>The proposed development is unlikely to generate significant additional traffic.</p> <p>The applicant has advised that it is intended to retain trees on the site where possible.</p>

**PROPOSED AMENDMENT NO 12
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
LOT 500 (5) TUART ROAD, GREENWOOD
(Closed 4 May 2023)**

Submi- sion Number	SUBMISSION SUMMARY	APPLICANT RESPONSE TO SUBMISSIONS	ADMINISTRATION COMMENTS
			Should the proposed scheme amendment proceed, the applicant has advised the type of housing provided and designed for specialist disability accommodation, which is lacking in the community.
19	<p>Rezoning will deny the school any future possibility of using the land for legitimate school purposes. It will diminish the ability for the school to provide broader benefit of the broader school community in the future.</p> <p>The proposed development will restrict any benefit specifically to a select though deserving, group within the community.</p> <p>Additionally, the Parish Church has advised that Identity WA intend to pay the Parish an ongoing Lease Fee for the land if development is approved. This seems to indicate the exercise is as much a commercial venture as a charitable service by Identity WA, engineered to be presented in a form to appear to have a Private Community Service</p> <p>The current proposal is inappropriate and unsuitable for the area.</p>	<p>This proposal is not to rezone the site and will therefore not prevent the land from being used for school purposes in the future should the dwellings cease being used for Specialist Accommodation purposes.</p> <p>The proposal represents a broader community benefit and is therefore consistent with the intent of the 'Private Community Purposes' zone. The location of the site in a broader residential area makes it well suited for Specialist Disability Accommodation.</p> <p>Identitywa wishes to confirm this proposal forms a core part of its not-for-profit activities and is not a commercial venture.</p>	<p>Should the proposed scheme amendment proceed, a condition is proposed to ensure that the site will still be predominantly used by the existing school or other uses permitted in the 'Private Community Purpose' zone.</p> <p>The proposed restriction on the housing for use by dependent persons is no different to the restriction on the use of housing by aged persons, for example. The proposal will provide for a diversity in housing accommodation.</p> <p>The commercial arrangement between parties is not a relevant consideration for the proposed scheme amendment.</p>
21	<p>Rezoning to residential is a strategic shift from the original purpose of this zone in LPS3. If approved, it will set a precedent and undermine the fundamental strategic purpose of an LPS.</p> <p>Strategic guidance should be through a local planning policy for dependent dwellings.</p> <p>Ad-hoc change that will in turn fundamentally alter the way developers view this zone classification in the City. Infill needs to happen through well planned mixed-use in existing commercially zoned precincts.</p> <p>It makes sense to locate the development in existing residential areas which are better served by road access.</p> <p>The land should be purchased by the City for the purposes of public open space to benefit the environment and local residents in the area.</p>	<p>This proposal is limited to Specialist Disability Accommodation only, and typical residential uses will remain prohibited on this site.</p> <p>No comment regarding the local planning policy.</p> <p>This proposal is limited to Specialist Disability Accommodation and is subject to stringent conditions, which will ensure that it does not set a precedent.</p> <p>It is challenging for providers such as Identitywa to secure residential zoned land when competing with the open market, and so this surplus land is well suited for a viable Specialist Disability Accommodation development.</p> <p>The land is not for sale by the Catholic Church.</p>	<p>Amendment No 6 was supported to address an anomaly in LPS3. The amendment acknowledged that there may be circumstances where residential development may be appropriate on a site zoned 'Private Community Purposes' where it would not be the predominant use.</p> <p>Conditions have been proposed as part of this amendment to supplement the additional use, intending to limit the additional use to only dependent persons dwelling developments and at a scale (R20) to ensure compatibility with the surrounding context.</p>
22	<p>The development is counter to the letter of scheme amendment No. 6. Inconsistent with the objectives of the Primary Community Purposes Zone. Will create a precedent for future development applications on the site and other sites. A flexible interpretation of scheme amendment No. 6. The condition is indeterminate.</p>	<p>Refer to our response to submission 21 regarding precedent concerns.</p>	<p>Amendment No 6 was supported to address an anomaly in LPS3. The amendment acknowledged that there may be circumstances where residential development may be appropriate on a site zoned 'Private Community Purposes' where it would not be the predominant use.</p>
24	<p>If approved will set a precedent for other owners of 'Private Community Purpose' and is contrary to Scheme Amendment 6. Will create a precedent for future development applications on the site and other sites.</p> <p>The condition which requires "the predominant use of the site remains for Private Community Purposes consistent with the conditions to existing Additional Uses 15-17 of Table 4..." is indeterminate.</p> <p>This development will also result in the loss of amenity from the school and neighbouring homes through the loss of remnant bushland.</p>	<p>Refer to our response to submission 21 regarding precedent concerns.</p> <p>The proposal is limited to a small unused portion of the site, with the significant majority used for school and/or religious purposes. It is therefore clear that this proposal will not be the predominant use of the site.</p> <p>Refer to our response to submission 3 regarding vegetation.</p>	<p>Amendment No 6 was supported to address an anomaly in LPS3. The amendment acknowledged that there may be circumstances where residential development may be appropriate on a site zoned 'Private Community Purposes' where it would not be the predominant use.</p> <p>The applicant has advised that it is intended to retain trees on the site where possible.</p>

**PROPOSED AMENDMENT NO 12
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
LOT 500 (5) TUART ROAD, GREENWOOD
(Closed 4 May 2023)**

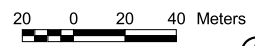
Submi- sion Number	SUBMISSION SUMMARY	APPLICANT RESPONSE TO SUBMISSIONS	ADMINISTRATION COMMENTS
25	<p>Not enough consideration has been given to the people that will be living in the new accommodation and the amenities that they will require; as well as the potential impacts on local residents caused by developing and modifying the usage of this Lot.</p> <p>The proposed amendment indicates that new dwellings will be for aged and assisted living. Generally, people that fall into this category will require extra infrastructure and support in terms of the following:</p> <p>Accessibility – not access to public transport within a reasonable distance. No footpath on the verge which is not appropriate for wheelchair access. Liwara street is steep and difficult to access.</p> <p>Amenity – Few shopping centres and entertainment/outdoor activities within close proximity.</p> <p>Noise – the site is located very close to the freeway which will result in noise exposure 24/7.</p> <p>Traffic/Parking - Currently there is extremely limited street parking on Liwara Place, there needs to be more parking to support the current activities on this property. Adding new dwellings to Lot 847 will increase the parking and traffic load on Liwara Place by increasing vehicle numbers by residents, visitors and services. There is no indication of new parking facilities on the concept plans except for two carports which are inadequate.</p> <p>Vegetation and streetscape - Removing this last piece of bush land will negatively affect the look and feel of the area. The bush area on the site serves purpose in that it; buffers the freeway, is an important habitat for local birds and wildlife, helps regulate the temperature in the surrounding area, and acts as a windbreak from south westerly winds.</p> <p>Construction – Construction associated within the development in conjunction with the traffic and parking issues will cause major disruption to the local residents.</p> <p>There has been no support from the caretaker to help resolve or mitigate any of these issues.</p>	<p>The dwellings have been designed to meet NDIS requirements for Specialist Disability Accommodation and will meet the needs of their future occupants, which are well understood by Identitywa.</p> <p>The occupants will be transported to and from amenities by carers given their high needs.</p> <p>The development and building application will be required to confirm that the dwellings will be acoustically attenuated to reduce noise from the freeway to an acceptable level in accordance with State Planning Policy 5.4.</p> <p>Refer to our response to submission 3 regarding vegetation and submission 4 regarding car parking and traffic.</p> <p>Construction will be managed in accordance with all applicable and legislative requirements, and will have no greater impact on the amenity of the nearby residents than a typical residential dwelling or dwellings.</p>	<p>A separate development application would need to be made and determined by the City, at which time the development would be assessed in accordance with the Residential Design Code provisions including the provision of open space. In addition, given the applicant's intent to develop specialist disability accommodation, the housing will be designed to meet the needs of the people who will be living there.</p> <p>While the proximity to shopping centres and public transport may be an added benefit, it is not considered that this should be a limiting factor to where specialist disability accommodation is appropriate to be provided as this would likely significantly restrict the locations where this form of accommodation could be provided.</p> <p>Given the subject site is located near the Mitchell Freeway, any residential development on the site would be subject to <i>State Planning Policy 5.4 Road and Rail Noise</i> and may require measures to ensure that there is no adverse impact on residents from road noise.</p> <p>The road network is capable of accommodating the traffic that the additional use will generate. Notwithstanding, parking and access arrangements will also be assessed at development application stage.</p> <p>The proposal has been referred to the Environmental Protection Authority who have reviewed the Environmental Assessment Report and determined that the proposal did not warrant formal assessment. The applicant has advised that it is intended to retain trees on the site where possible.</p> <p>Construction issues are not relevant to the consideration of the scheme amendment proposal.</p>
Agencies			
2	<p><u>ATCO Gas Division Australia</u></p> <p>ATCO Gas Australia has no objection to the proposed application, based on the information provided.</p>	No comment.	Noted.
5	<p><u>Public Transport Authority of WA</u></p> <p>1. The site is within 100m of the passenger railway (Joondalup Line) and as such future development on the site must be supported by a noise assessment prepared by a suitably qualified consultant, in accordance with <i>State Planning Policy 5.4 (SPP 5.4)</i>.</p>	<p>The development application will confirm that the requirements of State Planning Policy 5.4 will be met.</p> <p>The requirement for an application for third party access is noted.</p>	<p>The comments relate to future development on the site. A separate development application will need to be made and approved by the City, at which time the potential implications would be assessed in detail, taking into account these comments.</p>

**PROPOSED AMENDMENT NO 12
SCHEDULE OF SUBMISSIONS FOLLOWING ADVERTISING
LOT 500 (5) TUART ROAD, GREENWOOD
(Closed 4 May 2023)**

Submi- sion Number	SUBMISSION SUMMARY	APPLICANT RESPONSE TO SUBMISSIONS	ADMINISTRATION COMMENTS
	<p>2. The future development must also take into consideration vibrations from the Joondalup Line on this sensitive land use.</p> <p>Given the site is located approximately 42m to the nearest rail, hence within 50m from the PTA railway reserve, it places future development inside the PTA Protection Zone. Therefore, an application for third party access is required prior to the commencement of any works within the Protection Zone.</p>		
8	<p><u>Main Roads WA</u></p> <p>Future development application will need to implement measures to ameliorate the impact of transport noise. Future development is to comply with WAPC State Planning Policy 5.4 Road and Rail Noise and implement Noise Insulation "Deemed to Comply" packages for residential development.</p> <p>Vehicular access shall be achieved from the local road or side roads.</p> <p>Mitchell Freeway is control of access under the Main Roads Act 1930. No access to this road is permitted.</p>	<p>The development application will confirm that the requirements of State Planning Policy 5.4 will be met.</p> <p>No access will be proposed to Mitchell Freeway – only Liwara Place.</p>	<p>The comments relate to future development on the site. A separate development application will need to be made and approved by the City, at which time the potential implications would be assessed in detail, taking into account these comments.</p>
9	<p><u>Department of Water and Environmental Regulation</u></p> <p>No objections or comments.</p>	No comment.	Noted.
10	<p><u>Department of Biodiversity, Conservation and Attractions</u></p> <p>No comments.</p>	No comment.	Noted.
12	<p><u>Water Corporation</u></p> <p>No objections.</p>	No comment.	Noted.
17	<p><u>Department of Communities</u></p> <p>Supportive of the scheme amendment to facilitate the development of dependent persons dwellings as an ancillary component of the predominant use of the site.</p>	The Department of Communities is thanked for its support.	Noted.
23	<p><u>Department of Fire and Emergency Services – Land Use Planning</u></p> <p>No comments.</p>	No comment.	Noted.
26	<p><u>Department of Education</u></p> <p>No objections.</p>	No comment.	Noted.



Marmion Local Structure Plan Boundary



**C H A P P E L L
& L A M B E R T**
T O W N P L A N N I N G
U R B A N D E S I G N

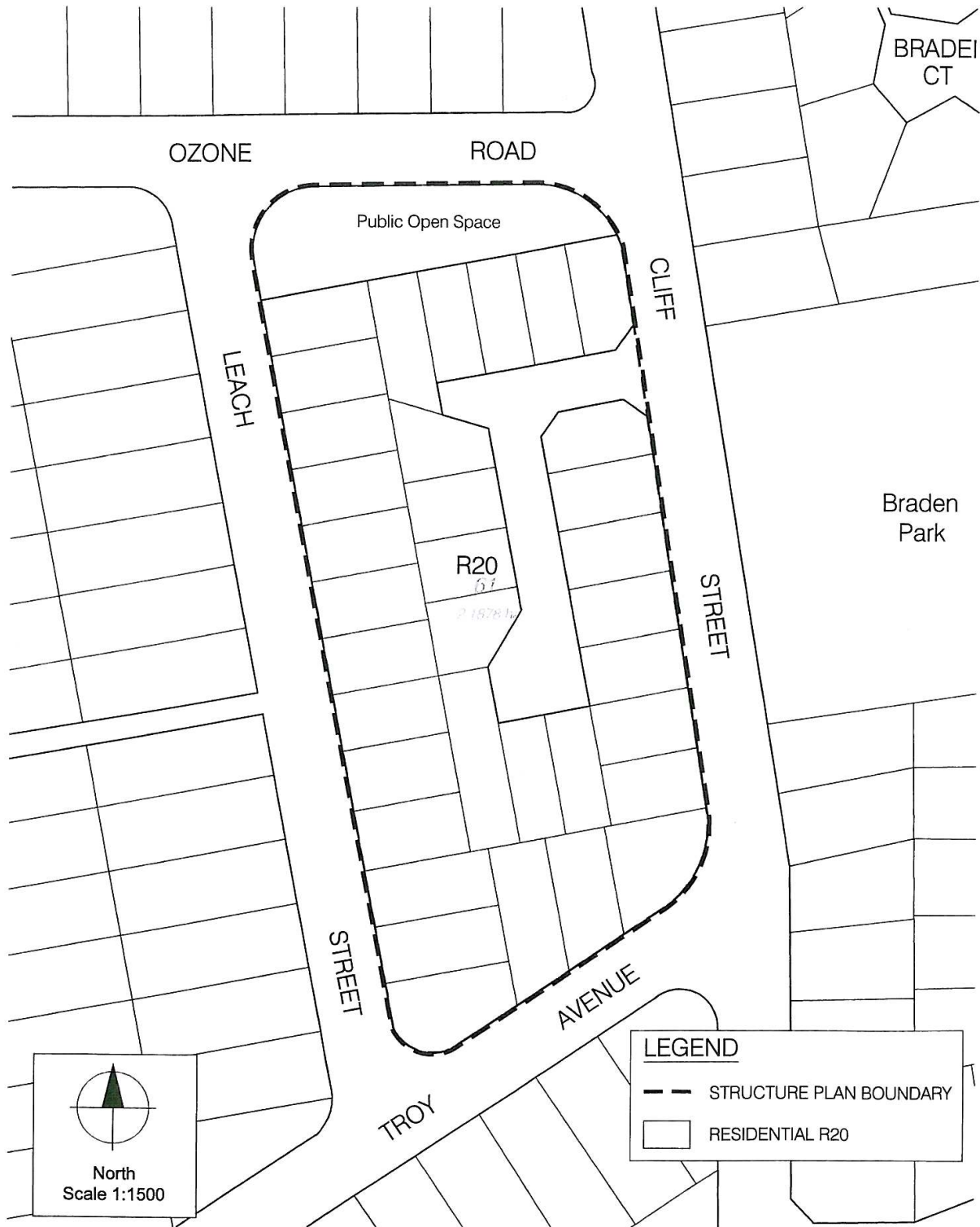


LOCAL STRUCTURE PLAN

**C H A P P E L L
& L A M B E R T**
T O W N P L A N N I N G
U R B A N D E S I G N

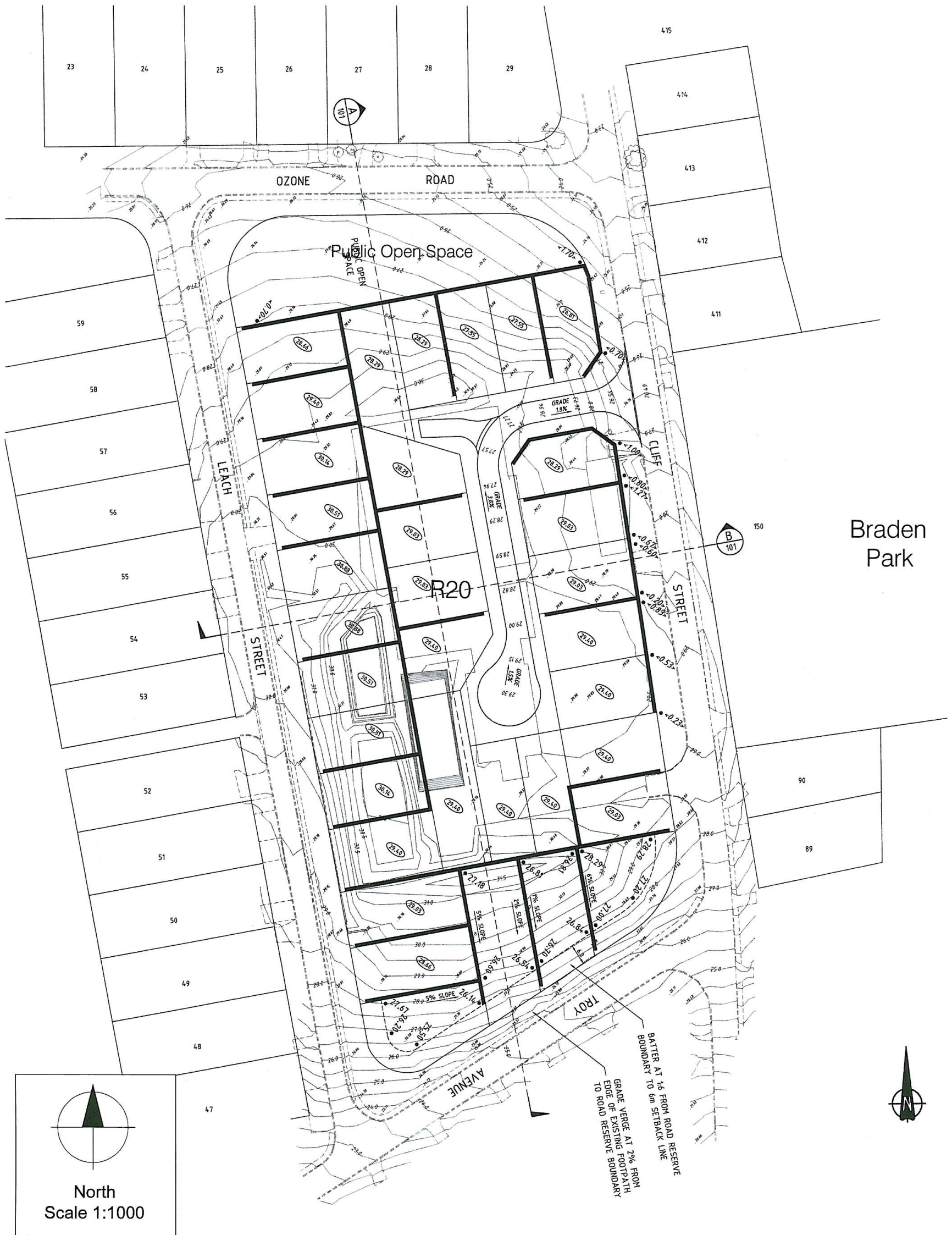


**C H A P P E L L
& L A M B E R T**
T O W N P L A N N I N G
U R B A N D E S I G N



RESIDENTIAL DENSITY CODE PLAN

**C H A P P E L L
& L A M B E R T**
T O W N P L A N N I N G
U R B A N D E S I G N



North
Scale 1:1000

FINISHED GROUND LEVELS (Cossill + Webley)

2006-31C DSP

PLAN 4


Local Planning Scheme No.3 Amendment No.

LEGEND

 Boundary of Amendment

 Residential Density Code Boundary

METROPOLITAN REGIONAL SCHEME RESERVES

 Parks and Recreation


LOCAL SCHEME RESERVES

 Public Open Space

 Environmental Conservation


 District Distributor Road

 Local Distributor Road

 Local Road

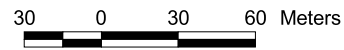
ZONES

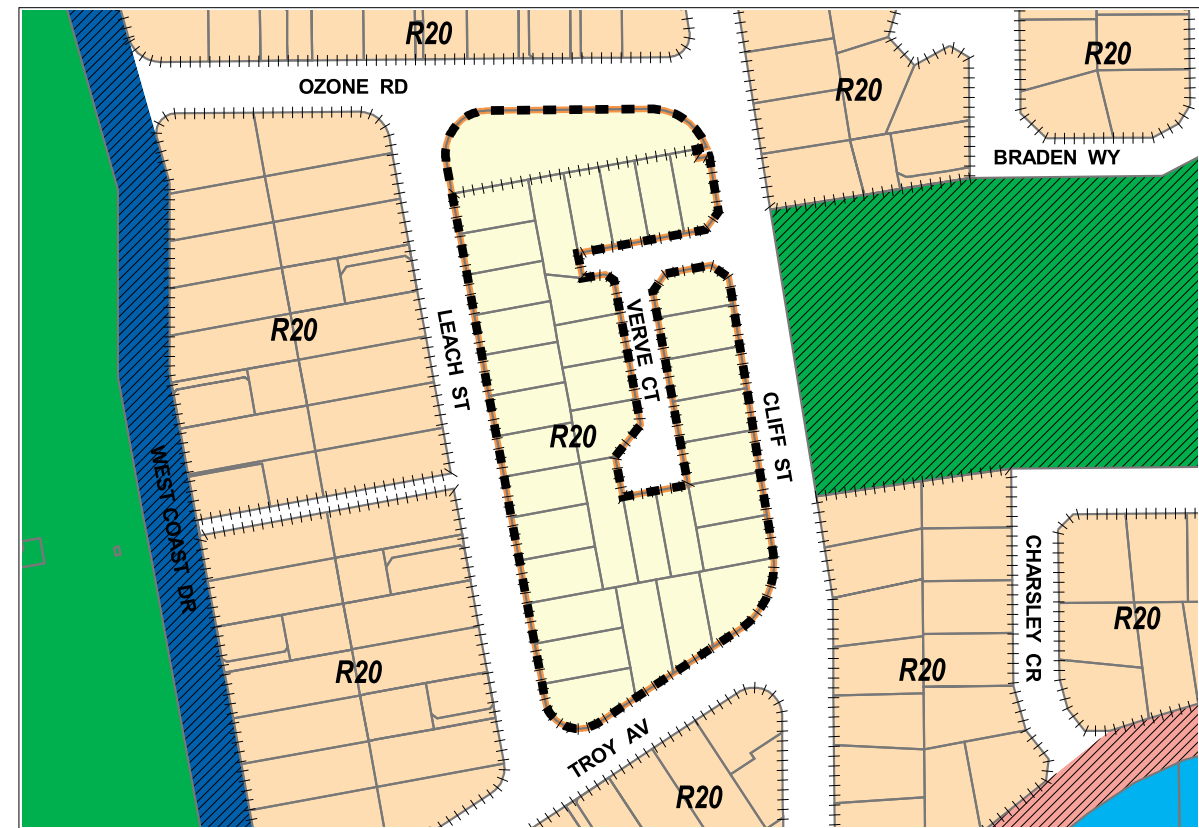
 Residential

 Urban Development

 Commercial

SCALE 1: 2500 @A3

 30 0 30 60 Meters

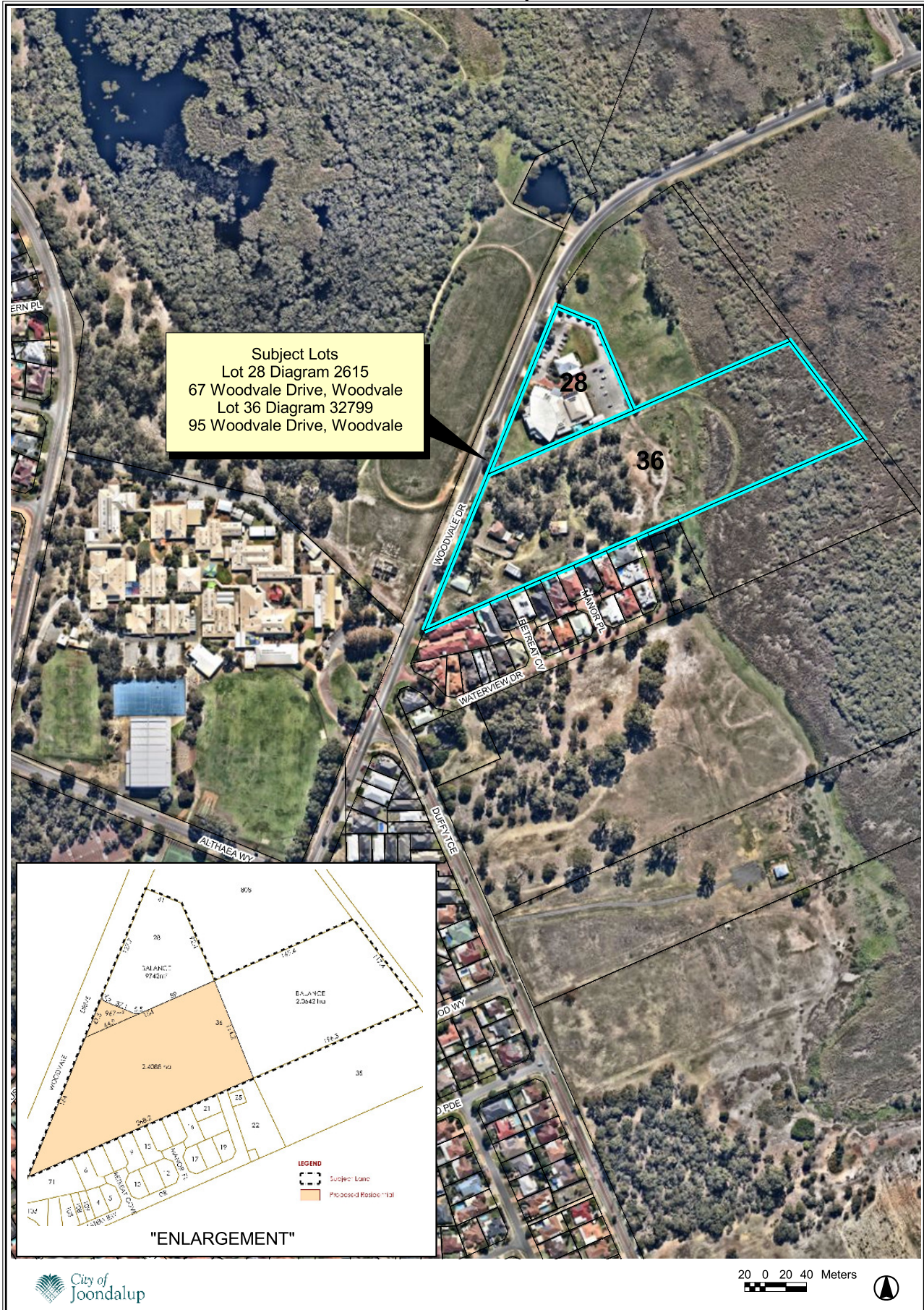


EXISTING ZONING

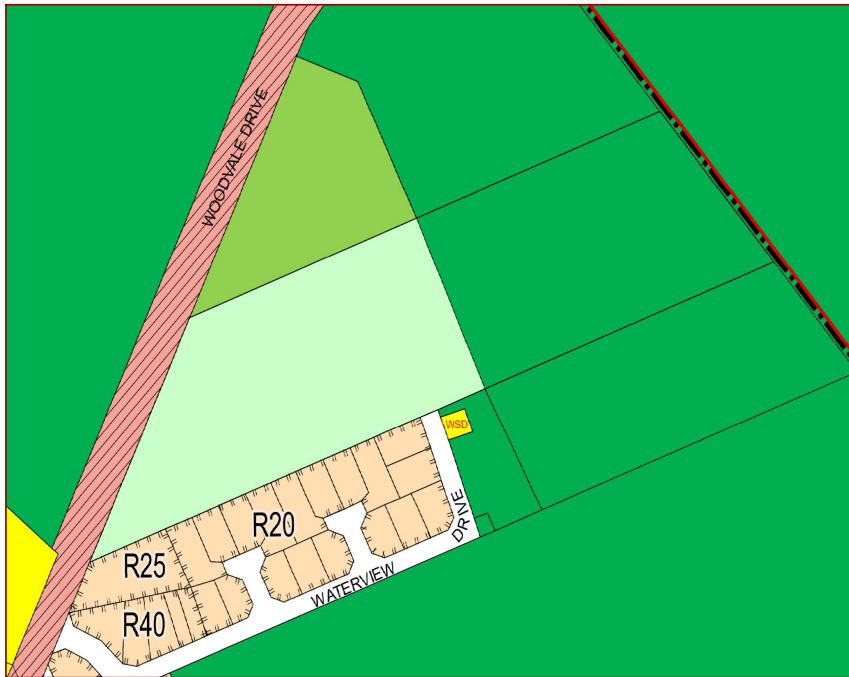


SCHEME AMENDMENT

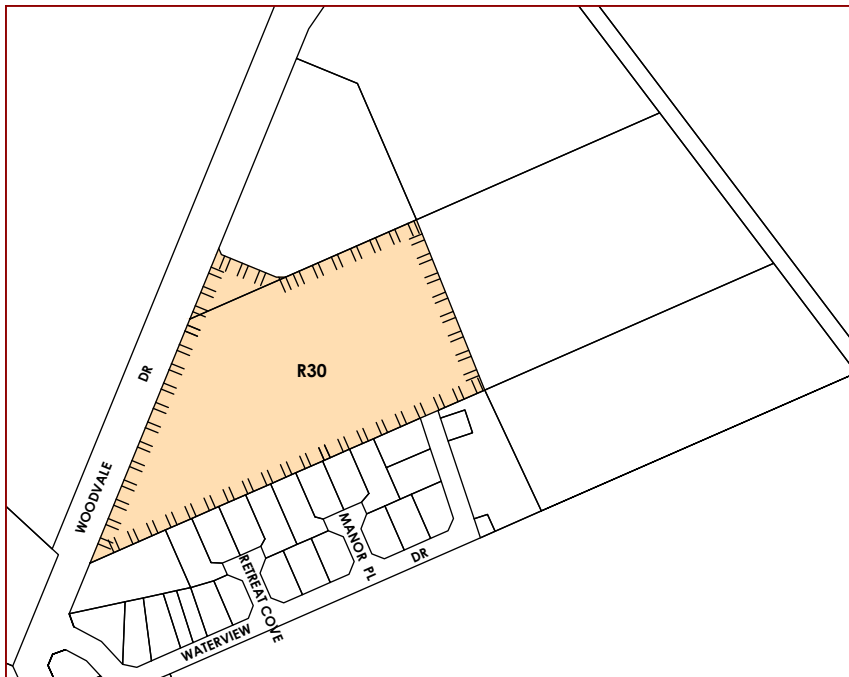
Location plan



Scheme amendment map



EXISTING ZONING



PROPOSED ZONING

LEGEND

REGION SCHEME RESERVES (MRS)

- Parks and Recreation
- HS Public Purposes - High School
- WSD Public Purposes - Water Authority of WA

LOCAL SCHEME RESERVES

- Local Road
- Local Distributor Road

LOCAL SCHEME ZONES

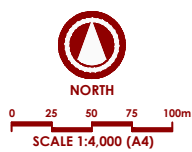
- Residential
- Rural
- Private Community Purposes

OTHER CATEGORIES

- Scheme Area Boundary
- Local Government Boundary
- R20 R Codes

All areas and dimensions are subject to survey, engineering and detailed design and may change without notice. © Copyright of Burgess Design Group.

FIGURE 5



**PROPOSED SCHEME AMENDMENT
LOCAL PLANNING SCHEME NO.3
WOODVALE**

Applicant's submission

LOCAL PLANNING SCHEME NO.3 AMENDMENT REQUEST

LOTS 28 (No. 67) AND 36 (No. 95) WOODVALE DRIVE,
WOODVALE

CITY OF JOONDALUP

31 March 2023



BURGESS | DESIGN
GROUP
TOWN PLANNING + URBAN DESIGN



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Project Planner:	Jon Burgess
Job code:	NOB WOO
File reference:	230214RLGA_Scheme Amendment Report v1

Revision:	Date:	Description:	Author:	Reviewer:
0	14/02/23	First draft	Z MacDonald	J Burgess
1	31/03/23	Final draft	Z MacDonald	J Burgess

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 Appendix 3 Transport Impact Assessment
 Appendix 4 Bushfire Management Plan
 Appendix 5 Servicing Report

Planning and Development Act 2005

RESOLUTION TO ADOPT AMENDMENT TO LOCAL
PLANNING SCHEME

CITY OF JOONDALUP LOCAL PLANNING SCHEME NO.3

AMENDMENT NO. ____

RESOLVED that the local government pursuant to section 72 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:

- Rezoning a portion of Lot 28 (No. 67) and a portion of Lot 36 (No. 95) Woodvale Drive, Woodvale from 'Private Community Purposes' and 'Rural' to 'Residential' with a density coding of R30;
- Modifying the Scheme Map accordingly.

The Amendment is standard under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reason(s):

- an amendment to the scheme so that it is consistent with a region planning scheme that applies to the scheme area, other than an amendment that is a basic amendment.

Dated this _____ day of _____ 2023

(Chief Executive Officer)

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PLAN 1 SCHEME AMENDMENT MAP

1. INTRODUCTION

This amendment to the *City of Joondalup Local Planning Scheme No.3* proposes to rezone a portion of Lot 28 (No. 67) and a portion of Lot 36 (No. 95) Woodvale Drive, Woodvale (the subject "site" or "land") from 'Private Community Purposes' and 'Rural' to 'Residential' with a density coding of R30. This Scheme Amendment is intended to facilitate the preparation, assessment and ultimate determination of a Subdivision Application over the subject land to ensure consistency between the land use of the site and adjacent development.

Pursuant to the *Planning and Development Act 2005* the City is required to initiate an amendment to the *City of Joondalup Local Planning Scheme No.3* to rezone the land, in order to make the classification of the land under LPS3 consistent with the classification of the land under the Metropolitan Region Scheme (MRS).

This amendment follows MRS Amendment 1339/57 (North-East and North-West Districts Omnibus 2), which rezoned the site from 'Rural' to 'Urban' to facilitate the coordination of infill development over the site.

The following report provides an overview of the site characteristics, local context and provides the rationale for the proposed Scheme Amendment.

1.1 SITE DETAILS

1.1.1 LEGAL DESCRIPTION

The subject land encompasses a total land area of 4.3648ha and abuts the east side of Woodvale Drive to the north of Waterview Drive.

The subject land is described as:

- Lot 28 on Diagram 2615, Certificate of Title Volume 1755 Folio 754;
- Lot 36 on Diagram 32799, Certificate of Title Volume 134 Folio 149A; and,
- Lot 36 on Diagram 32799, Certificate of Title Volume 1486 Folio 128.

Copies of the Certificates of Title can be found attached in **Appendix 1 – Certificates of Title**.

1.2 PROPONENT

This amendment has been prepared on behalf of the respective landowners, being various members of the Duffy family (Lot 36) and Woodvale Baptist Church (Lot 28).

1.2.1 LOCATION AND SITE PARTICULARS

The subject site is located in the suburb of Woodvale, approximately 19 kilometres north of the Perth Central Business District, and approximately 6 kilometres south of the Joondalup City Centre (refer **Figure 1 - Location Plan**).

The subject land is bound by residential development to the south, Woodvale Drive to the west, the Woodvale Baptist Church to the north, and Yellagonga Regional Park to the east.

The subject land comprises two (2) large residential dwellings and various outbuildings and structures on Lot 36. The subject land also includes a small portion of Lot 28 located behind (south of) the Woodvale Baptist Church.

1.3 SURROUNDING LAND USES AND DEVELOPMENT

The subject land is located directly opposite a large area of Public Open Space (POS) being Yellagonga Regional Park.

Waterview Drive is to the south of the site and comprises lots largely ranging from 450m² – 780m² in area, with a base coding of R20-R40. To the north of the site, is Woodvale Baptist Church, zoned Private Community Purposes. The Church and its associated improvements will remain on the balance portion of Lot 28. To the west of the site, is Woodvale Secondary College, and beyond that, west of Timberlane Drive, is further residential development that has a base coding of R20 (refer **Figure 2 - Aerial Photograph**).

Other surrounding land uses and facilities include:

- Timberlane Park and Hall (approximately 320m south-west of the site);
- Woodvale Boulevard Shopping Centre (approximately 1.09km south-west of the site).

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FIGURE 1 - LOCATION PLAN

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FIGURE 2 - AERIAL PHOTOGRAPH

2. PLANNING FRAMEWORK

2.1 PLANNING AND DEVELOPMENT ACT 2005

Section 124 of the *Planning and Development Act 2005* requires that the City resolve to amend its local planning scheme within 90 days of a region scheme amendment coming into effect, in order to make its local planning scheme consistent with the region scheme. As such, the proposed amendment is consistent with the requirements of the planning framework.

2.2 METROPOLITAN REGION SCHEME

The majority of the subject land is zoned 'Urban' under the *Metropolitan Region Scheme* (MRS). Part of Lot 36 is reserved as 'Parks and Recreation', and is mapped as Bush Forever Site 299, which contains a Conservation Category Wetland and is within the Yellagonga Regional Park.

As part of its submission on the North-East and North-West District Omnibus 2 MRS Amendment 1339/57, the City of Joondalup stated as follows:

"The City of Joondalup advises that Lots 28 & 36 Woodvale Drive are the last remaining Rural zoned properties within the City and that this designation is no longer appropriate in the context of surrounding residential land uses. The City has requested that the lots are rezoned to Urban to facilitate future development consistent with the urban nature of the locality. The proposal is located in a Bushfire Prone Area and the proponent will therefore be required to demonstrate compliance with the requirements of State Planning Policy 3.7 – Planning in Bushfire Prone Areas prior to finalisation."

MRS Amendment 1339/57 was finalised and the subject land zoned 'Urban' under the Metropolitan Region Scheme. Lot 28 was subsequently rezoned to 'Private Community Purposes' for the Woodvale Baptist Church, leaving Lot 36 as the only lot within the City zoned 'Rural' under Local Planning Scheme No. 3.

2.3 CITY OF JOONDALUP LOCAL PLANNING SCHEME NO.3

The western portion of Lot 36 is zoned 'Rural' under the *City of Joondalup Local Planning Scheme No.3* (LPS3), with the eastern portion reserved as 'Parks and Recreation.' That portion of the subject land within Lot 28 is zoned 'Private Community Purposes'.

2.3.1 PREVIOUS SCHEME AMENDMENT

In 2016 as part of Council's consideration of the draft *City of Joondalup Local Planning Scheme No.3*, the site was proposed to be rezoned from 'Rural' to 'Residential R25'. The site, however, was not able to be advertised and amended at the time given the inconsistency with the MRS. As such, at the City's Ordinary Meeting of Council on 16 February 2016 a motion was put and carried to –

'Requests the Western Australian Planning Commission to include Lot 36 (95) and Lot 28 (67) Woodvale Drive, Woodvale, in a future omnibus amendment to the Metropolitan Region Scheme to rezone these lots from 'Rural' to 'Urban'.

As described in 2.2 above, MRS Omnibus Amendment 1339/57 rezoned Lots 28 & 36 to 'Urban' under the Metropolitan Region Scheme.

2.4 LOCAL PLANNING POLICIES

2.4.1 CITY OF JOONDALUP LOCAL PLANNING STRATEGY

The Scheme Amendment is considered to be consistent with the City of Joondalup's Local Planning Strategy (2014). The Local Planning Strategy sets out various actions in Section 4.2.2 'Actions' related to housing, including implementing the recommendations of the Local Housing Strategy. Two of the Actions most relevant to the subject land include:

"As part of the District Planning Scheme review process, develop provisions for large opportunity sites which sets a minimum 'target' density in line with government policy. The requirements will apply to large opportunity sites across the whole City with the exception of the Joondalup City Centre."

"As part of a future omnibus amendment to the Metropolitan Region Scheme, consider rezoning the two rural lots to 'Urban'. Once this has occurred, rezone the two remaining rural lots under the District Planning Scheme No. 2 to a suitable zone such as 'Residential' to reflect the surrounding residential land uses."

The subject land was initially identified in the Local Housing Strategy, and subsequently in Section 4.12 of the Local Planning Strategy, which provides the following comment with regard to the site:

"There are two lots within the City which are zoned 'rural' under the Metropolitan Region Scheme and the District Planning Scheme No. 2. Both lots are located within the suburb of Woodvale near Ocean Reef Road. One of these lots is owned by the Woodvale Baptist Church and currently used as a place of worship, place of assembly and caretaker's dwelling."

"The other lot contains a horse track and associated buildings. The land surrounding these rural lots is zoned as residential and has been developed. Due to this, it is recommended that the rural lots be rezoned to reflect the surrounding residential uses."

"The rural zoning is no longer appropriate for these lots in the context of the surrounding residential land uses."

In this regard, the Amendment is not only considered to be consistent with the City's Local Planning Strategy, it proposes to implement its recommendations with regard to the subject land.

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FIGURE 3 - METROPOLITAN REGION SCHEME MAP

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FIGURE 4 - LOCAL PLANNING SCHEME No 3 MAP

3. AMENDMENT PROPOSAL

This Scheme Amendment proposes to rezone a portion of Lot 28 (No.67) and a portion of Lot 36 (No.95) Woodvale Drive, Woodvale from 'Rural' and 'Private Community Purposes' to 'Residential' with a density coding of R30 under *the City of Joondalup Local Planning Scheme No.3* (LPS3).

The Scheme Amendment Map is included herewith at **Plan 1**.

3.1 RATIONALE FOR AMENDMENT

The *Planning and Development Act 2005* requires the City to initiate an amendment to the *City of Joondalup Local Planning Scheme No.3* to rezone the land, in order to make the classification of the land under LPS3 consistent with the classification of the land under the MRS.

Lot 36 is now the last remaining 'Rural' zoned lot within Woodvale and this designation is no longer appropriate in the context of surrounding residential land uses, as confirmed in the City's own Local Planning Strategy.

The proposed density coding of R30 reflects orderly and proper planning given that it will facilitate additional residential development within an established residential area that can be adequately serviced by public transport, community facilities and public open space. The subject land is located adjacent to Yellagonga Regional Park, a Local Distributor Road (being Woodvale Drive), and Woodvale Secondary College. The site is also situated in close proximity to Wanneroo Road (a classified Primary Regional Road) and Ocean Reef Road (a classified Other Regional Road), both of which provide good regional access to and from the subject land.

This amendment proposes to incorporate a portion of Lot 28 to facilitate a more logical and coordinated approach to subdivision and development. The proposal will allow for that portion of Lot 28, surplus to the needs of the Woodvale Baptist Church, to be developed for residential purposes.

4. ENVIRONMENTAL CONSIDERATIONS

An 'Environmental Assessment Report' has been prepared by project environmental consultant PGV Environmental and is attached at **Appendix 2**.

The report was prepared to describe the environmental values of the site and to assess the potential environmental impacts of the proposed development. The Scope for the report included:

- Database searches;
- Analysis of physical characteristics;
- Description of historical, recent and present land uses;
- A Reconnaissance Flora and Vegetation Survey;
- A Basic Fauna Survey; and,
- A review of relevant policies and legislation

In summary, the Environmental Assessment Report found:

- The site is not registered as a contaminated site and the past and present land uses are not considered constraints to development;
- Surrounding land use does not pose a constraint to the proposed urban development;
- The geology and soils on the site do not pose a risk to development. Acid Sulphate Soils in the central section may need to be investigated when the extent of earthworks and servicing are known;
- The Urban zoned portion of the site contains some remnant native trees in a parkland cleared setting with no native understorey species;
- The absence of a native understorey means that no Threatened or Priority flora species is likely to occur on the site;
- The remnant trees are mostly Marri, with some Tuart and Jarrah. The vegetation in the Urban portion is rated as being in Completely Degraded condition;
- The vegetation does not meet the definition of any Threatened or Priority Ecological Communities;
- The native trees on the site provide 0.615ha of potential foraging habitat for Black Cockatoos although no evidence of foraging on site was observed. The site contains 20 Marri, Jarrah and Tuart trees that meet the definition of breeding habitat. No actual breeding occurs on the site as none of the trees has any hollows large enough for Black Cockatoos to breed in;

- The site contains a portion of Wallubuenup Swamp which is a Conservation Category wetland. PGV Environmental consider the boundary of the mapped wetland is reasonably accurate and does not recommend any changes;
- The interface between the wetland and the trees on the higher western portion of the site contains about 30m of chaotic landform with some small high points and some low-lying depressions that are wet in winter/spring;
- The undulating nature of the wetland interface means that in its current form a 50m wetland buffer is recommended between the wetland boundary and the proposed dwellings. The 50m will allow landscaping of the more uniform landform in the western part of the wetland buffer to be usable POS for the public;
- A Wetland Management Plan is recommended to be prepared as a condition of subdivision;
- Stormwater drainage infrastructure is not normally allowed to be located in the buffer of a CCW. Some overflow of larger events may be supported by the agencies; and,
- The site does not contain any Aboriginal Heritage Sites or sites of other heritage.

The Concept Plan prepared for the site (refer **Figure 5**) addresses a number of the elements outlined above, including:

- Maintaining the current Conservation Category Wetland (CCW) wetland boundary;
- Providing a 50m buffer to the CCW boundary;
- Providing additional Public Open Space (POS) outside the 50m buffer (which can then contain both useable space for public activities as well as drainage infrastructure); and,
- A hard-edge road interface to the POS/wetland land uses which will also link to existing development to the south of the site (via an extension of Waterview Drive).

PGV Environmental considers the proposed residential development of the 'Urban' portion of the subject land can be done without any significant impact on environmental matters.

PGV Environmental also recommends a Commonwealth EPBC Act referral to be undertaken in parallel with the scheme amendment process. Given the minor nature of proposed clearing and the lack of breeding hollows on site, the report considers the referral would highly likely not require a full assessment.

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FIGURE 5 – CONCEPT PLAN

5. TRANSPORT IMPACT ASSESSMENT

A Transport Impact Assessment (TIA) prepared by Stantec in accordance with the Western Australian Planning Commission (WAPC) *Transport Impact Assessment Guidelines Volume 2* is attached at **Appendix 3**.

The TIA referenced a Concept Plan which was prepared for inclusion in the TIA report at Figure 2-3 in order to provide some high-level commentary on potential traffic movement from the site. The Concept Plan is also attached herewith at **Figure 5**.

The TIA provides the following key conclusions:

- The site is expected to generate 28 trips during the AM peak hour and 38 trips during the PM peak hour. This low-level traffic generation will not have a detrimental impact on the safety or operation of Woodvale Drive or the surrounding road network.
- Analysis of the proposed intersections has been undertaken using SIDRA software and the result of analysis shows that the proposed intersections will operate satisfactorily.
- The site has access to public transport services with bus stops 'Woodvale Dr before Waterview Dr (Stop ID: 18499)', and 'Woodvale Dr after Waterview Dr (Stop ID: 18496)' being serviced by Bus Routes 466 and 467 (Whitfords Station to Joondalup Station). During both the AM and PM peaks the service frequencies vary between 15-30 minutes. Outside of the AM and PM peaks, the bus services run approximately every 30 minutes.

Overall, the TIA concluded that the traffic impacts associated with the proposed Scheme Amendment and future residential subdivision will be minimal on the internal and external transport network.

6. BUSHFIRE MANAGEMENT PLAN

A small portion of Lot 36 is within a designated bushfire prone area, triggering the application of *State Planning Policy 3.7: Planning in Bushfire Prone Areas* and appurtenant *Guidelines for Planning in Bushfire Prone Areas*.

A Bushfire Management Plan (BMP) has been prepared by Bushfire Prone Planning for the site and can be found at **Appendix 4**. The Bushfire Management Plan assessed the capacity of the proposed Scheme Amendment and future residential subdivision to implement and maintain the required 'acceptable' solutions or its capacity to satisfy the SPP 3.7 intent through the justified application of additional bushfire protection measures as supportable 'alternative' solutions.

The BMP sets out the following response to the bushfire protection criteria:

- Location

The land subject to the Scheme Amendment is within an area identified as moderate or low bushfire hazard level that will be subject to a BAL classification not higher than BAL-19 (the majority of lots are BAL-12.5) upon future subdivision and the completion of development.

This will be achieved through the application of appropriate building design, bushfire construction requirements and the ongoing maintenance of the Asset Protection Zone (APZ). Any future development will ensure buildings will not be impacted by consequential fire with no combustible materials used, stored or accumulated within the APZ.

- Siting and design

The final definition of APZs will be dealt with at a subsequent development stage (subdivision). Post-development – all remaining vegetation (if any) will be managed and maintained to a low threat state in perpetuity. Appropriate separation around future development may be required to be incorporated into design at future planning stages.

- Vehicular access

Perimeter roads will be implemented as part of the development, providing a suitable interface to the adjacent parkland areas and giving dual access to future lots. These will be further defined at the later Subdivision stage of development.

- Water

Hydrants are located on Woodvale Drive in front of Lot 36 and at 200m intervals along Woodvale Drive. Reticulated water for firefighting can be provided at the subdivision and/or development application stage.

The BMP concludes that the bushfire risk is acceptable and manageable, and therefore bushfire risk will not impede the Scheme Amendment and future development of the site.

7. SERVICING

A Servicing Report prepared by Development Engineering Consultants has been prepared to demonstrate that the site can be developed for residential and commercial purposes. A summary of the report is provided below.

Power

- Sufficient power supply exists in the area to supply the development. A high and low voltage aerial power line is located along the western verge of Woodvale Drive and the abutting urban development along Waterview Drive is serviced by underground power.

Water Supply

- At present there is a 150mm Water Corporation reticulation water main located along the eastern verge of Woodvale Drive abutting the site and extended to the Woodvale Baptist Church on the northern boundary of the site. A 100mm Water Corporation water main is located in Waterview Drive extending to the south-east corner of the site.
- These are sufficient to supply the subject land and will be linked as part of the development.

Gas

- ATCO Gas mains are installed in this area, with a 100mm medium pressure main located on the western verge of Woodvale Drive, and also an 80mm main is located in Waterview Drive to the end of the existing roadway at the south-east corner of the site.
- It is expected that reticulated gas services will be extended into this development by ATCO in the normal way, with trenching done by the developer.

Refer **Appendix 5** for complete report.

8. CONCLUSION

The rezoning of a portion of Lot 28 (No. 67) and a portion of Lot 36 (No. 95) Woodvale Drive, Woodvale from 'Private Community Purposes' and 'Rural' to 'Residential' with a density coding of R30 under LPS3, is considered appropriate given the existing urban context and local character. This proposed Scheme Amendment also ensures consistency with the 'Urban' zoning under the *Metropolitan Region Scheme*.

The Scheme Amendment provides an opportunity for infill development, and is also consistent with the City's planning framework; including its Local Planning Strategy.

The technical reports included in the Appendices herein also confirm the suitability of the subject land for the rezoning and future development, as proposed.

LOT 36 AND PT LOT 28 WOODVALE DRIVE, WOODVALE

ENVIRONMENTAL ASSESSMENT REPORT

Prepared for: Riverswan Holdings Pty Ltd

Report Date: 3 April 2023

Version: 1

Report No. 2023-742

The logo for PGV Environmental is displayed in white text on an orange background. The letters 'PGV' are in a large, bold, sans-serif font, with the 'G' having a unique, rounded shape. Below 'PGV', the word 'ENVIRONMENTAL' is written in a smaller, all-caps, sans-serif font. The background of the logo area is a vibrant orange with a subtle pattern of fine, parallel lines that create a sense of depth and movement.

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- Appendix 1: Atlas of Living Australia Report



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Appendix 3: Conservation Codes

Appendix 4: Tree Data

Appendix 5: Aboriginal Heritage Inquiry System Reports



1 INTRODUCTION

1.1 Background

Lot 36 and Pt Lot 28 Woodvale Drive, Woodvale (the site) are located in the City of Joondalup, approximately 18.4km north-north-east of the Perth Central Business District (Figure 1). The site is approximately 4.45ha in size (Figure 2) and is bound by Woodvale Drive to the west, developed land to the south, the Woodvale Baptist Church to the north and Yellagonga Regional Park to the east.

The site is proposed to be developed for residential purposes in accordance with its zoning in the Metropolitan Region Scheme.

PGV Environmental was commissioned by Riverswan Holdings Pty Ltd to prepare an Environmental Assessment Report to describe the environmental values of the site and to assess the potential environmental impacts of the proposed development.

1.2 Scope of Works

The Environmental Assessment includes a review of the environmental studies undertaken on the site and an assessment of the key environmental attributes of the site in the context of the proposed development. The Environmental Assessment includes the following:

- Database searches including:
 - Department of Water and Environmental Regulation Contaminated Sites and Water Information databases; and
 - Department of Planning, Lands and Heritage and National Heritage databases.
- Physical characteristics including a description of:
 - Landform;
 - Drainage and water bodies; and
 - Geological, hydrogeological and hydrological characteristics;
- Recent and present land use including:
 - Surrounding land uses;
 - Assessment of current and historical activities on the subject site and surrounding areas which have the potential to result in contamination issues at the site;
- Flora and vegetation description based on the results of a Reconnaissance Flora and Vegetation Survey;
- Fauna habitat description and a Basic Fauna Survey; and
- Implications, if any, under Western Australian policies and legislation such as the *Environmental Protection Act, 1986* and the Commonwealth *Environment Protection and Biodiversity Conservation Act, 1999*.



2 LEGISLATION, POLICY AND GUIDELINES

The environmental assessment of this site has taken into consideration the following legislation, policy and guidelines.

2.1 Commonwealth Legislation

The *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) is the Australian Government's central piece of environmental legislation. It provides a legal framework to protect and manage nationally and internationally important heritage places, ecological communities, flora and fauna that are defined in the Act as Matters of National Environmental Significance (MNES).

The Environmental Assessment identifies any MNES that may be impacted by development on the site.

2.2 State Legislation

2.2.1 Environmental Protection Act 1986

The *Environmental Protection Act 1986* (EP Act) is administered by the Department of Water and Environment Regulation (DWER). The Act provides for conservation, preservation, protection, enhancement and management of the environment and for matters incidental to or connected with it. The Act establishes head powers to provide mechanisms for the development of Environmental Protection Policies (EPP), the referral and assessment of proposals, the control of pollution and enforcement.

The Act also provides for an Environmental Protection Authority (EPA) that is a statutory authority and is the primary provider of independent environmental advice to Government (Environmental Protection Authority 2005). The EPA is assisted by the Office of the EPA (OEPA).

Under the EP Act, clearing of native vegetation requires a permit from DWER unless there is an exemption under the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004*. Proposals that have approval by means of a subdivision are exempt from requiring a clearing permit to clear native vegetation if implementing the subdivision in accordance with the subdivision conditions requires the clearing of native vegetation.

2.2.2 Biodiversity Conservation Act 2016

The *Biodiversity Conservation Act 2016* (BC Act) protects all native species and threatened ecological communities. The BC Act recognises that activities involving the taking of flora or fauna (other than threatened species) and the disturbing of fauna (including threatened species) that are approved under the EP Act do not require further approval under the BC Act, if they are undertaken in accordance with any biodiversity conservation conditions that are applied to an authorisation. These activities include clearing of native vegetation done in accordance with an implementation decision under Part IV of the EP Act.

2.2.3 Aboriginal Heritage Act 1972

The *Aboriginal Heritage Act 1972* (AHA) protects all Aboriginal sites whether or not they are known and registered under the AHA.



If any artefacts or other heritage values are discovered during clearing or construction works they will be required to be managed according to the AHA.

2.3 State Policy

2.3.1 State Planning Policy No. 2.8 Bushland Policy for the Perth Metropolitan Region

SPP 2.8 in conjunction with Bush Forever (Government of Western Australia, 2000) seeks to ensure the protection of at least 10 per cent of the original extent of each vegetation complex within the Perth Metropolitan Region. SPP 2.8 was developed to ensure that bushland protection and management issues are appropriately addressed and integrated as a part of future land use. Bush Forever identified approximately 51,200 hectares of regionally significant vegetation for retention. The management of these areas include reservation and acquisition by the State government, negotiated planning solutions with owners who are seeking urban and/or industrial development and advice, assistance and incentive programs to support private conservation.

The eastern part of the site is within Bush Forever Site 299 'Yellagonga Regional Park, Wanneroo/Woodvale/Kingsley'.

2.3.2 State Planning Policy No. 2.9 Water Resources

SPP 2.9 aims to ensure the protection and appropriate management of water resources in line with state guidelines as included within the planning framework. The broad aims of this policy are to:

- Protect, conserve and enhance water resources;
- Assist in ensuring the availability of suitable water resources to maintain essential requirements for human and other biological life and to maintain or improve the quality and quantity of water resources; and
- Promote and assist in the management and sustainable use of water resources.

As a part of implementing this policy, the Better Urban Water Management framework was developed (WAPC, 2008). The framework provides detail on how water resources should be considered at each stage of planning by identifying the various actions and investigations required with regard to regional and local planning strategies, town planning schemes, structure plans, subdivisions, strata subdivision and development applications (WAPC, 2008).

2.3.3 Environmental Guidance for Planning and Development

The purpose of Environmental Protection Authority (EPA) Guidance Statement No. 33 *Environmental Guidance for Planning and Development* (EPA, 2008) is to outline the significance of environmental factors and to provide the key definitions associated with the environmental factors. Ensuring that environmental factors are considered in line with the EPA's principals and objectives and within the planning framework is what this EAR is primarily targeted at. In particular, EPA Guidance Statement No. 33 aims to:

- Provide an overview to environmental protection processes and information;
- Describe the referral and environmental impact assessment process under Part IV of the EP Act; and
- Provide the EPA's position and advice on a range of environmental factors, outlining how to protect, conserve and enhance the environmental values.

3 EXISTING ENVIRONMENT

3.1 Zoning

Most of the site is zoned 'Urban' under the Metropolitan Region Scheme (MRS) with the eastern end reserved as Parks & Recreation (National Map, 2023). The western part of Lot 36 is zoned Rural under the City of Joondalup Local Planning Scheme No. 3 and the eastern part is Parks & Recreation. Pt Lot 28 is zoned Private Community Purposes in LPS No. 3.

3.2 Land Use

3.2.1 Historic Land Use

Historical aerial photography shows that the site was partly cleared in 1953 (the oldest historical aerial photography available) (Plate 1) with a grove of trees remaining at the northwestern end. A house has been established on the site. A wetland is evident at the eastern end of the site.

Plate 1: Aerial Photograph from 1953 (Landgate, 2023)



The grove of trees remains in the photograph from 1965 (Plate 2). Otherwise the site and surrounding areas are cleared apart from the wetland.

Plate 2: Aerial Photograph from 1965 (Landgate, 2023)



Some thinning of the trees was undertaken between 1985 and 1989 (Plate 3).

Plate 3: Aerial Photograph from 1989 (Landgate, 2023)



A horse track was constructed between 2006 and 2008 (Plate 4). The eastern end of the track is within the wetland.

Plate 4: Aerial Photograph from 2008 (Landgate, 2023)



3.2.2 Current Land Use

The site contains two houses, one of which is occupied and some sheds.

The site is not listed as a contaminated site (DWER, 2023a).

3.2.3 Surrounding Land Use

The site has existing urban development to the south, Woodvale Drive and undeveloped grassland to the west, the Woodvale Baptist Church to the north and Yellagonga Regional Park, containing Wallubuenup Swamp to the east.

3.3 Topography

The site slopes very gently down from a high of 20m Australian Height Datum (AHD) at the western end to a low of around 18m AHD at the eastern end (Figure 2).

3.4 Geology and Soils

3.4.4 Geology

The site is mapped as part of the Spearwood System which has the highest relief of the dune systems on the Swan Coastal Plain (Bolland, 1998). The Spearwood system consists of slightly calcareous Aeolian sand remnant from leaching of the underlying Pleistocene Tamala limestone (Davidson, 1995).

3.4.2 Soils

The soil units located on the site is described as

- Spearwood Sand Phase (211Sp_Sp) which are undulating dunes with rocky crests on aeolian sand over limestone in the Swan Coastal Plain between Wanneroo and Moore River. These soils are brown deep sands and yellow deep sands (DPIRD, 2023). These soils are mapped on the western part of the site; and
- Spearwood Wet, Swamp Phase (211SpW_SWAMP) which are soils that occur with swamps (DPIRD, 2023). This soil phase is associated with the wetland in the eastern part of the site.



3.4.3 Land Capability

The Land Degradation Risk Categories of the Spearwood Sand Phase (DPIRD, 2023) are as follows:

- Water Erosion 3-10% of map unit has a high to extreme water erosion risk;
- Wind Erosion >70% of map unit has a high to extreme wind erosion risk;
- Waterlogging <3% of map unit has a moderate to very high waterlogging risk;
- Flooding <3% of the map unit has a moderate to high flood risk; and
- Salinity risk <3% of map unit has a moderate to high salinity risk or is presently saline.

The Land Degradation Risk Categories of the Spearwood Wet, Swamp Phase (DPIRD, 2023) are as follows:

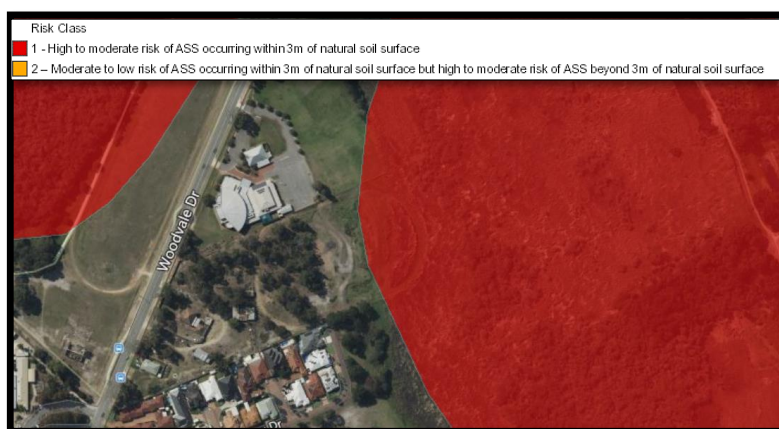
- Water Erosion <3% of map unit has a high to extreme water erosion risk;
- Wind Erosion <3% of map unit has a high to extreme wind erosion risk;
- Waterlogging >70% of map unit has a moderate to very high waterlogging risk;
- Flooding <3% of the map unit has a moderate to high flood risk; and
- Salinity risk <3% of map unit has a moderate to high salinity risk or is presently saline.

3.4.4 Acid Sulphate Soils

The eastern part of the site, associated with Wallubuenup Swamp, is mapped as having a High to Moderate risk of Acid Sulphate Soils (ASS) (Plate 5). The remainder of the lot is mapped as a Low risk within 3m of the surface. Wetland soils are often associated with ASS.



Plate 5: Acid Sulphate Soil Risk Mapping (National Map, 2022)



3.5 Hydrology

Maximum groundwater is at approximately 18m AHD which is around 1m below the surface in the eastern part of the site in Wallubuenup Swamp and up to 2m below ground at the western end. Groundwater generally flows to the east (DWER, 2022).

The eastern end of the site is mapped as part of Wallubuenup Swamp which is a Conservation Category wetland with the Unique Feature Identifier (UFI) 15458. The wetland is classed as a Sumpland which is a seasonally inundated basin. The location of the wetland on the site is shown in Figure 3.

The alignment of the wetland boundary was assessed during a site inspection by PGV Environmental on 18 November 2022. The photograph shown in Plate 6 was taken from the boundary of the mapped wetland on the southern boundary of the lot and looking along the line of the mapped wetland towards the northern boundary. The boundary itself is mostly Kikuyu Grass. The wetland is in the right hand side of the photo and is mostly dense Typha Sedgeland on wet soil. The area to the left of the Kikuyu boundary strip is a chaotic mix of vegetation types with some Kikuyu on higher ground and some stands of Typha and Juncus in small depressions. Plate 9 shows the chaotic nature of the area just outside the wetland boundary.

The mapped boundary of the wetland aligns neatly with wetland vegetation on the lots to the north and south. PGV Environmental considers the mapped wetland boundary to be as accurate as necessary. While the area outside the wetland boundary has some aspects of being a wetland with the Typha and Juncus stands it has just as many dryland vegetation on raised grounds. This area should be treated as wetland buffer rather than an extension of the mapped wetland.



Plate 6: Wetland Boundary



3.6 Flora

A Flora and Vegetation survey of the site was undertaken by Dr Paul van der Moezel of PGV Environmental on 18 November 2022. The survey found that the western part of the site contained native trees in a parkland setting with no native understorey present. The wetland vegetation was not surveyed in detail as there are no development plans for the wetland.

Due to the Completely Degraded condition of the understorey, a Detailed Flora and Vegetation survey does not need to be undertaken in spring.

Two Declared Pest plants were recorded on the site:

- Arum Lily (*Zantedeschia aethiopica*); and
- One-Leafed Cape Tulip (*Moraea flaccida*).

3.7 Vegetation

3.7.1 Vegetation Complexes

Vegetation complexes are a very broad mapping unit based on landform and soils type (Heddlé *et al.*, 1980). The vegetation at the western end of the site is mapped as part of the Karrakatta – Central and South vegetation complex while the vegetation in the eastern two-thirds is mapped as the Herdsman Complex. Based on the site survey by PGV Environmental the boundary between the two complexes on the site is probably around 50m further east.



The Karrakatta Central and South vegetation complex is described as:

Predominantly open forest of *Eucalyptus gomphocephala* (Tuart) - *Eucalyptus marginata* (Jarrah) - *Corymbia calophylla* (Marri) and woodland of *Eucalyptus marginata* (Jarrah) - *Banksia* species. *Agonis flexuosa* (Peppermint) is co-dominant south of the Capel River (Hedde *et al.*, 1980).

The Herdsman complex are described as:

Sedgeland and fringing woodland of *Eucalyptus rudis* (Flooded Gum) - *Melaleuca* species. (Hedde *et al.*, 1980).

The Completely Degraded nature of the western part of the site means that the remaining trees are not example of the Karrakatta – Central and South vegetation complex. The wetland vegetation is considered to have conservation significance in terms of protecting good quality vegetation within the Herdsman vegetation complex.

3.7.2 Vegetation Types

Vegetation types are a finer level of vegetation description and mapping used for small scale sites, such as the survey area. Vegetation types are described based on the structure of the vegetation (eg. woodland, heath) and the dominant species in each structure.

The vegetation in the western dryland part of the site was mostly Marri trees (*Corymbia calophylla*) with some Tuart (*Eucalyptus gomphocephala*) and a few Jarrah (*Eucalyptus marginata*) trees (Figure 4). Plate 7 shows the completely cleared understorey under a stand of Marri trees. Common weed species included Annual Veldtgrass (*Ehrharta longiflora*), Lupins (*Lupinus cosentinii*), Pigface (*Carpobrotus edulis*), Castor Oil (*Ricinus communis*) and Fumitory (*Fumaria capreolata*).

Plate 7: Marri Trees in the Western Half of the Site



Two vegetation types occur in the mapped wetland area (Figure 4). At the very eastern end the vegetation is mostly a *Melaleuca raphiophylla* Tall Open Scrub over reeds. At the western end of the



wetland the vegetation is dense Bulrush (*Typha orientalis* Sedgeland) as shown in Plate 8. Plate 8 also shows the portion of the old horse track that consists mostly of Kikuyu Grass (*Cenchrus clandestinus*) and other rushes and sedges, but not dense Typha.

Plate 8: *Typha orientalis* at the western end of the wetland



The interface between the dryland and wetland areas is a transition zone between the wetland and dryland areas and contains a chaotic mix of vegetation types caused by changes in the natural landform over time (Plate 9). Low-lying parts of the interface contain some small Typha Sedgeland as well as areas of *Juncus acutus* Sedgeland. Higher hummocks, presumably not natural, contain Kikuyu, Couch Grass (*Cynodon dactylon*), Cape Tulip and Lupins.

Plate 9: Wetland Interface





3.7.3 Floristic Community Types

The dryland vegetation is too degraded to assign to a Floristic Community Type (FCT).

The wetland vegetation type was not included in the Gibson *et al.* (1994) analysis of FCTs or any later additions.

3.7.4 Vegetation Condition

The condition of the vegetation was assessed according to the system devised by Keighery and described in Bush Forever (Government of Western Australia, 2000) (Table 2).

Table 2: Vegetation Condition Rating Scale.

Condition	Description
Pristine	Pristine or nearly so, no obvious signs of disturbance.
Excellent	Vegetation structure intact, disturbance affecting individual species and weeds are non-aggressive species.
Very Good	Vegetation structure altered, obvious signs of disturbance. For example, disturbance to vegetation structure caused by repeated fires, the presence of some more aggressive weeds, dieback, logging and grazing.
Good	Vegetation structure significantly altered by very obvious signs of multiple disturbance. Retains basic vegetation structure or ability to regenerate it. For example, disturbance to vegetation structure caused by very frequent fires, the presence of some very aggressive weeds at high density, partial clearing, dieback and grazing.
Degraded	Basic vegetation structure severely impacted by disturbance. Scope for regeneration but not to a state approaching good condition without intensive management. For example, disturbance to vegetation structure caused by very frequent fires, the presence of very aggressive weeds, partial clearing, dieback and grazing.
Completely Degraded	The structure of the vegetation is no longer intact and the area is completely or almost completely without native species. These are often described as 'parkland cleared' with the flora comprising weed or crop species with isolated native trees or shrubs.

Source: Government of Western Australia, 2000.

The condition of all the upland vegetation on the site is rated as Completely Degraded due to the absence of any native species in the understorey (Figure 5). The wetland interface is rated as Degraded-Good. The wetland vegetation is rated as Very Good. *Typha orientalis* is considered a native species, hence the high rating.

3.8 Flora and Vegetation Conservation Significance

3.8.1 Flora

Due to the Completely Degraded condition of the understorey there would be no Threatened or Priority plant species on the site.

3.8.2 Vegetation

The upland vegetation is too degraded to be any of the Threatened Ecological Communities (TECs) or Priority Ecological Communities (PECs) that are defined by the FCT level of vegetation description.



3.8.3 Tuart Woodland TEC

The site contains three Tuart trees, mixed in with the Marri trees (Figure 6). As a result, the Tuarts may be part of the Tuart Woodlands and Forests of the Swan Coastal Plain ecological community which was listed as a Critically Endangered Threatened Ecological Community under the Commonwealth EPBC Act on 4 July 2019.

A description of the Tuart Woodland TEC is available through the EPBC Act listing and more specifically the *Approved Conservation Advice (incorporating listing advice) for the Tuart (Eucalyptus gomphocephala) woodlands and forests of the Swan Coastal Plain ecological community* (DoEE, 2017) released by the Commonwealth Government.

The three Tuart trees on the site are close enough to each to be considered one 'patch' of Tuart Woodland in accordance with the listing advice. For a 'patch' to qualify as the Tuart Woodland TEC it must meet size and/or condition thresholds, as follows:

- If the patch is smaller than 0.5 ha it is **not** part of the nationally protected ecological community.
- If **the patch is at least 0.5 ha and up to 5 ha** in size, conduct on ground surveys (see Section 3.4.3) to determine which condition category applies. Patches in this size range are presumed to be part of the nationally protected ecological community unless surveys indicate they do not meet the minimum condition. The condition thresholds are outlined in Table 3.
- **All patches of 5 ha or greater** that meet the key diagnostic characteristics **are part of the nationally protected ecological community**. It is not necessary to conduct additional surveys to confirm that they meet biotic condition thresholds (Table 1) and that they are protected.

Table 3: Tuart TEC Condition Categories and Thresholds

Patch size	≥2 ha <5 ha	≥0.5 ha <2 ha
Biotic thresholds Very high condition ≥80 % of all understorey^ vegetation cover is native# Or At least 12 native understorey^ species per 0.01 ha (10 m x 10 m plot or equivalent sample unit)	Medium sized patches with very high condition understorey. PART OF THE PROTECTED ECOLOGICAL COMMUNITY	Smaller patches with very high condition understorey. PART OF THE PROTECTED ECOLOGICAL COMMUNITY



Patch size	≥2 ha <5 ha	≥0.5 ha <2 ha
Biotic thresholds		
<p>High condition</p> <p>≥60 % of all understorey^ vegetation cover is native#</p> <p>Or</p> <p>At least 8 native understorey^ species per 0.01 ha (10 m x 10 m plot or equivalent sample unit)</p>	<p>Medium sized patches with high condition understorey.</p> <p>PART OF THE PROTECTED ECOLOGICAL COMMUNITY</p>	<p>Smaller patches with high condition understorey.</p> <p>AND</p> <p>That either:</p> <p>have an important landscape role (≤100 m to native vegetation)*</p> <p>OR have a habitat role (≥2 very large trees per 0.5 ha)*</p> <p>OR show regeneration (≥15 seedlings and/or saplings per 0.5 ha)*</p> <p>PART OF THE PROTECTED ECOLOGICAL COMMUNITY</p>
<p>Moderate condition</p> <p>≥50 % of all understorey^ vegetation cover is native#</p> <p>Or</p> <p>At least 4 native understorey^ species per 0.01 ha (10 m x 10 m plot or equivalent sample unit)</p>	<p>Medium sized patches with moderate condition understorey.</p> <p>AND</p> <p>That either:</p> <p>have an important landscape role (≤100 m to native vegetation)*</p> <p>OR have a habitat role (≥2 very large trees per 0.5 ha)*</p> <p>OR show regeneration (≥15 seedlings and/or saplings per 0.5 ha)*</p> <p>PART OF THE PROTECTED ECOLOGICAL COMMUNITY</p>	<p><u>NOT PART OF THE PROTECTED ECOLOGICAL COMMUNITY</u> (but may be a focus for local protection or restoration)</p>
<p>Poor</p> <p>Has minimal or no native cover and species richness. That is:</p> <p><50 % of all understorey^ vegetation cover is native#</p> <p>And</p> <p>Less than 4 native understorey^ species per 0.01 ha (10 m x 10 m plot or equivalent sample unit)</p>	<p><u>NOT PART OF THE PROTECTED ECOLOGICAL COMMUNITY</u> (but may be a focus for local protection or restoration)</p>	<p><u>NOT PART OF THE PROTECTED ECOLOGICAL COMMUNITY</u> (but may be a focus for local protection or restoration)</p>

The size of the Tuart patch defined by the three trees on site is 0.68ha. The condition of the Tuart patch is Poor as there are no native understorey species. A Tuart patch in Poor condition and between 0.5 and 2ha does not meet the criteria to be included in the Tuart Woodland TEC.



3.9 Fauna

3.9.1 Fauna Habitat

There are two fauna habitats that occur on the site. The areas containing Marri, Tuart, Jarrah and Exotic Trees is described as Woodland habitat. The areas dominated by Kikuyu and Bulrush is a Sedgeland/grassland habitat.

Fauna habitat can be assessed using a number of factors including, the size of the habitat, the level of habitat connectivity, availability of specific resources (eg. tree hollows) and overall vegetation quality. The habitat was assessed according to the following categories:

High Quality Fauna Habitat – These areas closely approximate the vegetation mix and quality that would have been in the area prior to any disturbance. The habitat has connectivity with other habitats and is likely to contain the most natural vertebrate fauna assemblage.

Very Good Fauna Habitat - These areas show minimal signs of disturbance (e.g. grazing, clearing, fragmentation, weeds) and generally retain many of the characteristics of the habitat if it had not been disturbed. The habitat has connectivity with other habitats and fauna assemblages in these areas are likely to be minimally affected by disturbance.

Good Fauna Habitat – These areas showed signs of disturbance (e.g. grazing, clearing, fragmentation, weeds) but generally retain many of the characteristics of the habitat if it had not been disturbed. The habitat has connectivity with other habitats and fauna assemblages in these areas are likely to be affected by disturbance.

Disturbed Fauna Habitat – These areas showed signs of significant disturbance. Many of the trees, shrubs and undergrowth are cleared. These areas may be in the early succession and regeneration stages. Areas may show signs of significant grazing, contain weeds or have been damaged by vehicle or machinery. Habitats are fragmented or have limited connectivity with other fauna habitats. Fauna assemblages in these areas are likely to differ significantly from what might be expected in the area had the disturbance not occurred.

Highly Degraded Fauna Habitat – These areas often have a significant loss of vegetation, an abundance of weeds, and a large number of vehicle tracks or are completely cleared. Limited or no fauna habitat connectivity. Faunal assemblages in these areas are likely to be significantly different to what might have been in the area pre-disturbance. (Coffey Environments, 2009).

The fauna habitat on the site has connectivity to areas of bushland on adjoining properties, however the vegetation is in Completely Degraded condition. Therefore, the habitat on the Urban zoned portion of the site is rated as Disturbed Fauna Habitat.

The wetland area is rated as High Quality Fauna Habitat.

3.9.2 Database Search Results

A search of the Atlas of Living Australia (ALA, 2023) (Appendix 1) and Protected Matters Search Tool (DCCEE, 2022) (Appendix 2) indicated 54 species have been recorded or may occur near the site, excluding species that rely on a marine environment and pelagic species. Table 3 lists the species identified in these databases.



The DBCA Threatened, Specially Protected and Priority Fauna database shows that there are no records of Conservation Significant species recorded on the site (FAUNA#7250, DBCA, 2022). The only species recorded nearby was Carnaby's Black Cockatoo which was recorded from Wallubuenup Swamp, north of Ocean Reef Road. None of the species identified in the Atlas of Living Australia were recorded on the site (ALA, 2023).



Table 3: List of Fauna Species Identified from Database Searches

Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Bettongia penicillata ogilbyi</i> (<i>Bettongia penicillata</i>)	Woylie, Brush-tailed Bettong	Schedule 1 - CR	Endangered	The Woylie habitat types ranged from forest to grassland, coastal and inland. During the day the Woylie shelters under patches of dense undergrowth, logs and rock-cavities and occasionally in burrows.	Highly Unlikely – the site is too disturbed and records of the species are historical only
<i>Calidris ferruginea</i>	Curlew Sandpiper	Schedule 1 - CR	Critically Endangered	Curlew Sandpipers mainly occur on intertidal mudflats in sheltered coastal areas, such as estuaries, bays, inlets and lagoons, and also around non-tidal swamps, lakes and lagoons near the coast, and ponds in saltworks and sewage farms.	Highly Unlikely – not suitable habitat
<i>Hesperocolletes douglasi</i>	Douglas's Broad-headed Bee	Schedule 1 - CR	Critically Endangered	Douglas's Broad-headed Bee was recorded on Rottnest and rediscovered in Pinjar in Banskia Woodland with pollen from <i>Philotheca spicata</i> , <i>Patersonia occidentalis</i> , two species of <i>Stylidium</i> , a species of <i>Scaevola</i> and species from Fabaceae and Myrtaceae (DBCA, 2018).	Highly Unlikely – no habitat plants occur on the site
<i>Limosa lapponica menzbieri</i>	Bar-tailed Godwit (northern Siberian)	Schedule 1 - CR	Marine/ Migratory	The Bar-tailed Godwit is found mainly in coastal habitats such as large intertidal sandflats, banks, mudflats, estuaries, inlets, harbours, coastal lagoons and bays. It is found often around beds of seagrass and, sometimes, in nearby saltmarsh.	Highly Unlikely – not coastal habitat
<i>Numenius madagascariensis</i>	Eastern Curlew	Schedule 1 - CR	Critically Endangered	The Eastern Curlew is most commonly associated with sheltered coasts, especially estuaries, bays, harbours, inlets and coastal lagoons, with large intertidal mudflats or sandflats, often with beds of seagrass. Occasionally, the species occurs on ocean beaches (often near estuaries), and coral reefs, rock platforms, or rocky islets.	Highly Unlikely – not coastal habitat



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Pseudocheirus occidentalis</i>	Western Ringtail Possum, Ngwayir	Schedule 1 - CR	Critically Endangered	The Western Ringtail Possum is a medium sized nocturnal marsupial. This species occurs in and near coastal Peppermint Tree (<i>Agonis flexuosa</i>) forest and Tuart (<i>Eucalyptus gomphocephala</i>) dominated forest with a Peppermint Tree understorey.	Highly Unlikely – not suitable habitat
<i>Botaurus poiciloptilus</i>	Australasian bittern	Schedule 2 - EN	Endangered	The Australasian Bittern occurs mainly in densely vegetated freshwater wetlands and, rarely, in estuaries or tidal wetlands.	Unlikely – not typical habitat
<i>Calidris canutus</i>	Red Knot	Schedule 2 - EN	Marine/ Migratory	In Australasia the Red Knot mainly inhabit intertidal mudflats, sandflats and sandy beaches of sheltered coasts, in estuaries, bays, inlets, lagoons and harbours; sometimes on sandy ocean beaches or shallow pools on exposed wave-cut rock platforms or coral reefs.	Highly Unlikely – not beach habitat
<i>Calyptorhynchus latirostris</i>	Carnaby's Black Cockatoo	Schedule 2 - EN	Endangered	Carnaby's Cockatoo is found in the south-west of Australia from Kalbarri through to Ravensthorpe and forages on the seeds of <i>Banksia</i> , <i>Hakea</i> , <i>Eucalyptus</i> , <i>Grevillea</i> , <i>Pinus</i> and <i>Allocasuarina</i> spp. It is nomadic often moving toward the coast after breeding. It breeds in tree hollows that are 2.5 - 12m above the ground mostly in smooth-barked trees (SEWPaC, 2012).	Possible – habitat occurs on the site



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Rostratula australis</i> (<i>Rostratula benghalensis australis</i>)	Australian Painted Snipe	Schedule 2 - EN	Endangered Marine/ Migratory	The Australian Painted Snipe has been recorded at wetlands in all states of Australia but is most common in eastern Australia. It generally inhabits shallow terrestrial freshwater (occasionally brackish) wetlands, including temporary and permanent lakes, swamps and claypans. It also uses inundated or waterlogged grassland or saltmarsh, dams, rice crops, sewage farms and bore drains. Typical sites include a cover of vegetation, including grasses.	Unlikely due to surrounding disturbance
<i>Calyptorhynchus banksii naso</i>	Forest Red-tailed Black-Cockatoo	Schedule 3 - VU	Vulnerable	Forest Red-tailed Black Cockatoos frequent the humid to sub-humid south-west of Western Australia from Gingin in the north, to Albany in the south and west to Cape Leeuwin and Bunbury (SEWPac, 2012). It nests in tree hollows with a depth of 1-5m, that are predominately Marri (<i>Corymbia calophylla</i>), Jarrah (<i>Eucalyptus marginata</i>) and Karri (<i>Eucalyptus diversicolor</i>) and it feeds primarily on the seeds of Marri.	Possible – habitat occurs on the site
<i>Dasyurus geoffroii</i>	Chuditch, Western Quoll	Schedule 3 - VU	Vulnerable	The Chuditch have been known to occupy a wide range of habitats including woodlands, dry sclerophyll forests, riparian vegetation, beaches and deserts. They are opportunistic feeders, and forage on the ground at night, feeding on invertebrates, small mammals, birds and reptiles.	Highly Unlikely – has not been recorded from the area and the site is too disturbed
<i>Leipoa ocellata</i>	Mallee Fowl	Schedule 3 - VU	Vulnerable	Mallee fowl have been found in mallee regions of southern Australia from approximately the 26th parallel of latitude southwards in mallee bushland.	No – not mallee habitat



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Macroderma gigas</i>	Ghost Bat	Schedule 3 - VU	Vulnerable	Ghost bats occur in a wide range of habitats from rainforest, monsoon and vine scrub, to open woodlands in arid areas. These habitats are used for foraging, while roost habitat is more specific. Favoured roosting sites of the ghost bat are undisturbed caves or mineshafts which have several openings (DEHP, 2015).	No – no cave habitat
<i>Sternula nereis nereis (Sterna nereis nereis)</i>	Australian Fairy Tern	Schedule 3 - VU	Vulnerable	The Fairy Tern (Australian) nests on sheltered sandy beaches, spits and banks above the high tide line and below vegetation.	Highly Unlikely – not beach habitat
<i>Charadrius leschenaultii</i>	Greater Sand Plover	Schedule 3 - VU Schedule 5 - IA	Marine/ Migratory	In Australasia, the Greater Sand Plover is almost entirely coastal, inhabiting littoral and estuarine habitats. They mainly occur on sheltered sandy, shelly or muddy beaches with large intertidal mudflats or sandbanks, as well as sandy estuarine lagoons.	Highly Unlikely – not coastal habitat
<i>Actitis hypoleucos</i>	Common Sandpiper	Schedule 5 - IA	Marine/ Migratory	The Common Sandpiper is mostly found around muddy margins or rocky shores. Generally the species forages in shallow water and on bare soft mud at the edges of wetlands.	Possible – habitat may occur on the site
<i>Apus pacificus</i>	Fork-tailed Swift	Schedule 5 - IA	Marine/ Migratory	The Fork-tailed Swift is almost exclusively aerial and is not known to breed in Australia. They are seen in inland plains but sometimes above foothills or in coastal areas. They often occur over cliffs and beaches and also over islands and sometimes well out to sea. They also occur over settled areas, including towns, urban areas and cities. <i>Apus pacificus</i> subsp. <i>pacificus</i> is the only subspecies to migrate to Australia.	Highly Unlikely – may fly over the site but is unlikely to land
<i>Calidris acuminata</i>	Sharp-tailed Sandpiper	Schedule 5 - IA	Marine/ Migratory	The Sharp-tailed Sandpiper prefers muddy edges of shallow fresh or brackish wetlands, with inundated or emergent sedges, grass, saltmarsh or other low vegetation.	Possible – habitat may occur on the site



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Calidris melanotos</i>	Pectoral Sandpiper	Schedule 5 - IA	Marine/ Migratory	The Pectoral Sandpiper prefers shallow fresh to saline wetlands and is found at coastal lagoons, estuaries, bays, swamps, lakes, inundated grasslands, saltmarshes, river pools, creeks, floodplains and artificial wetlands.	Possible – habitat may occur on the site
<i>Calidris ruficollis</i>	Red-necked Stint	Schedule 5 - IA	Marine/ Migratory	The Red-necked Stint is mostly found in coastal areas, including in sheltered inlets, bays, lagoons and estuaries with intertidal mudflats, often near spits, islets and banks and, sometimes, on protected sandy or coralline shores.	Highly Unlikely – not coastal habitat
<i>Calidris subminuta</i>	Long-toed Stint	Schedule 5 - IA	Marine/ Migratory	The Long-toed Stint prefers shallow freshwater or brackish wetlands including lakes, swamps, river floodplains, streams, lagoons and sewage ponds. The species is also fond of areas of muddy shoreline, growths of short grass, weeds, sedges, low or floating aquatic vegetation, reeds, rushes and occasionally stunted samphire.	Possible – habitat may occur on the site
<i>Limosa limosa</i>	Black-tailed Godwit	Schedule 5 - IA	Migratory/ Marine	The Black-tailed Godwit is found mainly in coastal habitats such as large intertidal sandflats, banks, mudflats, estuaries, inlets, harbours, coastal lagoons and bays. It is found often around beds of seagrass and, sometimes, in nearby saltmarsh.	Highly Unlikely – not coastal habitat
<i>Motacilla cinerea</i>	Grey Wagtail	Schedule 5 - IA	Migratory/ Marine	The Grey Wagtail is mostly recorded in coastal areas in Western Australia (ALA, 2015) however is widespread. There is non-breeding habitat only in Australia and the species has a strong association with water, particularly rocky substrates along water courses but also lakes and marshes.	Unlikely – not typical habitat



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Pandion cristatus</i> (<i>Pandion haliaetus</i>)	Osprey	Schedule 5 - IA	Marine/ Migratory	Ospreys occur in littoral and coastal habitats and terrestrial wetlands of tropical and temperate Australia and offshore islands. They feed on fish, especially mullet where available, and rarely take molluscs, crustaceans, insects, reptiles, birds and mammals.	Highly Unlikely – not coastal habitat
<i>Plegadis falcinellus</i>	Glossy Ibis	Schedule 5 - IA	Marine/Mig ratory	The Glossy Ibis is the smallest ibis known in Australia. This species preferred habitat for foraging and breeding are fresh water marshes at the edges of lakes and rivers, lagoons, flood-plains, wet meadows, swamps, reservoirs, sewage ponds, rice-fields and cultivated areas under irrigation but do not breed in South-west Western Australia.	Possible – habitat may occur on the site
<i>Pluvialis fulva</i>	Pacific Golden Plover	Schedule 5 - IA	Marine/ Migratory	Pacific Golden Plovers usually occur on beaches, mudflats and sandflats (sometimes in vegetation such as mangroves, low saltmarsh such as <i>Sarcocornia</i> , or beds of seagrass) in sheltered areas including harbours, estuaries and lagoons, and also in evaporation ponds in salt works.	Highly Unlikely – not suitable habitat
<i>Pluvialis squatarola</i>	Grey Plover	Schedule 5 - IA	Marine/ Migratory	Grey Plovers occur almost entirely in coastal areas, where they usually inhabit sheltered embayments, estuaries and lagoons with mudflats and sandflats, and occasionally on rocky coasts with wave-cut platforms or reef-flats, or on reefs within muddy lagoons.	Highly Unlikely – not coastal habitat
<i>Sterna dougallii</i>	Roseate Tern	Schedule 5 - IA	Marine/ Migratory	The Roseate Tern is a migratory coastal seabird that feeds by plunge diving. This species breeds in sites surrounded by walls and rocks or in the shelter of vegetation (in temperate regions) (Birdlife International, 2014).	Highly Unlikely – not coastal habitat



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Tringa glareola</i>	Wood Sandpiper	Schedule 5 - IA	Marine/ Migratory	The Wood Sandpiper uses well-vegetated, shallow, freshwater wetlands, such as swamps, billabongs, lakes, pools and waterholes. They are typically associated with emergent, aquatic plants or grass, and dominated by taller fringing vegetation, such as dense stands of rushes or reeds, shrubs, or dead or live trees, especially Melaleuca and River Red Gums <i>Eucalyptus camaldulensis</i> and often with fallen timber.	Possible – habitat may occur on the site
<i>Tringa nebularia</i>	Common Greenshank	Schedule 5 - IA	Marine/ Migratory	The Common Greenshank is a wader and does not breed in Australia. This species can be found in many types of wetlands and has the widest distribution of any shorebird in Australia. This species typically feeds on molluscs, crustaceans, insects, and occasionally fish and frogs.	Possible – habitat may occur on the site
<i>Ardea alba</i>	Great Egret, White Egret		Marine	The Eastern Great Egret has been reported in a wide range of wetland habitats and usually frequents shallow waters. This species feeds on fish, insects, crustaceans, molluscs, frogs, lizards, snakes and small birds and mammals.	Possible – habitat may occur on the site
<i>Ardea (Bubulcus) ibis</i>	Cattle Egret		Marine	The Cattle Egret occurs in tropical and temperate grasslands, wooded lands and terrestrial wetlands with breeding in Western Australia recorded in the far north in Wyndham in colonies in wooded swamps such as mangrove forest. This species forages away from water on low lying grasslands, improved pastures and croplands generally in areas that have livestock eating insects, frog, lizards and small mammals.	Possible – habitat may occur on the site
<i>Egretta sacra</i>	Eastern Reef Egret, Eastern Reef Heron		Marine	The Eastern Reef Egret nests in trees in island woodlands, or on the ground under shrubs or rock ledges and feeds on small fish, crustaceans and insects (Birdlife Australia, 2014).	Unlikely – not typical habitat



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Haliaeetus leucogaster</i>	White-bellied Sea-eagle		Marine	The White-bellied Sea-Eagle is found in coastal habitats with large areas of open water, especially those close to the sea-shore. This species feeds opportunistically on a variety of fish, birds, reptiles, mammals and crustaceans, and on carrion and offal.	Highly Unlikely – not coastal habitat
<i>Himantopus himantopus</i>	Black-winged Stilt		Marine	The Black-winged Stilt is found near coastal lagoons and shallow freshwater or brackish pools with extensive areas of mudflats, salt meadows, saltpans, coastal marshes and swamps (Birdlife International, 2014).	Highly Unlikely – not suitable habitat
<i>Merops ornatus</i>	Rainbow Bee-eater		Marine	Populations of the Rainbow Bee-eater that breed in northern Australia are considered to be resident, and in many northern localities the Rainbow Bee-eater is present throughout the year. The Rainbow Bee-eater nests in a burrow dug in the ground. It is found across the better-watered parts of WA including islands preferring lightly wooded, sandy country near water.	Possible – may intermittently occur on the site
<i>Rallus philippensis</i>	Buff banded rail		Marine	The Buff Banded Rail occupies a wide range of terrestrial wetlands, as well as coastal beaches, reef flats, sandbanks, and mangroves, where it forages on the ground, pecking and probing in mud to catch crustaceans, worms and other invertebrates, and rails on beaches may scavenge along the strandline (Birdlife Australia, 2017).	Possible – habitat may occur on the site
<i>Recurvirostra novaehollandiae</i>	Red-necked Avocet		Marine/ Migratory	The Red-necked Avocet occurs in wetland areas including bogs, marshes, swamps and Permanent Saline, Brackish or Alkaline Lakes (Birdlife International, 2014).	Possible – habitat may occur on the site



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Idiosoma sigillatum</i>	Swan Coastal Plain shield-backed trapdoor spider	Priority 3		The Swan Coastal Plain Shield-backed Trapdoor Spider arranges fallen twigs from the sheoak tree around the rim of its burrow entrance, enabling it to feel the vibrations of unsuspecting prey that wander by (Curtin, 2018).	Highly Unlikely – not suitable habitat
<i>Hydromys chrysogaster</i>	Water-rat, Rakali	Priority 4		The Water Rat generally prefers wetland habitats characterised by dense, low-lying vegetation (0–30 cm from ground), low-density canopy cover and shallow, narrow water bodies (Speldewinde et al., 2013).	Highly Unlikely – not permanent water
<i>Isoodon fusciventer</i>	Southern Brown Bandicoot, Quenda	Priority 4		Southern Brown Bandicoots are small grey marsupials that prefer dense scrub (up to one metre high). Their diet includes invertebrates (including earthworms, adult beetles and their larvae), underground fungi, subterranean plant material, and very occasionally, small vertebrates (DEC, 2012).	Possible – habitat may occur on the site
<i>Ixobrychus dubius</i>	Australian Little Bittern	Priority 4		The Australian Little Bittern is mainly found in freshwater wetlands, where they inhabit dense emergent vegetation of reeds and sedges, and inundated shrub thickets. They are also occasionally found in brackish and saline wetlands such as mangrove swamps, Juncus-dominated salt marsh and the wooded margins of coastal lagoons (Naturewatch NZ, 2014).	Possible – habitat may occur on the site
<i>Oxyura australis</i>	Blue-billed Duck	Priority 4		The Blue-billed Duck is found on terrestrial wetlands in temperate regions, that are freshwater to saline, and may be natural or artificial. It nests in rushes, sedges, Lignum Muehlenbeckia cunninghamii and paperbark Melaleuca (Birdlife International, 2015). The species is almost completely aquatic, and is seldom seen on land (Birds in Backyards, 2015).	No - no permanent open water on the site



Scientific Name	Common Name	Conservation Status (WA)	Status under EPBC Act	Habitat*	Likelihood to occur on the site
<i>Synemon gratiosa</i>	Graceful Sun-moth	Priority 4		The Graceful Sun-moth is a diurnal moth with dull coloured brown to black forewings and brightly coloured orange hind wings. The larvae burrow into the rhizomes of <i>Lomandra maritima</i> and <i>Lomandra hermaphrodita</i> exclusively and therefore require the presence of one or both of these species to be present in an area (Bishop et al., 2011).	No - no host plants occur on the site

Habitat from SPRAT (SEWPaC, 2015) unless otherwise stated

The Department of Biodiversity, Conservation and Attractions (DBCA) classifies fauna under four different Priority codes and rare and endangered fauna are classified into seven schedules of taxa. These are outlined in Appendix 3.



3.9.3 Conservation Significant Species

Habitat on the site was identified for two listed species of Black Cockatoos being:

- Carnaby's Black Cockatoo (*Calyptorhynchus (Zanda) latirostris*)
- Forest Red-tailed Black Cockatoo (*Calyptorhynchus banksii naso*)

A detailed assessment of the Black Cockatoo Habitat on the site is in the following section.

There were twelve migratory species identified that could potentially use the wetland portion of the site, listed below, however the use is likely to be infrequent and the site is not likely to provide significant habitat to any of these species particularly given the large area of lakes and swamps in the Yellagonga Regional Park:

- *Actitis hypoleucos* (Common Sandpiper);
- *Calidris acuminata* (Sharp-tailed Sandpiper);
- *Calidris melanotos* (Pectoral Sandpiper);
- *Calidris subminuta* (Long-toed Stint)
- *Plegadis falcinellus* (Glossy Ibis);
- *Tringa glareola* (Wood Sandpiper);
- *Tringa nebularia* (Common Greenshank);
- *Ardea alba* (Great Egret, White Egret);
- *Ardea (Bubulcus) ibis* (Cattle Egret);
- *Merops ornatus* (Rainbow Bee-eater);
- *Rallus philippensis* (Buff banded rail); and
- *Recurvirostra novaehollandiae* (Red-necked Avocet).

There were two Priority 4 species that may have habitat on the site, however these species are not likely to rely on the site for survival. These species were:

- *Isoodon fusciventer* (Southern Brown Bandicoot, Quenda); and
- *Ixobrychus dubius* (Australian Little Bittern).

3.9.4 Black Cockatoo Habitat

Foraging

The site contains three tree species (Marri, Tuart and Jarrah) that are recognised as providing foraging habitat for foraging by Black Cockatoos. The total area of foraging habitat is 0.615 ha and is shown on Figure 6.

No evidence of Black Cockatoo foraging on trees on the site was observed. However, there was evidence of foraging by Carnaby's Black Cockatoo on a Marri tree in the adjoining Woodvale Road reserve.



Breeding

Black Cockatoos are known to breed in hollows of large eucalypts. The site is not known as a breeding site for Black Cockatoos (DoP, 2011; National Map, 2022). The nearest breeding site is approximately 2.71km to the west (National Map, 2022) (Appendix 2).

No evidence of breeding by Black Cockatoos on the site was observed. None of the trees had any hollows suitable for Black Cockatoos to breed in. There were 20 trees recorded that met the definition of potential breeding habitat due to their DBH being ≥ 500 m (Figure 6, Appendix 4). The total consisted of 15 Marri trees, 3 Tuart trees, one Jarrah tree and a Standing Dead tree (Appendix 4).

Roosting

Black Cockatoos are known to roost overnight in tall trees including native and introduced eucalypts and pine trees generally in close proximity to a fresh water source. The study area contains tall Marri, Tuart and Jarrah trees, however no evidence of roosting was recorded during the survey.

3.9.5 Pest Fauna

There are several pest species that may be present on the site being:

- Red foxes;
- Feral cats;
- European Rabbits;
- House Mice; and
- Black Rats.

3.9.6 Ecological Linkages

The eastern part of the site forms part of the Wallubuenup Swamp which is a part of Bush Forever Site 299 within Yellagonga Regional Park.

3.10 Heritage

There are no Aboriginal Heritage Sites or Places mapped on the site (DPLH, 2023; Appendix 5). Heritage sites can be also be listed under the following lists/registers:

- World Heritage Sites;
- National Heritage Sites;
- Commonwealth Heritage Sites;
- Sites on the register of the National Estate;
- Sites on the Western Australian Heritage Council Register; and
- Sites listed in the City of Swan Municipal Heritage Inventory List.

There are no listed Heritage Sites or Interim Heritage Sites on the site (National Map, 2023; Heritage Council of Western Australia, 2023; DCCEEW, 2023).



4 ENVIRONMENTAL IMPACT ASSESSMENT

4.1 Proposed Development

The site is proposed to be subdivided for residential purposes. A Subdivision Concept Plan has not yet been prepared but will be informed by the results of this EAR.

4.2 Land Use

The previous and current land uses are not considered to be a constraint to development of the site.

4.3 Surrounding Land Use

The land to the south and west of the site is developed for urban purposes and to the north is a church. These land uses do not impede development of the site. The eastern part of the site is within Yellagonga Regional Park and reserved as Parks & Recreation and will not be able to be developed.

4.4 Topography

There are no significant topographic features on the site that would be a constraint to development.

4.5 Geology and Soils

The Spearwood geological unit is not constrained for development. The soils on the western part of the site have a high risk of being susceptible to wind erosion and therefore dust controls will be required during construction. The eastern part has a risk of waterlogging and water erosion however this can be managed with appropriate stormwater controls.

Geotechnical investigations will need to be carried out to investigate any engineering constraints of the soils.

The ASS Risk on the development site is mapped as being High to Moderate (<3m from the surface) in the eastern part of the site associated with the wetland soils. Development in close proximity to the High to Moderate risk area may need to be investigated once the level of soil disturbance is known.

ASS Investigation and, if required, Management Plans should be prepared once the detailed design of soil disturbance on the site is finalised. This should be undertaken in accordance with the *Acid Sulphate Soils Guideline Series: Identification and Investigation of Acid Sulphate Soils and Acidic Landscapes* (DEC, 2009b) and *Treatment and Management of Soils and Water in Acid Sulphate Soil Landscapes* (DEC, 2011).

The risk of ASS can be managed in accordance with standard practices so the presence of ASS should not be an impediment to the proposed development of the site.

4.6 Hydrology

The Urban zoned part of the site has sandy soil which would allow for the treatment of stormwater drainage by infiltration. The treatment of stormwater will need to be undertaken in accordance with *Better Urban Water Management* (WAPC, 2008).



4.7 Wetlands

4.7.1 Wetland Boundary

PGV Environmental assessed the alignment of the mapped wetland boundary as being reasonably accurate and does not recommend any changes in the alignment.

4.7.2 Wetland Buffer

The usual setback distance for development from a Conservation Category wetland is 50m (EPA, 2008). A standard 50m buffer, if applied, is shown on Figure 3. As described in Section 3.7.2 the area just outside the wetland boundary is a transition zone between the wetland and the dryland areas and contains a mix of vegetation types associated with small-scale topographical changes (Plate 9). Low-lying parts in the buffer are wet in winter/spring and contain some *Typha* Sedgeland as well as *Juncus acutus* Sedgeland. The drier hummocks contain weeds, predominantly Kikuyu, Couch Grass, Cape Tulip and Lupins.

Plate 9: Wetland Interface



The eastern two-thirds of the buffer takes up about 30m of the 40m buffer and would not be usable by the public if retained in its current form in Public Open Space due to the irregular surface levels and the areas of wet depressions in winter/spring. The western third of the wetland buffer is higher and therefore drier and mostly has a regular surface, albeit slightly sloping down to the east (Plate 10). This area could be landscaped with grass and other amenities for public use and possibly planted with trees in a similar way that has occurred for the wetland buffer on the development to the south of the site.



Plate 10: Western Side of the Wetland Buffer



Based on the current soil and topographical conditions of the buffer area, and the City of Joondalup's likely requirement for the buffer area to have some form of public amenity, PGV Environmental does not recommend a reduction of the 50m setback from the wetland boundary.

A Wetland Management Plan is recommended to be prepared as a condition of subdivision. The Wetland Management Plan should outline the treatment of the buffer, public use of the buffer, fencing and paths.

Stormwater drainage infrastructure is not normally allowed to be located in the buffer of a CCW. Some overflow of larger events may be supported by the agencies.

Any rehabilitation proposed for the buffer will need to consider the implications on Bushfire Attack Levels (BALs) and the requirements for setbacks to dwellings due to BALs.

4.8 Flora and Vegetation

The native vegetation is Completely Degraded and there are no Threatened or Priority Flora species on the site. The native vegetation on the site is not considered to be an important remnant of a vegetation complex and is too degraded to be a TEC or PEC.

The vegetation outside of the wetland area is not considered a constraint to development.

4.9 Fauna

The fauna habitat values on the Urban portion of the site have been significantly impacted by past clearing leading to a Highly Degraded Fauna Habitat rating.

The high quality fauna habitat is associated with the wetland which will be retained in the development.



The proposed development is likely to result in the clearing of all trees on the site. The trees provide foraging habitat for Carnaby's and Forest Red-tailed Black Cockatoos as well as 20 potential breeding habitat trees. Any clearing that would have a significant impact on Black Cockatoos is required to be referred under the Commonwealth EPBC Act. A significant impact is defined in broad terms by the *EPBC Act Significant Impact Guidelines 1.1* and more specifically for Black Cockatoos the *Referral Guideline for 3 WA Threatened Black Cockatoo Species* (DAWE, 2022).

According to the Referral Guidelines the clearing of more than 1ha of quality foraging habitat could lead to a significant impact and is likely to require a Referral under the EPBC Act. The amount of foraging habitat on the site is 0.615ha which is less than 1ha, therefore referral based on foraging habitat is not required.

According to the Referral Guidelines the clearing of *any* potential nesting trees is highly likely to require a Referral under the EPBC Act. The site contains 20 potential breeding habitat trees, most, if not all, of which would be cleared for an urban development. Therefore, a Referral under the EPBC Act is recommended. Based on previous EPBC Act Referral of similar amount of habitat clearing, PGV Environmental considers the result of a Referral would highly likely not require a full assessment, however each proposal is considered on its own merits.

4.10 Heritage

There are no Aboriginal Heritage sites or sites of other heritage values on the site. Heritage, therefore is not an impediment to development.



5 SUMMARY AND CONCLUSION

5.1 Summary

The Environmental Assessment of Lot 36 and Pt Lot 28 Woodvale Drive, Woodvale found the following:

- The western portion of the site is zoned for Urban development in the MRS and the eastern portion is reserved Parks and Recreation and part of Bush Forever Site 299 within the Yellagonga Regional Park;
- The site is not registered as a contaminated site and the past and present land use are not considered constraints to development;
- Surrounding land use does not pose a constraint to the proposed urban development;
- The geology and soils on the site do not pose a risk to development. Acid Sulphate Soils in the central section may need to be investigated when the extent of earthworks and servicing are known;
- The Urban zoned portion of the site contains some remnant native trees in a parkland cleared setting with no native understorey species;
- The absence of a native understorey means that no Threatened or Priority flora species is likely to occur on the site;
- The remnant trees are mostly Marri, with some Tuart and Jarrah. The vegetation in the Urban portion is rated as being in Completely Degraded condition;
- The vegetation does not meet the definition of any Threatened or Priority Ecological Communities;
- The native trees on the site provide 0.615ha of potential foraging habitat for Black Cockatoos although no evidence of foraging on site was observed. The site contains 20 Marri, Jarrah and Tuart trees that meet the definition of breeding habitat. No actual breeding occurs on the site as none of the trees has any hollows large enough for Black Cockatoos to breed in;
- The site contains a portion of Wallubuenup Swamp which is a Conservation Category wetland. PGV Environmental consider the boundary of the mapped wetland is reasonably accurate and does not recommend any changes;
- The interface between the wetland and the trees on the higher western portion of the site contains about 30m of chaotic landform with some small high points and some low-lying depressions that are wet in winter/spring;
- The undulating nature of the wetland interface means that in its current form a 50m wetland buffer is recommended between the wetland boundary and the proposed dwellings. The 50m will allow landscaping of the more uniform landform in the western part of the wetland buffer to be usable POS for the public;
- A Wetland Management Plan is recommended to be prepared as a condition of subdivision;
- Stormwater drainage infrastructure is not normally allowed to be located in the buffer of a CCW. Some overflow of larger events may be supported by the agencies;
- The site does not contain any Aboriginal Heritage Sites or sites of other heritage.



5.2 Conclusion

The rezoning of the Rural portion of the land in the City of Joondalup's Local Planning Strategy will need to be referred to the EPA under Section 48A of the *Environmental Protection Act 1956*. PGV Environmental considers the proposed development of the western portion of the site can be done without any significant impact on environmental matters. Therefore, the EPA should not require the TPS Amendment to be fully assessed.

The clearing of up to 20 potential Black Cockatoo breeding habitat trees should be referred under the Commonwealth EPBC Act. PGV Environmental considers the result of a Referral would highly likely not require a full assessment.



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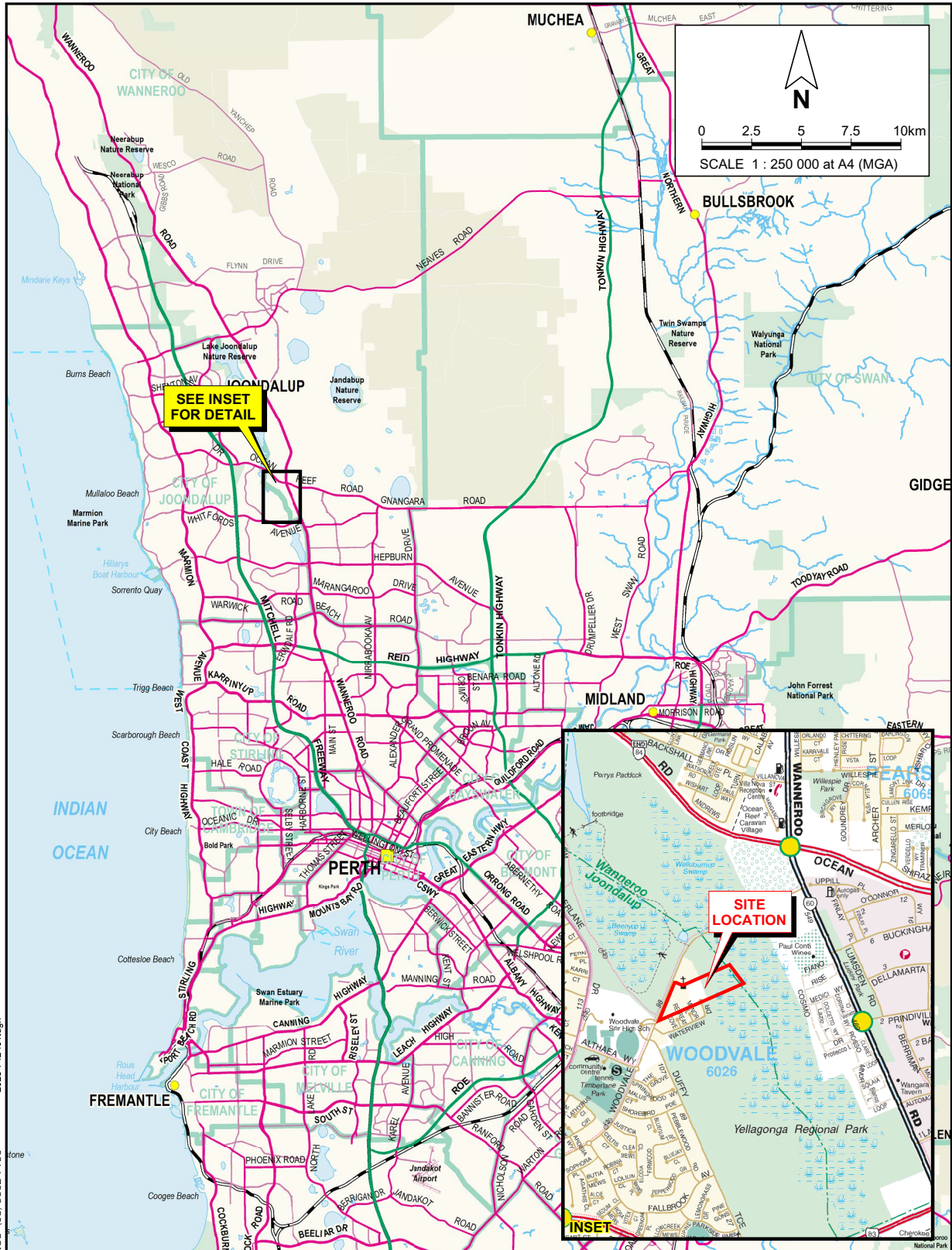
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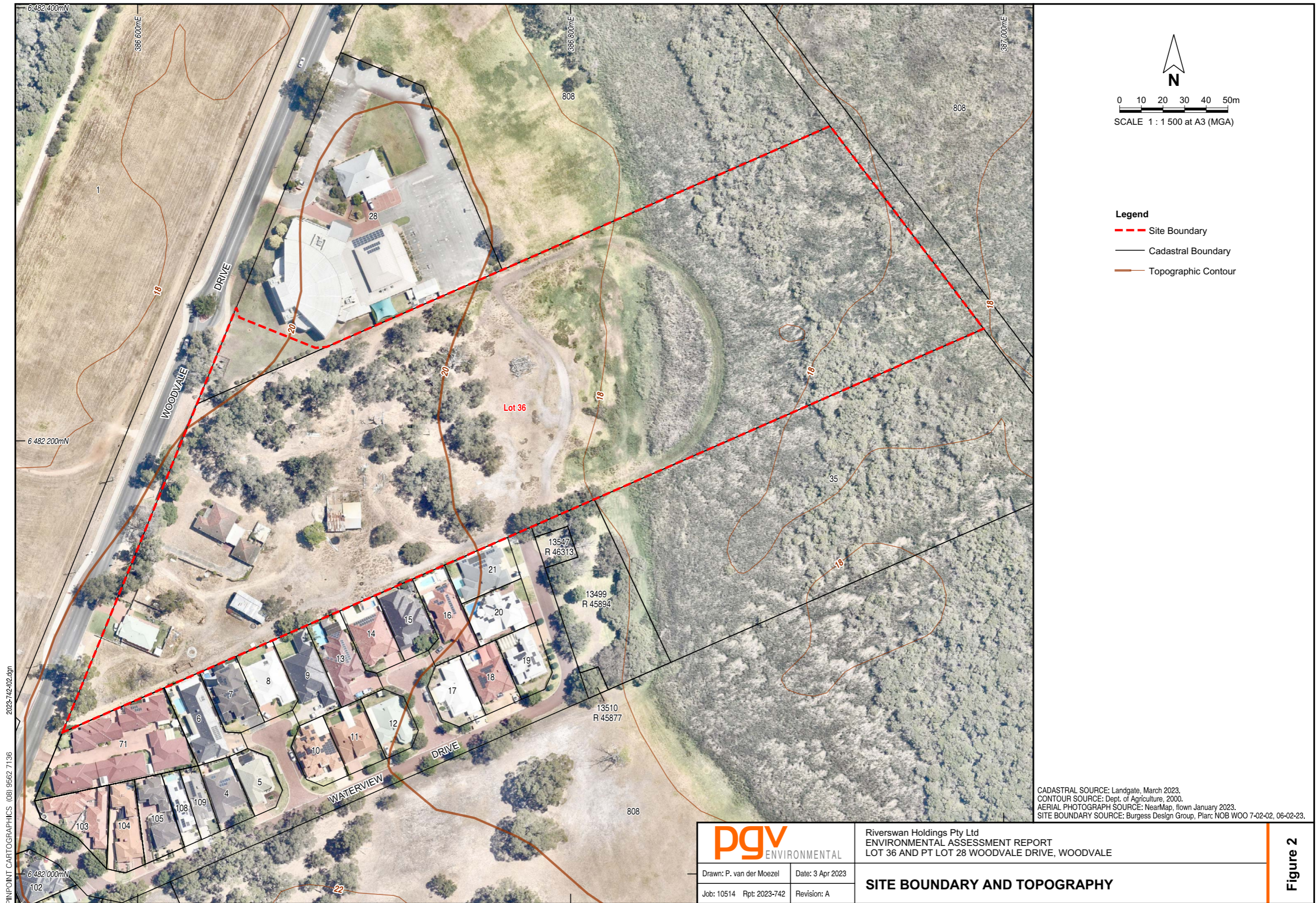
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FIGURES



2023-742-101.dgn
2023-742-101.dgn
PINPOINT CARTOGRAPHICS (08) 9562 7136

		Riverswan Holdings Pty Ltd ENVIRONMENTAL ASSESSMENT REPORT LOT 36 AND PT LOT 28 WOODVALE DRIVE, WOODVALE	
Drawn: P. van der Moezel Job: 10514 Rpt: 2023-742	Date: 3 Apr 2023 Revision: A	SITE LOCATION	
		Figure 1	

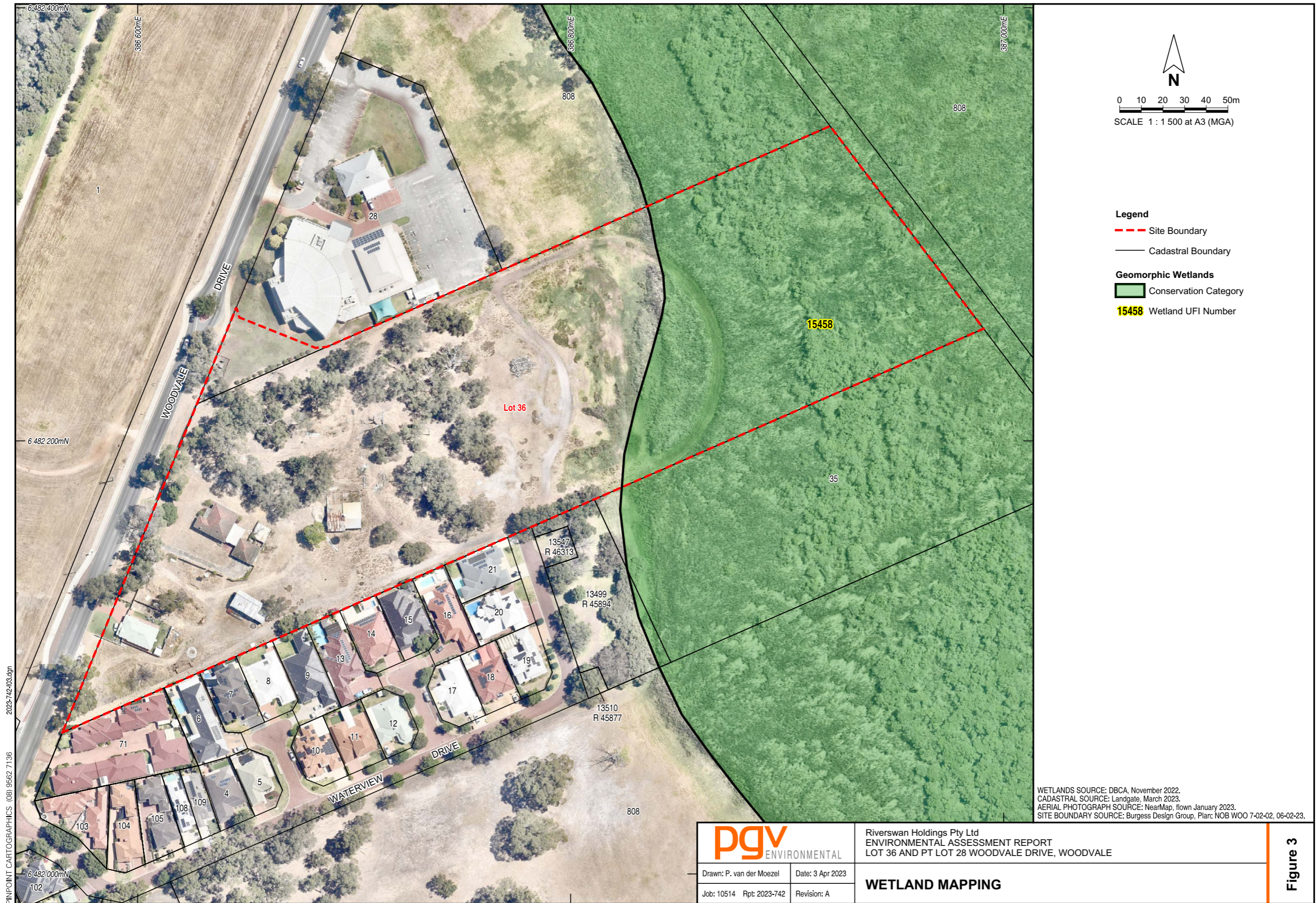


pgv ENVIRONMENTAL	
Drawn: P. van der Moezel	Date: 3 Apr 2023
Job: 10514 Rpt: 2023-742	Revision: A

Riverswan Holdings Pty Ltd
 ENVIRONMENTAL ASSESSMENT REPORT
 LOT 36 AND PT LOT 28 WOODVALE DRIVE, WOODVALE

SITE BOUNDARY AND TOPOGRAPHY

Figure 2



pgv ENVIRONMENTAL	
Drawn: P. van der Moezel	Date: 3 Apr 2023
Job: 10514 Rpt: 2023-742	Revision: A

Riverswan Holdings Pty Ltd ENVIRONMENTAL ASSESSMENT REPORT LOT 36 AND PT LOT 28 WOODVALE DRIVE, WOODVALE
WETLAND MAPPING

Figure 3

PINPOINT CARTOGRAPHICS (08) 9562 7136 2023-742-103.dgn

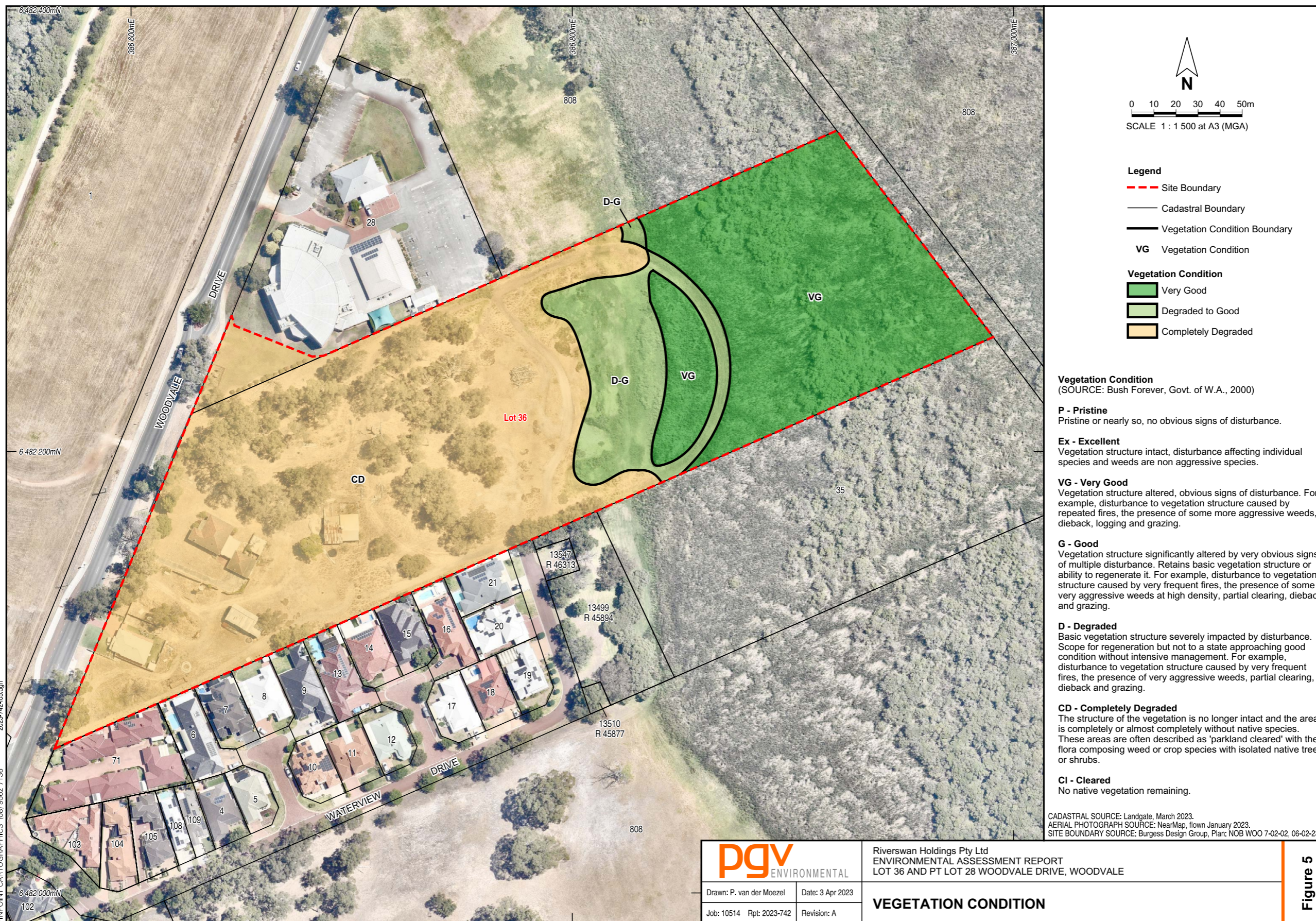


CADASTRAL SOURCE: Landgate, March 2023.
 AERIAL PHOTOGRAPH SOURCE: NearMap, flown January 2023.
 SITE BOUNDARY SOURCE: Burgess Design Group, Plan: NOB WOO 7-02-02, 06-02-23.

pgv ENVIRONMENTAL	
Drawn: P. van der Moezel	Date: 3 Apr 2023
Job: 10514 Rpt: 2023-742	Revision: A

Riverswan Holdings Pty Ltd ENVIRONMENTAL ASSESSMENT REPORT LOT 36 AND PT LOT 28 WOODVALE DRIVE, WOODVALE
VEGETATION TYPE

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 2023-742-104.dgn



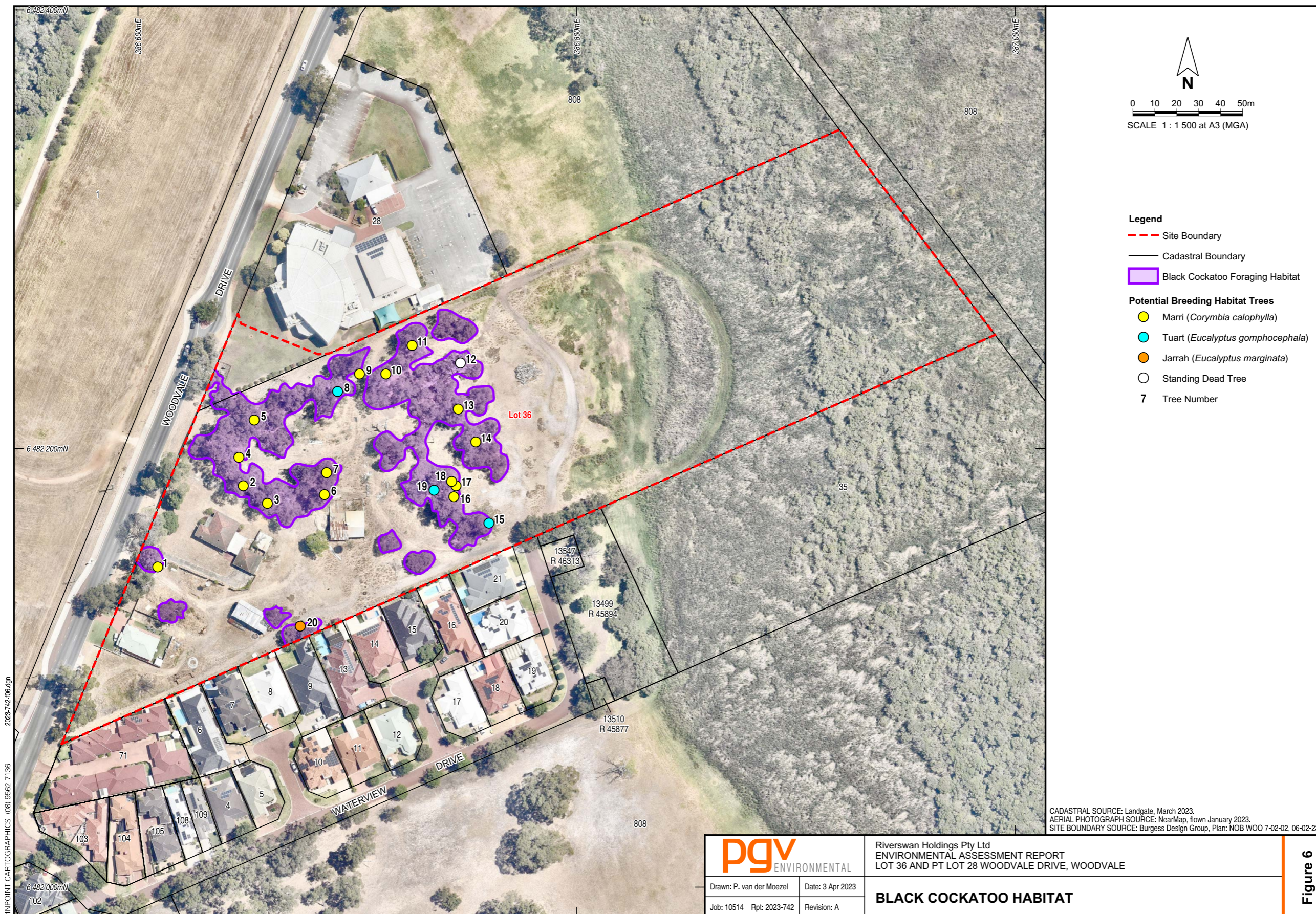


Figure 6

APPENDIX 1

Atlas of Living Australia

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/d03ef73f-d3a7-42af-be70-c61413d68718	Abantiades albifasciatus	Abantiades albifasciatus	(Swinhoe, 1892)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Hesperiidae	Abantiades	
https://biodiversity.org.au/afd/taxa/d2d4ac84e-c302-4ac7-9fdc-6ba4a020476a	Abpsa (Abpsa) ephippium	Abpsa (Abpsa) ephippium	(Fahrig, 1775)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Vespaidae	Abpsa	
https://biodiversity.org.au/afd/taxa/8698c1d0-2079-477f-832a-0771c8d7fcd	Acanthagenys rufogularis	Acanthagenys rufogularis	Gould, 1838	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Acanthagenys	Spiny-cheeked Honeyeater
https://biodiversity.org.au/afd/taxa/500e1350-1d00-4f1c-b9d3-d02b949cd4d7	Acanthiza (Acanthiza) apicalis	Acanthiza (Acanthiza) apicalis	Gould, 1847	species	Animalia	Chordata	Aves	Passeriformes	Acanthizidae	Acanthiza	Red-rumped Tit
https://biodiversity.org.au/afd/taxa/1aa581ac7-f29a-4e72-be0d-48a5e0a64de3	Acanthiza (Geobasileus) chrysoorhoa	Acanthiza (Geobasileus) chrysoorhoa	(Quoy & Gaimard, 1830)	species	Animalia	Chordata	Aves	Passeriformes	Acanthizidae	Acanthiza	Yellow-tail
https://biodiversity.org.au/afd/taxa/4b7b9c4a-1b60-4a43-ab70-b57bfc790138	Acanthiza (Geobasileus) inornata	Acanthiza (Geobasileus) inornata	Gould, 1841	species	Animalia	Chordata	Aves	Passeriformes	Acanthizidae	Acanthiza	Masters' Tit
https://biodiversity.org.au/afd/taxa/0242155c-714e-4f53-b973-333aab1343fb	Acantorhynchus superciliosus	Acantorhynchus superciliosus	Gould, 1837	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Acantorhynchus	Western Spinebill
https://biodiversity.org.au/afd/taxa/d470af0d-c131-48f7-961d-a556866ea185	Accipiter (Leucospiza) fasciatus	Accipiter (Leucospiza) fasciatus	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Accipiter	Grey-headed Goshawk
https://biodiversity.org.au/afd/taxa/02725816-5d59-41e1-aa00-f7cc41cd66dc	Accipiter (Paraspizias) cirrocephalus	Accipiter (Paraspizias) cirrocephalus	(Vieillot, 1817)	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Accipiter	Collared Sparrowhawk
https://biodiversity.org.au/afd/taxa/2ba88f49-4afa-44af-8165-f1eb0bf7f28	Achyra affinis	Achyra affinis	(Lederer, 1863)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Acrididae	Achyra	
https://biodiversity.org.au/afd/taxa/8c181054-63bc-4139-81dc-6a8d9800bda	Acrida conica	Acrida conica	(Fabricius, 1781)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Acrida	Giant Green Slant-face
https://biodiversity.org.au/afd/taxa/d4822aaa-639c-46a3-8ce1-18a21fd9c32	Acritoscincus trilineatus	Acritoscincus trilineatus	(Gray, 1838)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Acritoscincus	Western Three-lined Skink
https://biodiversity.org.au/afd/taxa/51829a26-3d88-4238-be5b-354de5174292	Acrocephalus (Acrocephalus) australis	Acrocephalus (Acrocephalus) australis	(Gould, 1838)	species	Animalia	Chordata	Aves	Passeriformes	Acrocephalidae	Acrocephalus	Australian Reed Warbler
https://biodiversity.org.au/afd/taxa/1abe5b18-d03e-4b33-a1ea-bcfc0695102c	Actitis hypoleucos	Actitis hypoleucos	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopaciidae	Actitis	Common Sandpiper
https://biodiversity.org.au/afd/taxa/0cb26000-c887-415a-9f5d-15fe48a2110	Adversaeschna brevityla	Adversaeschna brevityla	(Rambur, 1842)	species	Animalia	Arthropoda	Insecta	Odonata	Aeshnidae	Adversaeschna	
https://biodiversity.org.au/afd/taxa/06c31d5c-61c7-40de-a036-6afa17b80ca8	Aedes (Rampamyia) notoscriptus	Aedes (Rampamyia) notoscriptus	(Skuse, 1889)	species	Animalia	Arthropoda	Insecta	Diptera	Culicidae	Aedes	
https://biodiversity.org.au/afd/taxa/d9d5caed-f028-4a4c-97cb-c686690ea582	Agrus convolvuli	Agrus convolvuli	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Sphingidae	Agrus	
https://biodiversity.org.au/afd/taxa/79962d4-22c2-4150-87af-61e9314d4f3	Agrotis munda	Agrotis munda	(Walker, 1857)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Noctuidae	Agrotis	
https://biodiversity.org.au/afd/taxa/cf5005c7-8318-429a-b708-894d720a5433	Alcaeus lignicolor	Alcaeus lignicolor	(Walker, 1867)	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Alcaeus	
https://biodiversity.org.au/afd/taxa/50a09ff8c-2ff2-4866-b42a-09ef17c2c2e	Aleeta curvicauda	Aleeta curvicauda	(Germar, 1834)	species	Animalia	Arthropoda	Insecta	Hemiptera	Cixiidae	Aleeta	
https://biodiversity.org.au/afd/taxa/b817ed58-14c6-4169-bcad-66f7a227e72a	Amblyomma tritatum	Amblyomma tritatum	(Koch, 1844)	species	Animalia	Arthropoda	Arachnida		Ixodidae	Amblyomma	
https://biodiversity.org.au/afd/taxa/0724a2b5-5216-4f98-96b0-7761e4133204	Amegilla (Notomegilla) chlorocyanea	Amegilla (Notomegilla) chlorocyanea	(Cockerell, 1914)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Apidae	Amegilla	Blue Banded Bee
https://biodiversity.org.au/afd/taxa/cdd95894-bea9-439e-84cd-b8078cc5242	Anas (Anas) platyrhynchos	Anas (Anas) platyrhynchos	Linnaeus, 1758	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Anas	Mallard
https://biodiversity.org.au/afd/taxa/81be58f5-ca7f-4f3d-b1eb-d4f83eb0af5a	Anas (Anas) superciliosa	Anas (Anas) superciliosa	Gmelin, 1789	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Anas	Parera
https://biodiversity.org.au/afd/taxa/0dd5b903-32e8-48ee-b7c0-91f5ea943a9	Anas (Nettion) castanea	Anas (Nettion) castanea	(Eyton, 1838)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Anas	Chestnut Teal
https://biodiversity.org.au/afd/taxa/efaa935b-e248-456a-b85e-b048b465b676	Anas (Nettion) gracilis	Anas (Nettion) gracilis	Buller, 1869	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Anas	Oceanic Teal
https://biodiversity.org.au/afd/taxa/29796f05-7bba-4837-8fa2-9b58ba1bd3b8	Anax papuensis	Anax papuensis	(Burmeister, 1839)	species	Animalia	Arthropoda	Insecta	Odonata	Aeshnidae	Anax	Australasian Shoveler
https://biodiversity.org.au/afd/taxa/c1d3308d-b6d6-496c-81b0-976c89259d3a	Anhinga novaehollandiae	Anhinga novaehollandiae	(Gould, 1847)	species	Animalia	Chordata	Aves	Pelecaniformes	Anhingidae	Anhinga	Argargg
https://biodiversity.org.au/afd/taxa/bf3fcd09-dc47-4ec8-9612-1b4089c7258a	Anilius australis	Anilius australis	(Gray, 1845)	species	Animalia	Chordata	Reptilia	Squamata	Typhlopidae	Anilius	Southern Blind Snake
https://biodiversity.org.au/afd/taxa/81a2ca8c-df2-4042-a6a7-34a3e893c219	Anthochaera (Anellobia) chrysoptera	Anthochaera (Anellobia) chrysoptera	(Latham, 1801)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Anthochaera	Little Wattlebird
https://biodiversity.org.au/afd/taxa/59b7c7f5-1d07-4ab0-90ef-9be0885dedd	Anthochaera (Anellobia) lunulata	Anthochaera (Anellobia) lunulata	Gould, 1838	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Anthochaera	Western Wattlebird
https://biodiversity.org.au/afd/taxa/8204979f-5302-41ea-943f-01d3c420f7bb	Anthochaera (Anthochaera) carunculata	Anthochaera (Anthochaera) carunculata	(Shaw, 1790)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Anthochaera	Red Wattlebird
https://biodiversity.org.au/afd/taxa/9ef64a31-2ba4-4a76-8334-f038b40ea381	Anthomyia punctipennis	Anthomyia punctipennis	Wiedemann, 1830	species	Animalia	Arthropoda	Insecta	Diptera	Anthomyiidae	Anthomyia	
https://biodiversity.org.au/afd/taxa/c832e3bf-7f0-4a28-a9d2-f50ed0857b1f	Anthrax incomptus	Anthrax incomptus	Walker, 1849	species	Animalia	Arthropoda	Insecta	Diptera	Bombiidae	Anthrax	
https://biodiversity.org.au/afd/taxa/f05bd2e2b-55f1-49b8-8df7-026955602af	Anthrenocerus australis	Anthrenocerus australis	(Hope, 1843)	species	Animalia	Arthropoda	Insecta	Coleoptera	Dermestidae	Anthrenocerus	Australian Carpet Beetle
https://biodiversity.org.au/afd/taxa/428afbec-3947-4aa8-b871-0bc9f9e68f2c	Anthrenus (Florilinus) museorum	Anthrenus (Florilinus) museorum	(Linnaeus, 1761)	species	Animalia	Arthropoda	Insecta	Coleoptera	Dermestidae	Anthrenus	
https://biodiversity.org.au/afd/taxa/4f20c198-9224-4d9b-82fd-6070e449ee8f	Anthrenus (Nathrenus) verbasci	Anthrenus (Nathrenus) verbasci	(Linnaeus, 1767)	species	Animalia	Arthropoda	Insecta	Coleoptera	Dermestidae	Anthrenus	
https://biodiversity.org.au/afd/taxa/653a9811-22da-4f2f-a489-85c3ee79473e	Anthus (Anthus) novaezeelandiae	Anthus (Anthus) novaezeelandiae	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Passeriformes	Motacillidae	Anthus	Australian Pipit
https://biodiversity.org.au/afd/taxa/566b2a7-252-4b15-993b-39b05b0b32c	Antichirpus whistleri	Antichirpus whistleri	(Attems, 1911)	species	Animalia	Arthropoda	Diplopoda	Polydesmida	Paradoxosomatidae	Antichirpus	
https://biodiversity.org.au/afd/taxa/742646c4-7ee5-466a-b94c-c692ae574734	Aphaenogaster poultoni	Aphaenogaster poultoni	Crawley, 1922	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Aphaenogaster	
https://biodiversity.org.au/afd/taxa/1a490f00-368f-427c-8d4c-fa3f3271d75f	Apis (Apis) mellifera	Apis (Apis) mellifera	Linnaeus, 1758	species	Animalia	Arthropoda	Insecta	Hymenoptera	Apidae	Apis	
https://biodiversity.org.au/afd/taxa/a4f3e880-e8d4-4459-8a45-247bf200d0e0	Aprasia repens	Aprasia repens	(Fry, 1914)	species	Animalia	Chordata	Reptilia	Squamata	Pygopodidae	Aprasia	Southwestern Sandplain Worm Lizard
https://biodiversity.org.au/afd/taxa/a485d484-20b7-4687-8397-6b33dbdc1526	Apricia jivalis	Apricia jivalis	(L. Koch, 1879)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Apricia	
https://biodiversity.org.au/afd/taxa/e2b6aed6-2f82-4b7c-9966-5ef2f9190bee	Apus (Apus) pacificus	Apus (Apus) pacificus	(Latham, 1801)	species	Animalia	Chordata	Aves	Apodiformes	Apodiidae	Apus	Fork-tailed Swift
https://biodiversity.org.au/afd/taxa/23e2cc6f-06b0-4749-abc8-d8a710b94f69	Aquila (Auroetus) audax	Aquila (Auroetus) audax	(Latham, 1801)	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Aquila	Wedge-tailed Eagle
https://biodiversity.org.au/afd/taxa/463b6e2d-87f1-4e8e-af1c-8f308fd63744	Arachnura higginsi	Arachnura higginsi	(L. Koch, 1872)	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Arachnura	
https://biodiversity.org.au/afd/taxa/e9938cb-cbd7-4826-96dd-f981e0e6d27b	Araneus talpedatus	Araneus talpedatus	(Keyserling, 1887)	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Araneus	
https://biodiversity.org.au/afd/taxa/3da69b6c-5152-4f96-bf75-ce208d759c5f	Archaeosynthemis leachii	Archaeosynthemis leachii	(Selys, 1871)	species	Animalia	Arthropoda	Insecta	Odonata	Synthemistidae	Archaeosynthemis	
https://biodiversity.org.au/afd/taxa/b129c2db-7d93-4688-a17f-277f1a409a1e	Archimantis sobrina	Archimantis sobrina	Saussure, 1872	species	Animalia	Arthropoda	Insecta	Mantodea	Mantidae	Archimantis	Large Brown Mantid
https://biodiversity.org.au/afd/taxa/148e9f0-b3c3-4577-9e1c-21f0e83190ba	Ardea alba	Ardea alba	Linnaeus, 1758	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Ardea	Balium
https://biodiversity.org.au/afd/taxa/82baad74a-c22a-4c65-8f67-a6c335f190708	Ardea intermedia	Ardea intermedia	(Walker, 1857)	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Ardea	A-gamandharrah
https://biodiversity.org.au/afd/taxa/cf8e02dd-2a6e-41dc-b14d-0e44444250a	Ardea pacifica	Ardea pacifica	Latham, 1801	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Ardea	White-necked Heron
https://biodiversity.org.au/afd/taxa/3b9c4c21-1465-4b7d-8015-8fd558e4d531	Ardenna pacifica	Ardenna pacifica	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Procellariiformes	Procellariidae	Ardenna	Wedge-tailed Petrel
https://biodiversity.org.au/afd/taxa/1865b014-426d-42dc-b53c-91c208e9b89e	Ardeotis australis	Ardeotis australis	(J.E. Gray, 1829)	species	Animalia	Chordata	Aves	Gruiformes	Otididae	Ardeotis	Plain Turkey
https://biodiversity.org.au/afd/taxa/33013eb9-e3e1-4e2b-954a-89d750ad0a1	Argiope protensa	Argiope protensa	L. Koch, 1872	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Argiope	
https://biodiversity.org.au/afd/taxa/204bcfe1-dcdd-42b9-8511-0d92f00ab166											

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/11000c94-3439-4f5b-82bc-6ed0b9cde190	Australomisidia cruentata	(L. Koch, 1874)	species	Animalia	Arthropoda	Arachnida	Araneae	Thomisidae	Australomisidia		
https://biodiversity.org.au/afd/taxa/0cb18aba-116d-465d-946e-784ced86f7e4	Austroagron clypea	(Selys, 1876)	species	Animalia	Arthropoda	Insecta	Odonata	Coenagrionidae	Austroagron		
https://biodiversity.org.au/afd/taxa/c7f1e5b6-dcfa-43cc-818d-c4b0579f6a91	Austrochiltona subtenuis	(Sayce, 1902)	species	Animalia	Arthropoda	Malacostraca	Amphipoda	Chiltoniidae	Austrochiltona		Amphipod
https://biodiversity.org.au/afd/taxa/d9ec8440-78e7-4797-bb92-27e75b262b08	Austrohoplochaelata imparicyctis	(Michaelsen, 1907)	species	Animalia	Annelida	Oligochaeta	Megascolecidae	Austrohoplochaelata			
https://biodiversity.org.au/afd/taxa/41d32c25-20dd-4dd4-b52c-cbcca4a38a0	Austrolestes analis	(Rambur, 1842)	species	Animalia	Arthropoda	Insecta	Odonata	Lestidae	Austrolestes		
https://biodiversity.org.au/afd/taxa/2fe21bed-d7f5-4e45-8deb-5d4e5b08fc4d	Austrolestes annulosus	(Selys, 1862)	species	Animalia	Arthropoda	Insecta	Odonata	Lestidae	Austrolestes		
https://biodiversity.org.au/afd/taxa/179ca45d5-700d-470e-94c8-8d03e8d0c4d1	Austrosclapius connexus	(Walker, 1835)	species	Animalia	Arthropoda	Insecta	Diptera	Dolichopodidae	Austrosclapius		
https://biodiversity.org.au/afd/taxa/d37d230d-c913-4248-b32e-c601761d1813	Austrothemis nigrescens	(Martin, 1901)	species	Animalia	Arthropoda	Insecta	Odonata	Libellulidae	Austrothemis		
https://biodiversity.org.au/afd/taxa/615b0d63-9e8b-4f8d-9637-489c2a80c281	Aythya (Nyroca) australis	(Eytton, 1838)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Aythya		Brownhead
https://biodiversity.org.au/afd/taxa/0611bc9c-8603-43ee-b084-50f412952a92	Badkouburka brownii	(Urquhart, 1885)	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Badkouburka		
https://biodiversity.org.au/afd/taxa/0b73e8bb-c141-4107-bb14-47c510d9c998	Badumna insignis	(L. Koch, 1872)	species	Animalia	Arthropoda	Arachnida	Araneae	Desidae	Badumna		
https://biodiversity.org.au/afd/taxa/80115d8a-e36b-4944-9005-0b5a5dc69abc	Badumna longiqua	(L. Koch, 1867)	species	Animalia	Arthropoda	Arachnida	Araneae	Desidae	Badumna		
https://biodiversity.org.au/afd/taxa/33cb4b8a-5016-4e24-94ca-6949d971218c	Bakeriana procurrens	(Jacobi, 1909)	species	Animalia	Arthropoda	Insecta	Hemiptera	Cicadellidae	Bakeriana		
https://biodiversity.org.au/afd/taxa/5fed5ecf-2199-4f64-a9f7-90b39f88a90a	Barnardius zonarius	(Shaw, 1805)	species	Animalia	Chordata	Aves	Psittaciformes	Psittacidae	Barnardius		Australian Ringneck
https://biodiversity.org.au/afd/taxa/edecce521-aa8-43fa-bbd7-0074d0bcfb4b	Biziura lobata	(Shaw, 1796)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Biziura		Musk Duck
https://biodiversity.org.au/afd/taxa/dba78701-cae9-4afb-a41a-6697c52c5e34	Botaurus poiciloptilus	(Wagler, 1827)	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Botaurus		Australasian Bittern
https://biodiversity.org.au/afd/taxa/ba965aeb-5125-46b5-acf8-dbb049106f7d	Bothriembryon (Bothriembryon) bulla	(Menke, 1843)	species	Animalia	Mollusca	Gastropoda	Stylommatophora	Bothriembryontidae	Bothriembryon		
https://biodiversity.org.au/afd/taxa/b078bf14-1322-474b-bb86-404d996b0579	Bothriembryon (Bothriembryon) Kendrick	Hill, Johnson & Merrifield, 1983	species	Animalia	Mollusca	Gastropoda	Stylommatophora	Bothriembryontidae	Bothriembryon		
https://biodiversity.org.au/afd/taxa/33cc201a-3634-4cec-bd9c-c2859966203c	Brachyurophis semifasciatus	GÄXnther, 1863	species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Brachyurophis		Southern Shovel-nosed Snake
https://biodiversity.org.au/afd/taxa/05f8459e-c929-4f8b-aed7-a71b519d8a28	Bradybaena similaris	(F&Nussac, 1821)	species	Animalia	Mollusca	Gastropoda	Stylommatophora	Camaenidae	Bradybaena		
https://biodiversity.org.au/afd/taxa/b753892a-155e-4190-98ab-8e85cc9840b7	Bubulcus ibis	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Bubulcus		Cattle Egret
https://biodiversity.org.au/afd/taxa/1ca348-9780-48d0-b328-7d75e1ad0ebf	Buddellundia cinerescens	(Buddle-Lund, 1912)	species	Animalia	Arthropoda	Malacostraca	Isopoda	Armadillidae	Buddellundia		
https://biodiversity.org.au/afd/taxa/2c33a1fd-34f4-48ec-9ae6-38b512aa7ea	Cacatua (Cacatua) galerita	(Latham, 1790)	species	Animalia	Chordata	Aves	Psittaciformes	Cacatuidae	Cacatua		Sulphur-crested Cockatoo
https://biodiversity.org.au/afd/taxa/ab8816d0-2599-4813-a4c7-00d45d0c7ed0	Cacatua (Licmetis) pastinator	(Gould, 1841)	species	Animalia	Chordata	Aves	Psittaciformes	Cacatuidae	Cacatua		Western Corella
https://biodiversity.org.au/afd/taxa/34b31e86-7ade-4c3a-960f-82a6ae586206	Cacatua (Licmetis) sanguinea	Gould, 1843	species	Animalia	Chordata	Aves	Psittaciformes	Cacatuidae	Cacatua		Little Corella
https://biodiversity.org.au/afd/taxa/1268648b-451b-4cb1-b931-ef54d4cb9ba0	Cacatua (Licmetis) tenuirostris	(Kuhl, 1820)	species	Animalia	Chordata	Aves	Psittaciformes	Cacatuidae	Cacatua		Long-billed Corella
https://biodiversity.org.au/afd/taxa/408ee81c-6558-4ddf-b732-19ad7d09f1ae	Cacacomantis (Vidgenia) flabelliformis	(Latham, 1801)	species	Animalia	Chordata	Aves	Cuculiformes	Cuculidae	Cacacomantis		Fan-tailed Cuckoo
https://biodiversity.org.au/afd/taxa/3b05d614-aca5-4d6e-b4b9-8bd7ac7f7ee6	Calidris (Crocebia) alba	(Pallas, 1764)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Calidris		Sanderling
https://biodiversity.org.au/afd/taxa/23296a00-b532-410a-87e7-d1f63ab497f6	Calidris (Ereunetes) ruficollis	(Pallas, 1776)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Calidris		Red-necked Stint
https://biodiversity.org.au/afd/taxa/cbe95be9-829a-4691-9de4-125356411d1f	Calidris (Ereunetes) subminuta	(Middendorff, 1851)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Calidris		Long-toed Stint
https://biodiversity.org.au/afd/taxa/15224215-5a35-4d5d-a141-72fd09f176b9	Calidris (Erolia) acuminata	(Horsfield, 1821)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Calidris		Sharp-tailed Sandpiper
https://biodiversity.org.au/afd/taxa/6e6e1107-7e34-4c9f-be85-546ad7d32965	Calidris (Erolia) ferruginea	(Pontoppidan, 1763)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Calidris		Curlew Sandpiper
https://biodiversity.org.au/afd/taxa/45b1896e-ef50-4571-ac94-7c1fc031049	Calidris (Erolia) melanotos	(Vieillot, 1819)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Calidris		Pectoral Sandpiper
https://biodiversity.org.au/afd/taxa/19ead63b-75ca-4a9c-9541-5293eab6f8b8	Callometella antipodes	(Smith, 1853)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Colletidae	Callometella		
https://biodiversity.org.au/afd/taxa/a7b48a73-14d8-405a-958a-17f1fe49f945	Calotemognatha varicollis	(Carter, 1913)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Calotemognatha		
https://biodiversity.org.au/afd/taxa/70eed478-5390-40c7-8660-97810ef7365	Calotemognatha yarelli	(Gory & Laporte, 1838)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Calotemognatha		
https://biodiversity.org.au/afd/taxa/39083a3e-faf5-4b48-a5f0-69c2bfa32d68	Calyptrorhynchus (Calyptrorhynchus) banksii	(Latham, 1790)	species	Animalia	Chordata	Aves	Psittaciformes	Cacatuidae	Calyptrorhynchus		Red-tailed Black Cockatoo
https://biodiversity.org.au/afd/taxa/df0e1cf0-aed0-4e5d-afcc-cbdcdbdaae2a	Camponotus chalcus	Crawley, 1915	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Camponotus		
https://biodiversity.org.au/afd/taxa/b1bfaf20-1974-4ceb-b852-3f791c746e76	Camponotus terebrans	(Lowne, 1865)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Camponotus		
https://biodiversity.org.au/afd/taxa/9106b27e8-19c3-4194-b55a-fd95a80ccdf9	Caretta caretta	(Linnaeus, 1758)	species	Animalia	Chordata	Reptilia	Testudines	Cheloniidae	Caretta		Loggerhead Turtle
https://biodiversity.org.au/afd/taxa/41d01e6b-e265-424d-8d6d-e39966b4cc8f	Casmerodius modesta	(J.E. Gray, 1831)	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Casmerodius		Eastern Great Egret
https://biodiversity.org.au/afd/taxa/02d0aa55-e080-483a-a720-0aa9711e2c2a	Castriana anchoralis	(Gory & Laporte, 1838)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/9027acc8-a0ca-44ae-b292-7380ca34420	Castriana aureola	(Carter, 1913)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/48f3f156-a0b5-4858-8095-21d4b885e19b	Castriana baillissa	(Obenberger, 1933)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/5a2493bf-0e57-459a-ad9f-c17b7f65b9d3	Castriana crociolor	(Gory & Laporte, 1838)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/dfbd4199-be57-4163-bc11-6f05c816c659	Castriana cupreoflava	(Saunders, 1869)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/ac05ef33-5323-4514-9f90-d322e896944d	Castriana decemguttata	(Gory, 1841)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/f972ba83-905d-4f8b-a956-eba1e16b5b1d	Castriana mansueta	(Kerremans, 1898)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/99992944-b7c4-448e-92ae-d50205e00ab1	Castriana mimesis	(Barker, 1993)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/8833cc4a-73e7-48b6-9a8f-37b76612dd6	Castriana pallidiventeris	(Gory & Laporte, 1838)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/36f999de-f626-4588-9c23-dfcc021289c	Castriana pallida	(Thomson, 1879)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/7f1fb204-cb65-4632-9312-c1c047a63ea9	Castriana rufipennis	(Kirby, 1818)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/f5013a8e-bca0-4063-a07a-e1577f0aba0	Castriana simulata	(Gory & Laporte, 1838)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Castriana		
https://biodiversity.org.au/afd/taxa/d7215c3-954c-4558-b920-4240172ea9d7	Catadromus lacordairei	Boisduval, 1835	species	Animalia	Arthropoda	Insecta	Coleoptera	Carabidae	Catadromus		Green-lined Ground Beetle
https://biodiversity.org.au/afd/taxa/e9f5efc2-9ae9-4434-9473-91673786e4b	Celaenia excavata	(L. Koch, 1877)	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Celaenia		
https://biodiversity.org.au/afd/taxa/56912aa7-1cc3-49a1-a464-ab7126d68327	Cephenes augiades	(C. Felder, 1860)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Hesperiidae	Cephenes		Orange Palm-dart
https://biodiversity.org.au/afd/taxa/38446daf-c4c9-47e9-bc2f-040cad08b8c7	Ceratitis capitata	(Wiedemann, 1824)	species	Animalia	Arthropoda	Insecta	Diptera	Tephritidae	Ceratitis		Medfly
https://biodiversity.org.au/afd/taxa/20c2f3c-3f38-4110-8c9f-32da03484256	Cercartetus concinnus										

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Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/7954bd26-ddb3-4e7e-823c-4a692b7bde74	Chenonetta jubata	(Latham, 1801)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Chenonetta	Australian Wood Duck	Australian Wood Duck
https://biodiversity.org.au/afd/taxa/5851a3f8-4962-477f-bd38-4f86473472f5	Cheramoeca leucostera	(Gould, 1841)	species	Animalia	Chordata	Aves	Passeriformes	Hirundinidae	Cheramoeca	White-backed Swallow	White-backed Swallow
https://biodiversity.org.au/afd/taxa/8a8e99d0-e1ad-4646-a161-6e48388abbcb	Cherax quinquecarinatus	(Gray, 1845)	species	Animalia	Arthropoda	Malacostraca	Decapoda	Parastacidae	Cherax	Diligi	Diligi
https://biodiversity.org.au/afd/taxa/3833daf29-74b1-40b1-9014-51bbf3af8898	Chlidonias (Chlidonias) leucopterus	(Temminck, 1815)	species	Animalia	Chordata	Aves	Charadriiformes	Laridae	Chlidonias	White-winged Tern	White-winged Tern
https://biodiversity.org.au/afd/taxa/5f44995b-559b-4dea-a30d-e32adf17f8c	Chlidonias (Pelodides) hybrida	(Pallas, 1811)	species	Animalia	Chordata	Aves	Charadriiformes	Laridae	Chlidonias	Whiskered Tern	Whiskered Tern
https://biodiversity.org.au/afd/taxa/0fc44003-1617-4f53-baff-1be3710141c4	Chlorocystis insignillata	(Walker, 1862)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	Chlorocystis	Chlorocystis	Chlorocystis
https://biodiversity.org.au/afd/taxa/0fb68c16-d6f1-47c3-b69d-d36ad34ba80a	Choreutis ophiomera	(Lower, 1896)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Choreutidae	Choreutis	Choreutis	Choreutis
https://biodiversity.org.au/afd/taxa/5d11794c-d874-4644-9dca-f611f60902db	Chortocites terminifera	(Walker, 1870)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Chortocites	Australian Plague Locust	Australian Plague Locust
https://biodiversity.org.au/afd/taxa/f5f5b062-4399-436d-ae93-8dcd6b77166	Christinus marmoratus	(Gray, 1845)	species	Animalia	Chordata	Aves	Squamata	Gekkonidae	Christinus	Marbled Gecko	Marbled Gecko
https://biodiversity.org.au/afd/taxa/e2070aa5-7ab4-41a8-9b41-b3f0c2e26390	Chroicocephalus novaehollandiae	(Stephens, 1826)	species	Animalia	Chordata	Aves	Charadriiformes	Laridae	Chroicocephalus	Silver Gull	Silver Gull
https://biodiversity.org.au/afd/taxa/524b7c0-f8ab-45a0-9579-3a90209b95e1	Chrysocides eriosoma	(Doubleday, 1843)	species	Animalia	Arthropoda	Insecta	Cuculiformes	Cuculidae	Chrysocides	Shining Cuckoo	Shining Cuckoo
https://biodiversity.org.au/afd/taxa/c568921e-f800-4a6e-b88c-6d409def1e20	Circus approximans	Peale, 1848	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Circus	Australasian Harrier	Australasian Harrier
https://biodiversity.org.au/afd/taxa/6948afde-c6b1-4947-bae1-801541614999	Circus assimilis	Jardine & Selby, 1828	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Circus	Spotted Harrier	Spotted Harrier
https://biodiversity.org.au/afd/taxa/1288a4f58-1631-40e5-837d-fd286679f866	Cladorhynchus leucocephalus	(Vieillot, 1816)	species	Animalia	Chordata	Aves	Charadriiformes	Recurvirostridae	Cladorhynchus	Cladorhynchus	Cladorhynchus
https://biodiversity.org.au/afd/taxa/d8e40853-a3a3-4ec5-9dc0-7f12680a054f	Climacteris (Climacteris) rufus	Gould, 1841	species	Animalia	Chordata	Aves	Passeriformes	Climacteridae	Climacteris	Rufous Treecreeper	Rufous Treecreeper
https://biodiversity.org.au/afd/taxa/0a670d3b-faff-4973-a2d1-f4dcb06bbf0	Clogmia albipunctata	(Williston, 1893)	species	Animalia	Arthropoda	Insecta	Diptera	Psychodidae	Clogmia	Clogmia	Clogmia
https://biodiversity.org.au/afd/taxa/0a670d3b-faff-4973-a2d1-f4dcb06bbf0	Clynotis severus	(L. Koch, 1879)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Clynotis	Clynotis	Clynotis
https://biodiversity.org.au/afd/taxa/1351b437-2eb5-4949-990b-b18eb45252af	Coccinella transversalis	Fabricius, 1781	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Coccinella	Transverse Ladybird	Transverse Ladybird
https://biodiversity.org.au/afd/taxa/1d88c366-b012-4c39-b47b-c2c3ac2b4a7	Cochlicella acuta	(MÄXler, 1774)	species	Animalia	Mollusca	Gastropoda	Stylommatophora	Hygromiidae	Cochlicella	Cochlicella	Cochlicella
https://biodiversity.org.au/afd/taxa/f9317593-94c1-49d3-aadb-df26a1c24da	Coeophora inaequalis	(Fabricius, 1775)	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Coeophora	Coeophora	Coeophora
https://biodiversity.org.au/afd/taxa/7af45a09-40af-4303-a417-1708623809af	Colluricincla (Colluricincla) harmonica	(Latham, 1801)	species	Animalia	Chordata	Aves	Passeriformes	Pachycephalidae	Colluricincla	Grey Shrike-thrush	Grey Shrike-thrush
https://biodiversity.org.au/afd/taxa/bf8abbc11-ebc1-4f1a-9950-805efbcf90a	Columba (Columba) livia	Gmelin, 1789	species	Animalia	Chordata	Aves	Columbiformes	Columbidae	Columba	Rock Pigeon	Rock Pigeon
https://biodiversity.org.au/afd/taxa/522a22ec-3318-4e17-97e7-8d8af150146b	Coptotermes michaelseni	Silvestri, 1909	species	Animalia	Arthropoda	Insecta	Blattodea	Rhinotermitidae	Coptotermes	Coptotermes	Coptotermes
https://biodiversity.org.au/afd/taxa/69c22b10-f442-4bef-bb0f-88dc01a8f96c	Coracina (Coracina) novaehollandiae	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Passeriformes	Campēphagidae	Coracina	Black-faced Cuckoo-shrike	Black-faced Cuckoo-shrike
https://biodiversity.org.au/afd/taxa/5091a2b2-7b67-4dc5-b4a0-cbe271c9aa0c	Cornu apertus	(Born, 1778)	species	Animalia	Mollusca	Gastropoda	Stylommatophora	Helicidae	Cornu	Cornu	Cornu
https://biodiversity.org.au/afd/taxa/386cd451-e011-4224-82b5-935fe3a7bb80	Cornu aspersum	(MÄXler, 1774)	species	Animalia	Mollusca	Gastropoda	Stylommatophora	Helicidae	Cornu	Cornu	Cornu
https://biodiversity.org.au/afd/taxa/351e0f8-f560-43d6-b784-f393edb97df9	Cornu bennetti	(North, 1901)	species	Animalia	Chordata	Aves	Passeriformes	Corvidae	Cornu	Little Crow	Little Crow
https://biodiversity.org.au/afd/taxa/811768b-5460-4626-8400-e171464e08ad	Corvus coronoides	Vigors & Horsfield, 1827	species	Animalia	Chordata	Aves	Passeriformes	Corvidae	Corvus	Australian Raven	Australian Raven
https://biodiversity.org.au/afd/taxa/3f192e7c-5ecc-4696-9bc7-68211e69f473	Coryphistes rucicola	(Burmeister, 1838)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Coryphistes	Bark-mimicking Grasshopper	Bark-mimicking Grasshopper
https://biodiversity.org.au/afd/taxa/45a8bd0e-f56a-4af9-962a-d16eb33c308b	Coturnix (Coturnix) pectoralis	Gould, 1837	species	Animalia	Chordata	Aves	Galliformes	Phasianidae	Coturnix	Grey Quail	Grey Quail
https://biodiversity.org.au/afd/taxa/0f5df411-17dd-4719-91de-158f1a177b27	Cracticus nigrogularis	(Gould, 1837)	species	Animalia	Chordata	Aves	Passeriformes	Artamidae	Cracticus	Pied Butcherbird	Pied Butcherbird
https://biodiversity.org.au/afd/taxa/681ea214-3788-4cc6-b957-0b325d6bba6b	Cracticus torquatus	(Latham, 1801)	species	Animalia	Chordata	Aves	Passeriformes	Artamidae	Cracticus	Grey Butcherbird	Grey Butcherbird
https://biodiversity.org.au/afd/taxa/fee90eb32-3d7c-41d6-8bf6-3fdda1ad8b9b	Crinia georgiana	Tschudi, 1838	species	Animalia	Chordata	Amphibia	Anura	Myobatrachidae	Crinia	Tschudi's Froglet	Tschudi's Froglet
https://biodiversity.org.au/afd/taxa/5f46e9da-17dd-4e0c-add0-79c61b9f616a	Crinia glauerti	Loveridge, 1933	species	Animalia	Chordata	Amphibia	Anura	Myobatrachidae	Crinia	Glauert's Froglet	Glauert's Froglet
https://biodiversity.org.au/afd/taxa/0446dbe0-12c9-4a5e-a65b-b0b59c673089	Crinia insignifera	Moore, 1954	species	Animalia	Chordata	Amphibia	Anura	Myobatrachidae	Crinia	Sign-bearing Froglet	Sign-bearing Froglet
https://biodiversity.org.au/afd/taxa/c5958968-7dfb-4e0c-bba2-2b8cb20aa8f	Crocchemis nigrifrons	(Kirby, 1894)	species	Animalia	Arthropoda	Insecta	Odonata	Libellulidae	Crocchemis	Crocchemis	Crocchemis
https://biodiversity.org.au/afd/taxa/ecf5d0cc-855c-466b-8233-981041cde573	Crustulina bicrucata	Simon, 1908	species	Animalia	Arthropoda	Arachnida	Araneae	Theridiidae	Crustulina	Crustulina	Crustulina
https://biodiversity.org.au/afd/taxa/d7b2b28ef-9597-4048-9265-7c456b5ba90c	Crypsiphona ocutaria	(Donovan, 1805)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	Crypsiphona	Crypsiphona	Crypsiphona
https://biodiversity.org.au/afd/taxa/18544c24-739f-4323-aaa0-e41b9e558d9b	Cryptachaea veruculata	(Urquhart, 1886)	species	Animalia	Arthropoda	Arachnida	Araneae	Theridiidae	Cryptachaea	Cryptachaea	Cryptachaea
https://biodiversity.org.au/afd/taxa/1142a7e2-ff49-4b09-9e2b-50587ce05801	Cryptoblepharus buchananii	(Gray, 1838)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Cryptoblepharus	Buchanan's Snake-eyed Skink	Buchanan's Snake-eyed Skink
https://biodiversity.org.au/afd/taxa/e54f8c5-7236-4408-bc0c-64e2fa1f724b	Cryptocheilus australis	(Guä@rin-MÄ@neville, 1838)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Pompilidae	Cryptocheilus	Cryptocheilus	Cryptocheilus
https://biodiversity.org.au/afd/taxa/dcf49f98-e80a-4dd4-98f9-34f87aac6049	Cryptolaemus montrosieri	Mulsant, 1853	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Cryptolaemus	Cryptolaemus	Cryptolaemus
https://biodiversity.org.au/afd/taxa/432ba5d4-cf49-4577-4a78-691307e7d0fe	Cryptophlebia ombrodeta	(Lower, 1898)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Tortricidae	Cryptophlebia	Cryptophlebia	Cryptophlebia
https://biodiversity.org.au/afd/taxa/5dcbcb866-60f4-462a-a597-d3e46c28fa2e	Ctenochares bicolorus	(Linnaeus, 1767)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Ichneumonidae	Ctenochares	Ctenochares	Ctenochares
https://biodiversity.org.au/afd/taxa/71f334b1-42bb-4ea3-bcfd-3262ea069946	Ctenophorus adelaidensis	(Gray, 1841)	species	Animalia	Chordata	Reptilia	Squamata	Agamidae	Ctenophorus	Western Heath Dragon	Western Heath Dragon
https://biodiversity.org.au/afd/taxa/4fbc7b1-d763-484f-b5c3-f169b192cbb0	Ctenopus australis	(Gray, 1838)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Ctenopus	Western Limestone Ctenopus	Western Limestone Ctenopus
https://biodiversity.org.au/afd/taxa/3e61a01b-0ec9-4383-9540-b97bd073fc7a	Ctenopus inornatus	(Gray, 1845)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Ctenopus	Bar-shouldered Ctenopus	Bar-shouldered Ctenopus
https://biodiversity.org.au/afd/taxa/0a0a10d1-f096-42b5-8efd-f65f96a8915c	Cuspicona simplex	Walker, 1867	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Cuspicona	Green Potato Bug	Green Potato Bug
https://biodiversity.org.au/afd/taxa/f83c15ca-4ff5-4c37-be49-ce49a4310ca	Cygnus (Chenopsis) atratus	(Latham, 1790)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Cygnus	Black Swan	Black Swan
https://biodiversity.org.au/afd/taxa/4f1a9c5c-89a3-470c-bed4-aba21150b224	Cygnus olor	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Cygnus	Mute Swan	Mute Swan
https://biodiversity.org.au/afd/taxa/0ae8b67-5a7-4aaf-b0b3-90afca39b0cc	Cylindrotrachelia kochii	de Saussure, 1877	species	Animalia	Arthropoda	Insecta	Orthoptera	Cylindrotrachelidae	Cylindrotrachelia	Cylindrotrachelia	Cylindrotrachelia
https://biodiversity.org.au/afd/taxa/a5586a6c-0767-43a2-ba0e-0321962d8582	Cyphastrea seralla	(ForskäW, 1775)	species	Animalia	Cnidaria	Anthozoa	Scleractinia	Merulinidae	Cyphastrea	Cyphastrea	Cyphastrea
https://biodiversity.org.au/afd/taxa/16171fac-8d6c-4327-9fab-f2db86471bf	Cyprinus carpio	Linnaeus, 1758	species	Animalia	Chordata	Actinopterygii	Cypriniformes	Cyprinidae	Cyprinus	European Carp	European Carp
https://biodiversity.org.au/afd/taxa/1fc7c64d-4830-4129-9b86-1c7e944c3c50	Dacelo (Dacelo) novaeguineae	(Hermann, 1783)	species	Animalia	Chordata	Aves	Coraciiformes	Alcedinidae	Dacelo	Kookaburra	Kookaburra
https://biodiversity.org.au/afd/taxa/57fcb3c9-071b-4a1f-bb6c-2e607919b357	Danaus chryseus	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Danaus	Lesser Wanderer	Lesser Wanderer
https://biodiversity.org.au/afd/taxa/24d4c381-5c20-4580-b2ed-695f6e2622	Danaus plexippus	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Danaus	Wanderer	Wanderer

ATTACHMENT 13.5.4

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/8f2d44eb-50eb-438f-a145-5f12e356ff8	Dicaeum	(Dicaeum)	hirundinaceum (Shaw, 1792)	species	Animalia	Chordata	Aves	Passeriformes	Dicaeidae	Dicaeum	Mistletoebird
https://biodiversity.org.au/afd/taxa/8c01d140-5b21-4efc-ab92-a3e78c7bbca5	Diphucrania leucosticta	(Kirby, 1818)		species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Diphucrania	
https://biodiversity.org.au/afd/taxa/78cbe563-aca0-4f15-bb1f-90400540451d	Diphucrania macmillani	(Barker, 2001)		species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Diphucrania	
https://biodiversity.org.au/afd/taxa/c1f2ea28-9306-40b8-9fa0-d5c4f5c34ccc	Diphucrania parva	(Blackburn, 1887)		species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Diphucrania	
https://biodiversity.org.au/afd/taxa/0519208b-fe23-41e0-ab67-e1320ab89d30	Diphucrania stigmata	(Gory & Laporte, 1839)		species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Diphucrania	
https://biodiversity.org.au/afd/taxa/a064e0ce-9140-4ab1-a143-bacc1835e9ee	Diphucrania tyrrenna	(Carter, 1923)		species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Diphucrania	
https://biodiversity.org.au/afd/taxa/c5c8ad7b-da8b-4918-bb9d-b8973fb40ebf	Diphucrania viridipurpurea	(Carter, 1924)		species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Diphucrania	
https://biodiversity.org.au/afd/taxa/4c57f86d-edcd-44c3-b27f-4fa1d11b3516	Diplacodes bipunctata	(Brauer, 1865)		species	Animalia	Arthropoda	Insecta	Odonata	Libellulidae	Diplacodes	
https://biodiversity.org.au/afd/taxa/06230605-5972-4f6b-8377-d02138b29f3	Diplacodes haematodes	(Burmester, 1839)		species	Animalia	Arthropoda	Insecta	Odonata	Diplacodes		
https://biodiversity.org.au/afd/taxa/6a1f488c-2087-4e3c-a9c3-760a1c626ea	Diplodactylus polyophthalmus	GÄtner, 1867		species	Animalia	Chordata	Reptilia	Squamata	Diplodactylidae	Diplodactylus	Spotted Sandplain Gecko
https://biodiversity.org.au/afd/taxa/af16119a-111a-4e8b-ba84-512cd03be2c	Distoleon brigistatus	(Rambur, 1842)		species	Animalia	Arthropoda	Insecta	Neuroptera	Formicoleonidae	Distoleon	
https://biodiversity.org.au/afd/taxa/6fe0726a-fb7c-4816-829d-54c2b1a08845	Dolichoderus ypsilon	Förel, 1902		species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Dolichoderus	
https://biodiversity.org.au/afd/taxa/8e07995d-e488-4e25-80c9-d16a3248ef56	Donuca spectabilis	Walker, 1865		species	Animalia	Arthropoda	Insecta	Lepidoptera	Erebidae	Donuca	
https://biodiversity.org.au/afd/taxa/4084ab92-7a98-420a-a1da-fb55b970006d	Drymaplaneta semivittata	(Walker, 1868)		species	Animalia	Arthropoda	Insecta	Blattodea	Ectobiidae	Drymaplaneta	
https://biodiversity.org.au/afd/taxa/4fb80e54-ce0d-4d93-a646-b2a2dfccf1d	Earias huegeliana	Gaede, 1938		species	Animalia	Arthropoda	Insecta	Lepidoptera	Nolidae	Earias	
https://biodiversity.org.au/afd/taxa/ec418eef-eaed-4456-8da5-bc1062159509	Echiopsis curta	(Schlegel, 1837)		species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Echiopsis	Baridick
https://biodiversity.org.au/afd/taxa/b97f72f9-6728-4916-b96e-dfcbabe0461e1	Echthromorpha intricataria	(Fabricius, 1804)		species	Animalia	Arthropoda	Insecta	Hymenoptera	Ichneumonidae	Echthromorpha	
https://biodiversity.org.au/afd/taxa/e538f0ab-d0aa-468b-bcbc-26a7ac911110	Ecnoagriia aeneoviolacea	(Champion, 1895)		species	Animalia	Arthropoda	Insecta	Coleoptera	Tenebrionidae	Ecnoagriia	
https://biodiversity.org.au/afd/taxa/54448c99-8772-4726-a138-71cb1837ee5c	Egernia kingii	(Gray, 1838)		species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Egernia	
https://biodiversity.org.au/afd/taxa/05d7e54c-47b8-4157-b7ea-8f259672905	Egernia napoleonis	(Gray, 1838)		species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Egernia	South-western Crevice-skink
https://biodiversity.org.au/afd/taxa/37b96920-e8bf-499c-9967-b6f11e1dff51	Egretta garzetta	(Linnaeus, 1766)		species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Egretta	Lesser Egret
https://biodiversity.org.au/afd/taxa/8fd1977b-9edf-4ddf-b6cf-24a09bd4d18c	Egretta novaehollandiae	(Latham, 1790)		species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Egretta	
https://biodiversity.org.au/afd/taxa/c650dca9-69c3-4051-ace8-86444b0e972	Egretta sacra	(Gmelin, 1789)		species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Egretta	Black Heron
https://biodiversity.org.au/afd/taxa/e382a431-801d-4a24-9a5a-03a262be9279	Elaenus axillaris	(Latham, 1801)		species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Elaenus	Blue-shouldered Kite
https://biodiversity.org.au/afd/taxa/dbf8baee-c833-4457-8702-87e953248f4	Ellipsidion humerale	(Tepper, 1893)		species	Animalia	Arthropoda	Insecta	Blattodea	Ectobiidae	Ellipsidion	
https://biodiversity.org.au/afd/taxa/29cbe213-85a4-46b7-b373-4c503231f299	Eleyornis melanops	(Vieillot, 1818)		species	Animalia	Chordata	Aves	Charadriiformes	Charadriidae	Eleyornis	Black-fronted Dotterel
https://biodiversity.org.au/afd/taxa/52f672bc-6152-47cc-864e-5a17115771f9	Endoxyla cinereus	(Tepper, 1890)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Cossidae	Endoxyla	
https://biodiversity.org.au/afd/taxa/ea7087ca-2b95-4b8b-bbef-3090be7a9a96	Entometa fervens	(Walker, 1855)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Lasiocampidae	Entometa	
https://biodiversity.org.au/afd/taxa/9b4d54d8-8bb3-486a-ab0a-905506c463ea	Eolophus roseicapilla	(Vieillot, 1817)		species	Animalia	Chordata	Aves	Psiittaciformes	Cacatuidae	Eolophus	Galah
https://biodiversity.org.au/afd/taxa/c95a1018-43ab-43b8-8e14-037604db646e	Epthianura (Epthianura) albifrons	(Jardine & Selby, 1828)		species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Epthianura	White-fronted Chat
https://biodiversity.org.au/afd/taxa/036ad55a-8f6a-4673-a162-e04d6d008d18	Eriophora trancmaria	(Keyserling, 1865)		species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Eriophora	
https://biodiversity.org.au/afd/taxa/1ed45f0a-8a3a-4a7e-8eca-43a86fb1688c	Erythrogony cinctus	Gould, 1838		species	Animalia	Chordata	Aves	Charadriiformes	Charadriidae	Erythrogony	Red-kneed Dotterel
https://biodiversity.org.au/afd/taxa/59937df2-e9dc-43a1-b829-2087ca55293f	Ethmostigmus rubripes	(Brandt, 1840)		species	Animalia	Arthropoda	Insecta	Chilopoda	Scopelogromphala	Ethmostigmus	
https://biodiversity.org.au/afd/taxa/65987854-1f1a-4e18-b0b4-25a042b1339	Euphronarcha leptodesma	(Meyrick, 1892)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	Euphronarcha	
https://biodiversity.org.au/afd/taxa/854374fc-be37-402f-8bd1-114b78d2c5	Euryattus bleekeri	(Doleschall, 1859)		species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Euryattus	
https://biodiversity.org.au/afd/taxa/e1702f13-8a42-4d55-8307-4ee07c1a3f0c	Euzosteria femoralis	(Walker, 1868)		species	Animalia	Arthropoda	Insecta	Blattodea	Blattidae	Euzosteria	
https://biodiversity.org.au/afd/taxa/898987bd-4d42-4784-9a8d-7756e36ae55c	Exarna includens	Walker, 1870		species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Exarna	Australian Hobby
https://biodiversity.org.au/afd/taxa/70a2d957-3aea-43e3-b675-980c1960979d	Falco (Falco) longipennis	Swainson, 1838		species	Animalia	Chordata	Aves	Falconiformes	Falconidae	Falco	Duck Hawk
https://biodiversity.org.au/afd/taxa/083b413f-8746-4788-8dc1-3da495d78a79	Falco (Hierofalco) peregrinus	Tunstall, 1771		species	Animalia	Chordata	Aves	Falconiformes	Falconidae	Falco	Chicken Hawk
https://biodiversity.org.au/afd/taxa/0628244e-287b-4001-946e-5a41ef056f41	Falco (Ieracidae) berigora	Vigors & Horsfield, 1827		species	Animalia	Chordata	Aves	Falconiformes	Falconidae	Falco	Wala
https://biodiversity.org.au/afd/taxa/8f6b91ae-4019-490c-a133-73acb05d25e8	Falco (Tinnunculus) cenchroides	Vigors & Horsfield, 1827		species	Animalia	Chordata	Aves	Falconiformes	Falconidae	Falco	Crested Shrike-tit
https://biodiversity.org.au/afd/taxa/88ab4486-1ae6-4179-b62e-163fc33fd95f	Falcunculus frontatus	(Latham, 1801)		species	Animalia	Chordata	Aves	Passeriformes	Falcunculidae	Falcunculus	
https://biodiversity.org.au/afd/taxa/dc2918a1-3448-4628-b156-cf38c14c6c97	Faveria tritilis	(Walker, 1863)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Pyrilidae	Faveria	
https://biodiversity.org.au/afd/taxa/7d66b16a-1854-4b4b-88cf-81868ce74a08	Felis catus	Linnaeus, 1758		species	Animalia	Chordata	Mammalia	Carnivora	Felidae	Felis	Cat
https://biodiversity.org.au/afd/taxa/b053b720-0a11-4a49-9d1e-2a6154c65858	Fulica atra	Linnaeus, 1758		species	Animalia	Chordata	Aves	Grufiformes	Rallidae	Fulica	Eurasian Coot
https://biodiversity.org.au/afd/taxa/b5e44fea-a0a2-412b-a1f7-476b3c1e8d03	Gallinula (Gallinula) tenebrosa	Gould, 1846		species	Animalia	Chordata	Aves	Grufiformes	Rallidae	Gallinula	Dusky Moorhen
NZOR-6-24112	Gallirallus philippensis	Linnaeus		species	Animalia	Chordata	Aves	Grufiformes	Rallidae	Gallirallus	
ALA_DR654_5_1	Gallirallus philippensis			species	Animalia	Chordata	Aves	Grufiformes	Rallidae	Gallirallus	
https://biodiversity.org.au/afd/taxa/e96c4568-a10f-4ea9-a741-a551b1f22bc1	Gambusia holbrooki	Girard, 1859		species	Animalia	Chordata	Actinopterygii	Cyprinodontiformes	Poeciliidae	Gambusia	Top Minnow
https://biodiversity.org.au/afd/taxa/0f7d9921-1e32-4204-a7ae-ec15e8043a32	Gastrimargus musicus	(Fabricius, 1775)		species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Gastrimargus	Yellow-winged Locust
https://biodiversity.org.au/afd/taxa/7ef23364-cb69-4935-84da-98752b8f835e	Gastrinodes argoplaca	(Meyrick, 1892)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	Gastrinodes	
https://biodiversity.org.au/afd/taxa/6ccdb357-d666-4097-b0f6-88bb1a392112	Gavialis virescens	(Vieillot, 1817)		species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Gavialis	Singing Honeyeater
https://biodiversity.org.au/afd/taxa/80d876b2-0b7c-48cb-9273-2f0207cf3654d	Geitoneura klugii	(GuÄ©rvin-MÄ©nville, 1830)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Geitoneura	Klug's Xenica
https://biodiversity.org.au/afd/taxa/c875d96f-82a1-459b-ac49-35057cfa0e70	Geitoneura minyas	(Waterhouse & Lyell, 1914)		species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Geitoneura	Western Xenica
https://biodiversity.org.au/afd/taxa/72b23d0a-7050-413f-9100-3562383888e	Gelochelidon nilotica	(Gmelin, 1789)		species	Animalia	Chordata	Aves	Charadriiformes	Laridae	Gelochelidon	Gull-billed Tern
https://biodiversity.org.au/afd/taxa/14833a25-6e9b-4651-bb3f-2163de7e1252	Geopelia cuneata	(Latham, 1801)		species	Animalia	Chordata	Aves	Columbiformes	Columbidae	Geopelia	Diamond Dove
https://biodiversity.org.au/afd/taxa/75e80438-cf3e-403e-9223-947437161	Gerygone fuscata	(Gould, 1838)		species	Animalia	Chordata	Aves	Passeriformes	Acantthidae	Gerygone	Fuscous Warbler
https://biodiversity.org.au/afd/taxa/140b779e-ba1c-4310-af3c-7c80c9bb0a29	Glenbalodectes amaroo	Rentz, 1985		species	Animalia	Arthropoda	Insecta	Orthoptera	Tettigoniidae	Glenbalodectes	
https://biodiversity.org.au/afd/taxa/f0a6a2c3-ada4-c57-9cae-17956131ecf0	Gliciphila melanops	(Latham, 1801)		species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Gliciphila	Tawny-crowned Honeyeater

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/aecd711c-3d66-42a5-b574-8f20b974fc1a	Halobaena caerulea	<i>Halobaena</i>	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Procellariiformes	Procellariidae	Halobaena	Blue Petrel
https://biodiversity.org.au/afd/taxa/7de2660b-e39a-4c85-9512-bec185f2fc	Harmonia conformis	<i>Harmonia</i>	(Boidieu, 1835)	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Harmonia	
https://biodiversity.org.au/afd/taxa/cf991494-ccce-433d-b049-2fa0996a0a3b	Heleioporus eyrei	<i>Heleioporus</i>	(Gray, 1845)	species	Animalia	Chordata	Amphibia	Anura	Nymphodynastidae	Heleioporus	Moaning Frog
https://biodiversity.org.au/afd/taxa/643c69f3-d060-4f65-a48a-e8d4866a6a60b	Helicoverpa armigera	<i>Helicoverpa</i>	(H&A)bner, 1808)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Noctuidae	Helicoverpa	
https://biodiversity.org.au/afd/taxa/146f01aa-333f-4744-a8a2-f90a8e9c6050	Helulia hydralis	<i>Helulia</i>	Guenée, 1854	species	Animalia	Arthropoda	Insecta	Lepidoptera	Crambidae	Helulia	
https://biodiversity.org.au/afd/taxa/1e5668f8-6a29-4400-88f-ca514ce65ebf	Helpis occidentalis	<i>Helpis</i>	Simon, 1909	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Helpis	
https://biodiversity.org.au/afd/taxa/dc82b1ff-960b-4fcb-a782-2cbb54d47a70	Hemicordulia australiae	<i>Hemicordulia</i>	(Rambur, 1842)	species	Animalia	Arthropoda	Insecta	Odonata	Corduliidae	Hemicordulia	
https://biodiversity.org.au/afd/taxa/b089f6072-46a2-4c1f-a417-fd45ee4d5c3f	Hemicordulia tau	<i>Hemicordulia</i>	(Selys, 1871)	species	Animalia	Arthropoda	Insecta	Odonata	Corduliidae	Hemicordulia	
https://biodiversity.org.au/afd/taxa/61a869f0-313f-4d13-a592-4e506da737fe	Hemidactylus frenatus	<i>Hemidactylus</i>	(Duméril & Bibron, 1836)	species	Animalia	Chordata	Aves	Reptilia	Gekkonidae	Hemidactylus	House Gecko
https://biodiversity.org.au/afd/taxa/630adcf1f-a781-4aed-9785-ac57078f606	Hemiergis quadrifasciata	<i>Hemiergis</i>	(Duméril & Bibron, 1839)	species	Animalia	Chordata	Aves	Reptilia	Scincidae	Hemiergis	Two-toed Earless Skink
https://biodiversity.org.au/afd/taxa/8426dc76-c05f-4f13-8749-463821b74928	Hermetia illucens	<i>Hermetia</i>	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Diptera	Stratiomyidae	Hermetia	
https://biodiversity.org.au/afd/taxa/6390170-118f-4b12-8330-63d61ca6e53	Herpetogramma licarsalis	<i>Herpetogramma</i>	(Walker, 1859)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Crambidae	Herpetogramma	
https://biodiversity.org.au/afd/taxa/ef4e46eb-c17e-49e9-9516-a2b7a708e51	Heteroceris similis	<i>Heteroceris</i>	Charpentier, 1968	species	Animalia	Arthropoda	Insecta	Coleoptera	Heteroceridae	Heteroceris	
https://biodiversity.org.au/afd/taxa/8af934d1-3d47-4d4a-aac6-0d7ed64745b7	Heteronympa merope	<i>Heteronympa</i>	(Fabricius, 1775)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Heteronympa	Common Brown
https://biodiversity.org.au/afd/taxa/e948fd99-7550-4d1b-866a-7566e6c61f96	Heteroscenes pallidus	<i>Heteroscenes</i>	(Latham, 1801)	species	Animalia	Chordata	Aves	Cuculiformes	Cuculidae	Heteroscenes	Pallid Cuckoo
https://biodiversity.org.au/afd/taxa/4bed54f3-9d5a-4c64-aede-195eb191b30a	Heterotermes occidius	<i>Heterotermes</i>	(Hill, 1927)	species	Animalia	Arthropoda	Insecta	Blattodea	Rhinotermitidae	Heterotermes	
https://biodiversity.org.au/afd/taxa/b47a4ecd-416b-458c-886a-1dc3490e8175	Hieraetus (Hieraetus) morphnoides	<i>Hieraetus</i>	(Gould, 1841)	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Hieraetus	Little Eagle
https://biodiversity.org.au/afd/taxa/ae8f359-0981-4618-86a8-e64fb63b7adc	Himantopus himantopus	<i>Himantopus</i>	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Charadriiformes	Recurvirostridae	Himantopus	Pied Stilt
https://biodiversity.org.au/afd/taxa/f44f30a7-f6ed-4479-bb61-98f932701328	Hippodamia variegata	<i>Hippodamia</i>	(Goeze, 1777)	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Hippodamia	
https://biodiversity.org.au/afd/taxa/d9061bb7-6e32-4e47-bb5c-ebd6f1919e0d	Hippotion celerio	<i>Hippotion</i>	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Sphingidae	Hippotion	
https://biodiversity.org.au/afd/taxa/118c7306f-4131-b067-6a5e2a615f1d7	Hirundo (Hirundo) neovena	<i>Hirundo</i>	(Gould, 1843)	species	Animalia	Chordata	Aves	Passeriformes	Hirundinidae	Hirundo	Welcome Swallow
https://biodiversity.org.au/afd/taxa/1611ee09-cd3e-41ef-a40b-77a28692e6c1	Hogna crispipes	<i>Hogna</i>	(L. Koch, 1877)	species	Animalia	Arthropoda	Arachnida	Araneae	Lycosidae	Hogna	
https://biodiversity.org.au/afd/taxa/611c83128-fc72-426f-95e0-15b870528c22	Homalictus (Homalictus) dotatus	<i>Homalictus</i>	(Cockereel, 1912)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Halictidae	Homalictus	
https://biodiversity.org.au/afd/taxa/9baa55f2-69c1-486c-91f7-9f6e58b7c945	Hydromys chrysogaster	<i>Hydromys</i>	Geffroy, 1804	species	Animalia	Chordata	Mammalia	Rodentia	Muridae	Hydromys	Rakali
https://biodiversity.org.au/afd/taxa/da1e1bf2-3684-4eea-b579-1d83507c020d	Hydroprogne caspia	<i>Hydroprogne</i>	(Pallas, 1770)	species	Animalia	Chordata	Aves	Charadriiformes	Laridae	Hydroprogne	Caspian Tern
https://biodiversity.org.au/afd/taxa/7685fe2-1975-4417-b16a-91f991c9bee0	Hylaeus (Euprosopis) violaceus	<i>Hylaeus</i>	(Smith, 1853)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Colletidae	Hylaeus	
https://biodiversity.org.au/afd/taxa/13884e3b-e8bc-4e0f-b96f-89b608b7e998	Hylaeus (Euprosopis) ruficeps	<i>Hylaeus</i>	(Smith, 1853)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Colletidae	Hylaeus	
https://biodiversity.org.au/afd/taxa/ae509348-06f3-46a2-b661-4094a62bf646	Hylaeus (Macrohylaeus) alcyoneus	<i>Hylaeus</i>	(Erichson, 1842)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Colletidae	Hylaeus	
https://biodiversity.org.au/afd/taxa/aedf5e17-8a70-4b16-9cac-c3150e698b99	Hyppoblemum griseum	<i>Hyppoblemum</i>	(Keyserling, 1882)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Hyppoblemum	
https://biodiversity.org.au/afd/taxa/17f426a5-514d-4598-9b10-660366eb3c45	Hyppoblemum scutulum	<i>Hyppoblemum</i>	(L. Koch, 1881)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Hyppoblemum	
https://biodiversity.org.au/afd/taxa/f0d2deda-1c2a-44ab-b81e-b469e4e15eac	Hypochryps halyaetus	<i>Hypochryps</i>	Hewitson, 1874	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lycenidae	Hypochryps	Western Jewel
https://biodiversity.org.au/afd/taxa/c8fba3e6-d5f4-4dcf-ade6-03c04d15fb1b	Ichneumon promissorius	<i>Ichneumon</i>	(Erichson, 1842)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Ichneumonidae	Ichneumon	
https://biodiversity.org.au/afd/taxa/3965cbe-1b54-44b2-a8de-2039b227ba1	ideaa inversata	<i>ideaa</i>	(Guenée, 1857)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	ideaa	
https://biodiversity.org.au/afd/taxa/259086cf-3dba-4f1c-989c-356eb82a056d	Idiodes idicrossa	<i>Idiodes</i>	(Turner, 1947)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	Idiodes	
https://biodiversity.org.au/afd/taxa/9299c505-e20-46ad-80b1-f0ca0f5f5416	Idiosoma sigillatum	<i>Idiosoma</i>	(O.P.-Cambridge, 1870)	species	Animalia	Arthropoda	Araneae	Idiopidae	Idiosoma		
https://biodiversity.org.au/afd/taxa/78108a65-509d-4ab5-aac9-74f238d89ca	Iridonyssus formicans	<i>Iridonyssus</i>	Raven, 2015	species	Animalia	Arthropoda	Arachnida	Araneae	Corinnidae	Iridonyssus	Swan Coastal Plain Shield-backed Trapdoor Spider
https://biodiversity.org.au/afd/taxa/ebaa0277f-f618-41b7-b5f6-1e4041ae1d5c	Ischnura aurora	<i>Ischnura</i>	(Brauer, 1865)	species	Animalia	Arthropoda	Insecta	Odonata	Coenagrionidae	Ischnura	
https://biodiversity.org.au/afd/taxa/dce3deb9-41ec-4566-b67e-9a1bf5579362	Ischnura heterosticta	<i>Ischnura</i>	(Burmeister, 1839)	species	Animalia	Arthropoda	Insecta	Odonata	Coenagrionidae	Ischnura	
https://biodiversity.org.au/afd/taxa/7ab4afa0-70ec-4868-4483-b695-51fa1a373e1c	Isodon fusciventris	<i>Isodon</i>	(J.E. Gray, 1841)	species	Animalia	Chordata	Mammalia	Peramelemorphia	Peramelidae	Isodon	Quenda
https://biodiversity.org.au/afd/taxa/0fbb8f1e-ec6d-4b65-a663-7387c91c8bbf	Isodon obesulus	<i>Isodon</i>	(Shaw, 1797)	species	Animalia	Chordata	Mammalia	Peramelemorphia	Peramelidae	Isodon	Southern Brown Bandicoot
https://biodiversity.org.au/afd/taxa/26043664-342d-4e7d-b2a3-f26003586d04	Isopeda leishmanni	<i>Isopeda</i>	Hogg, 1903	species	Animalia	Arthropoda	Arachnida	Araneae	Sparridae	Isopeda	
https://biodiversity.org.au/afd/taxa/f350402-4500-445a-8642-352b148b375d	Isopedella crussata	<i>Isopedella</i>	(Simon, 1908)	species	Animalia	Arthropoda	Arachnida	Araneae	Sparridae	Isopedella	
https://biodiversity.org.au/afd/taxa/20938676-d287-43d7-a887-a15fb3f9f6bb	Isoxychus dubius	<i>Isoxychus</i>	Mathews, 1912	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Isoxychus	Minute Bittern
https://biodiversity.org.au/afd/taxa/c27a2d2d-1c9f-4f62-8d0a-3097f30a2552	Junonia villeda	<i>Junonia</i>	(Fabricius, 1787)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Junonia	Meadow Argus
https://biodiversity.org.au/afd/taxa/bf842470-6c86-4483-b695-51fa1a373e1c	Kalotermes aemulus	<i>Kalotermes</i>	Sewell & Gray, 1978	species	Animalia	Arthropoda	Insecta	Blattodea	Kalotermitidae	Kalotermes	
https://biodiversity.org.au/afd/taxa/3cf02a11-d525-4d6c-a8ef-8d82162a7cee	Kalotermes hilli	<i>Kalotermes</i>	Emerson in Snyder, 1949	species	Animalia	Arthropoda	Insecta	Blattodea	Kalotermitidae	Kalotermes	
https://biodiversity.org.au/afd/taxa/92358f59-80ae-482f-8979-5679b23e92cc	Lalage (Lalage) tricolor	<i>Lalage</i>	(Swainson, 1825)	species	Animalia	Chordata	Aves	Passeriformes	Campephagidae	Lalage	Australian White-winged Triller
https://biodiversity.org.au/afd/taxa/fa583a97-e6a2-44f7-9e5e-9b65e126589c	Lampides boeticus	<i>Lampides</i>	(Linnaeus, 1767)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lycenidae	Lampides	Pea Blue
https://biodiversity.org.au/afd/taxa/0c9c95cd-9442-49f4-bad4-8ff8f6cd0033	Lampona murina	<i>Lampona</i>	L. Koch, 1873	species	Animalia	Arthropoda	Arachnida	Araneae	Lampionidae	Lampona	
https://biodiversity.org.au/afd/taxa/0cbb688f-7d9c-4d2b-9956-844e71d1cd80	Lampropholis delicata	<i>Lampropholis</i>	(De Vis, 1888)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Lampropholis	Dark-flecked Garden Sunskink
https://biodiversity.org.au/afd/taxa/68f71798-b3ab-47f5-856e-0ae4c8dcb478	Lampropholis guichenoti	<i>Lampropholis</i>	(Duméril & Bibron, 1839)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Lampropholis	Pale-flecked Garden Sunskink
https://biodiversity.org.au/afd/taxa/6666bf89-d447-4595-ac09-2019e23bb4d2	Lantanophaga pusillidactylus	<i>Lantanophaga</i>	(Walker, 1864)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Pterophoridae	Lantanophaga	Lantana Plume Moth
https://biodiversity.org.au/afd/taxa/4cb195f6-b127-44cb-ad85-ae2224e9a996	Lathamus discolor	<i>Lathamus</i>	(Shaw, 1790)	species	Animalia	Chordata	Aves	Psittaciformes	Psittacidae	Lathamus	Swift Parrot
https://biodiversity.org.au/afd/taxa/c7d9db8c-8d69-4182-858a-907182f95e9b	Latrodectus hasseltii	<i>Latrodectus</i>	(Therell, 1920)	species	Animalia	Arthropoda	Arachnida	Araneae	Erebidae	Latrodectus	Jockey Spider
https://biodiversity.org.au/afd/taxa/78c6c76-bf1f-4317-a8e5-fba2249955b	Leptocneryx reducta	<i>Leptocneryx</i>	(Walker, 1855)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lectoceridae	Leptocneryx	
https://biodiversity.org.au/afd/taxa/4b0423aa-60a-4707-8d48-9c66e48941bf	Lerista elegans	<i>Lerista</i>	(Gray, 1845)	species							

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/d0e897bb-e6f5-4654-a511-1c30e9f5cd35	Litoria ewingii	Litoria	(DumÄrill & Bibron, 1841)	species	Animalia	Chordata	Amphibia	Anura	Hyliidae	Litoria	Ewing's Tree Frog
https://biodiversity.org.au/afd/taxa/2f87aff4-450a-41a7-afe3-5f14232366f8	Litoria moorei	Litoria	(Copland, 1957)	species	Animalia	Chordata	Amphibia	Anura	Hyliidae	Litoria	Motorbike Frog
https://biodiversity.org.au/afd/taxa/715a2874-1942-4762-866c-1194990e7a91	Lophocinctia isura	Lophocinctia	(Gould, 1838)	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Lophocinctia	Square-tailed Kite
https://biodiversity.org.au/afd/taxa/4f8d196e-6b81-44cb-beeb-64cd15c2ae19	Lychas marmorose	Lychas	(C. Koch, 1845)	species	Animalia	Arthropoda	Arachnida	Scorpiones	Buthidae	Lychas	Lychas
https://biodiversity.org.au/afd/taxa/c927f294-dc00-4574-89bc-68a486f85854	Macronectes giganteus	Macronectes	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Procellariiformes	Procellariidae	Macronectes	Southern Giant-petrel
https://biodiversity.org.au/afd/taxa/74042ec9-f9f3-46f4-9cb1-701e0188c921	Macropus fuliginosus	Macropus	(Desmarest, 1817)	species	Animalia	Chordata	Mammalia	Diprotodontia	Macropodidae	Macropus	Western Grey Kangaroo
https://biodiversity.org.au/afd/taxa/c4f41076-0399-4eef-aa13-d7e29112f25f	Macrotrona picta	Macrotrona	(SjÄstedt, 1920)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Macrotrona	Macrotrona
https://biodiversity.org.au/afd/taxa/dc27b757-21bc-4e0b-becb-4e2849070215	Malacornynchus membranaceus	Malacornynchus	(Latham, 1801)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Malacornynchus	Pink-eared Duck
https://biodiversity.org.au/afd/taxa/5c9d12e2-598b-4384-ac51-83842a262aa	Malurus (Leggeornis) assimilis	Malurus	(North, 1901)	species	Animalia	Chordata	Aves	Passeriformes	Maluridae	Malurus	Malurus
https://biodiversity.org.au/afd/taxa/73c6d4f8-6ae8-4978-9d9c-a229e5629d51	Malurus (Leggeornis) lamberti	Malurus	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Passeriformes	Maluridae	Malurus	Variiegated Fairy-wren
https://biodiversity.org.au/afd/taxa/702a989c-9e87-40d5-9694-4e6b94dc6521e	Malurus (Malurus) splendens	Malurus	(Quoy & Gaimard, 1830)	species	Animalia	Chordata	Aves	Passeriformes	Maluridae	Malurus	Splendid Fairy-wren
https://biodiversity.org.au/afd/taxa/411cde6a-9c0f-4b64-b59c-53822470a4da	Malurus (Musciparus) leucopterus	Malurus	(Dumont, 1824)	species	Animalia	Chordata	Aves	Passeriformes	Maluridae	Malurus	White-winged Fairy-wren
https://biodiversity.org.au/afd/taxa/5cd0591a-0a98-48c6-8a4b-f925d43521cd	Manorina (Myzantha) flavigula	Manorina	(Gould, 1840)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Manorina	Yellow-throated Miner
https://biodiversity.org.au/afd/taxa/95779f73-97b6-4d28-b9c0-3ed3ef627b39	Maratus chrysomelas	Maratus	(Simon, 1909)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Maratus	Maratus
https://biodiversity.org.au/afd/taxa/08f00850-a369-4ecf-bf74-0212ef725382	Maratus dupleatus	Maratus	(Otto & Hill, 2014)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Maratus	Maratus
https://biodiversity.org.au/afd/taxa/1f701f08-4aed-4edf-a45e-1d18a659182f	Maratus pavonis	Maratus	(Dunn, 1947)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Maratus	Maratus
https://biodiversity.org.au/afd/taxa/1bb11b35-1f72-4202-960a-1fc29e5c36f6	Maratus spicatus	Maratus	(Otto & Hill, 2012)	species	Animalia	Arthropoda	Arachnida	Araneae	Salticidae	Maratus	Maratus
https://biodiversity.org.au/afd/taxa/4710a4262-4733-4db6-959a-1e9660dc7581	Mauropteron pelago	Mauropteron	(Walker, 1849)	species	Animalia	Arthropoda	Insecta	Diptera	Asilidae	Mauropteron	Mauropteron
https://biodiversity.org.au/afd/taxa/4baf5ae8-c3d5-443f-8103-7d32270ea7ff	Megachile (Hackeriapis) tosticauda	Megachile	(Cockerell, 1912)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Megachilidae	Megachile	Megachile
https://biodiversity.org.au/afd/taxa/f4bad98b-a1fe-449c-95c9-5975972fa430	Megachile aurifrons	Megachile	(Smith, 1853)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Megachilidae	Megachile	Megachile
https://biodiversity.org.au/afd/taxa/0925387e-5964-4117-9edd-8fe6f31b2141	Megachile rugosa	Megachile	(Smith, 1879)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Megachilidae	Megachile	Megachile
https://biodiversity.org.au/afd/taxa/45744c53-2e2a-4ae0-99d0-fe2d0e588a5c	Melanerhythrus mactans	Melanerhythrus	(StÄrk, 1866)	species	Animalia	Arthropoda	Insecta	Hemiptera	Lygaeidae	Melanerhythrus	Melanerhythrus
https://biodiversity.org.au/afd/taxa/6230c553-e927-42a7-bd6e-22f0e9c9d961	Melangyna (Austrosyrphus) viridiceps	Melangyna	(Macquart, 1847)	species	Animalia	Arthropoda	Insecta	Diptera	Syrphidae	Melangyna	Melangyna
https://biodiversity.org.au/afd/taxa/bdccc0acc-980a-4f51-b8c0-85447ce99b6a	Melithreptus (Eidoparus) brevisrostris	Melithreptus	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Melithreptus	Brown-headed Honeyeater
https://biodiversity.org.au/afd/taxa/95efb4b0-67a8-4093-8bda-d55b2fa83b6e	Melithreptus (Melithreptus) lunatus	Melithreptus	(Vieillot, 1802)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Melithreptus	White-naped Honeyeater
https://biodiversity.org.au/afd/taxa/39f1bdc8-d8bb-4629-95f1-c2dd34e53d4c	Melobasis costifera	Melobasis	(Thomson, 1879)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/26271d50-30a1-457f-8f5f-f987231964bd	Melobasis gloriosa	Melobasis	(Laporte & Gory, 1837)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/c68ab307-0dae-4be2-9ecc-666ab2f85fd	Melobasis lathamii	Melobasis	(Laporte & Gory, 1837)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/4f8b5ff2-d37e-43a0-a12d-90cea2e26efb	Melobasis melanura	Melobasis	(Kerremans, 1898)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/15ac1f99-0fec-48d0-8f0c-361627400ce3	Melobasis retipilosa	Melobasis	(Levey, 2012)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/0a1b22e4-2ae9-4034-b180-d609099de0f8	Melobasis superba	Melobasis	(Laporte & Gory, 1837)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/09bc9844-172f-4981-8721-cd95fed98e09	Melobasis wannera	Melobasis	(Carter, 1936)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Melobasis	Melobasis
https://biodiversity.org.au/afd/taxa/adase2b7-1b23-410d-a3cf-1a81853a7de8	Menesia gryllii	Menesia	(Gray, 1845)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Menesia	Common Dwarf Skink
https://biodiversity.org.au/afd/taxa/9f9ddea7-8c74-46df-8e79-3234f681e354	Merops (Merops) ornatus	Merops	(Latham, 1801)	species	Animalia	Chordata	Aves	Coraciiformes	Meropidae	Merops	Rainbow Bee-eater
https://biodiversity.org.au/afd/taxa/5f8f066-4b41-48be-a021-aa3df3ad2ad5	Mesodina cyanoptera	Mesodina	(Lower, 1911)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Hesperidae	Mesodina	Blue Iris-skipper
https://biodiversity.org.au/afd/taxa/873ac2c48-45fa-4f86-af6a-94f6c82786c7	Metallesthes metallicens	Metallesthes	(White, 1859)	species	Animalia	Arthropoda	Insecta	Coleoptera	Sarabaeidae	Metallesthes	Metallesthes
https://biodiversity.org.au/afd/taxa/0b7c528a-4104-4a96-853e-05a37c327067	Microcarbo melanoleucos	Microcarbo	(Vieillot, 1817)	species	Animalia	Chordata	Aves	Pelecaniformes	Phalacrocoracidae	Microcarbo	Little Cormorant
https://biodiversity.org.au/afd/taxa/5be359c8-dfff-4709-935e-d9c764cdda0	Micromus tasmaniæ	Micromus	(Walker, 1860)	species	Animalia	Arthropoda	Insecta	Neuroptera	Hemiridae	Micromus	Hemiridae
https://biodiversity.org.au/afd/taxa/de272308-7a7b-46cf-bcfd-1bc245862c9b	Mictis profana	Mictis	(Fabricius, 1803)	species	Animalia	Arthropoda	Insecta	Hemiptera	Coreidae	Mictis	Crusader Bug
https://biodiversity.org.au/afd/taxa/46b7236e-c411-4148-847b-31e64f5c789	Milvus migrans	Milvus	(Boddaert, 1783)	species	Animalia	Chordata	Aves	Accipitriformes	Accipitridae	Milvus	Black Kite
https://biodiversity.org.au/afd/taxa/cd8e8a3c-5de0-4140-aadc-2f0b48806e33	Moloch horridus	Moloch	(Gray, 1841)	species	Animalia	Chordata	Reptilia	Squamata	Agamidae	Moloch	Thorny Devil
https://biodiversity.org.au/afd/taxa/7a39c977-3c87-4d6d-842f-9844d0c9cc47	Monopis meliorella	Monopis	(Walker, 1863)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Tineidae	Monopis	Monopis
https://biodiversity.org.au/afd/taxa/e57c5e45-a109-49ff-9539-2b3d7583ce01	Morethia obscura	Morethia	(Stor, 1972)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Morethia	Shrubland Morethia Skink
https://biodiversity.org.au/afd/taxa/984b07f3-3089-4e55-b49a-4285eda21b1d	Motacilla (Budytes) ischutschensis	Motacilla	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Passeriformes	Motacillidae	Motacilla	Eastern Yellow Wagtail
https://biodiversity.org.au/afd/taxa/47dcacf1-588b-40bf-ad99-790019adb433	Motacilla (Motacilla) alba	Motacilla	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Passeriformes	Motacillidae	Motacilla	White Wagtail
https://biodiversity.org.au/afd/taxa/107696b5-063c-4c09-a015-6eedf6b64d52	Mus musculus	Mus	(Linnaeus, 1758)	species	Animalia	Chordata	Mammalia	Rodentia	Muridae	Mus	House Mouse
https://biodiversity.org.au/afd/taxa/28663829-709e-4dc3-99c1-7ce68ba4c18b	Musgraveia sulventris	Musgraveia	(StÄrk, 1863)	species	Animalia	Arthropoda	Insecta	Hemiptera	Tessaratomidae	Musgraveia	Bronze Orange Bug
https://biodiversity.org.au/afd/taxa/493463d2-e953-410a-806b-b9a27f3d29af	Myandra cambridgei	Myandra	(Simon, 1887)	species	Animalia	Arthropoda	Arachnida	Araneae	Prodidomidae	Myandra	Myandra
https://biodiversity.org.au/afd/taxa/53a524b5-6952-4063-8916-bdfba2c8119c	Myobatrachus gouldii	Myobatrachus	(Gray, 1841)	species	Animalia	Chordata	Amphibia	Anura	Myobatrachidae	Myobatrachus	Turtle Frog
https://biodiversity.org.au/afd/taxa/2cd037cd-2ba7-44bd-b038-84d3b009f2eb	Myrmecia swalei	Myrmecia	(Crawley, 1922)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Myrmecia	Myrmecia
https://biodiversity.org.au/afd/taxa/5f189fad-a439-4ac6-aads-cf40af0b570	Myrmecia urens	Myrmecia	(Lowe, 1865)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Myrmecia	Myrmecia
https://biodiversity.org.au/afd/taxa/dc38b13f-aca3-4e90-9420-607582807260	Nacaduba biocellata	Nacaduba	(C. & R. Felder, 1865)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lycanidae	Nacaduba	Two-spotted Line-blue
https://biodiversity.org.au/afd/taxa/6388c877-2bde-4fd9-8fb0-067ae33e79b	Naoeia rhoealis	Naoeia	(Walker, 1859)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Crambidae	Naoeia	Naoeia
https://biodiversity.org.au/afd/taxa/fb69e0c6-9d99-4c8b-aee8-3f342207b1ad	Nannophya occidentalis	Nannophya	(Tillyard, 1908)	species	Animalia	Arthropoda	Insecta	Odonata	Libellulidae	Nannophya	Nannophya
https://biodiversity.org.au/afd/taxa/fb1eb1bb-9fd6-4ef7-b2a3-2874072c7b07	Neelaps bimaculatus	Neelaps	(DumÄrill, Bibron & DumÄrill, 1854)	species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Neelaps	Black-naped Snake
https://biodiversity.org.au/afd/taxa/ef82ba0e-0d48-447e-963d-40517d3b25f9	Neelaps calonotus	Neelaps	(DumÄrill, Bibron & DumÄrill, 1854)	species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Neelaps	Black-striped Burrowing Snake

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/5f129bca-f021-468f-9f96-9ae956015e01	Numenius (Numenius) madagascariensis	(Linnaeus, 1766)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopacidae	Numenius		Far Eastern Curlew
https://biodiversity.org.au/afd/taxa/dec8e88f-7120-4f30-b2af-c75d09b066c	Nycticorax caldonicus	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Ciconiiformes	Ardeidae	Nycticorax		Crane
https://biodiversity.org.au/afd/taxa/7b31b043-a8c7-4e48-9681-dcea0569d8db	Nyssus coloripes	Walckenaer, 1805	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Nyssus		
https://biodiversity.org.au/afd/taxa/a7b00ef0-108f-44d9-bf89-a062c8674335	Ocyphaps lophotes	(Temminck, 1822)	species	Animalia	Chordata	Aves	Columbiformes	Columbidae	Ocyphaps		Crested Pigeon
https://biodiversity.org.au/afd/taxa/889675fb-39f7-4eb5-82d7-ea43ea29aed3	Oecetis pechana	Moseley, 1953	species	Animalia	Arthropoda	Insecta	Trichoptera	Leptoceridae	Oecetis		
https://biodiversity.org.au/afd/taxa/d8af29b8-05d6-451a-ac51-ba27f3aa07b7	Oecobius navus	Blackwall, 1859	species	Animalia	Arthropoda	Arachnida	Araneae	Oecobiidae	Oecobius		
https://biodiversity.org.au/afd/taxa/a3e148b8-2a20-4d4b-8467-ac7d27f615d9	Oenochroma vinaria	Guenée, 1857	species	Animalia	Arthropoda	Insecta	Lepidoptera	Geometridae	Oenochroma		
https://biodiversity.org.au/afd/taxa/6e61b4ab-a84f-42e7-ad78-d2f84cd2d3bb	Ommatolius moreletii	(Lucas, 1860)	species	Animalia	Arthropoda	Diplopoda	Julida	Julidae	Ommatolius		
https://biodiversity.org.au/afd/taxa/baafadcd4-417a-4445-96e2-525039306e1	Onthophagus flavoapicalis	Lea, 1923	species	Animalia	Arthropoda	Insecta	Coleoptera	Coleoptera	Onthophagus		
https://biodiversity.org.au/afd/taxa/7a054f56-4679-4ca7-e123-1cc7a5bdf336	Onthophagus haagi	Harold, 1867	species	Animalia	Arthropoda	Insecta	Coleoptera	Scarabaeidae	Onthophagus		
https://biodiversity.org.au/afd/taxa/4d0af7f5-3488-4b72-e15e-d817eaf5d597	Ophiura tirhaca	(Cramer, 1777)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Erebidae	Ophiura		
https://biodiversity.org.au/afd/taxa/744ae7f0-50cd-4e5f-8397-e5034a681267	Opisthoncus nigrofemoratus	(L. Koch, 1867)	species	Animalia	Arthropoda	Arachnida	Araneae	Opisthoncus	Opisthoncus		
https://biodiversity.org.au/afd/taxa/0cf60945-3377-4d01-b379-1913bf3a9e3e	Oopaea framenaui	Baehr & Harvey, 2013	species	Animalia	Arthropoda	Arachnida	Araneae	Oonopidae	Oopaea		
https://biodiversity.org.au/afd/taxa/3426a025-fc39-4433-be23-eb7f034dd4d3d	Oopaea gracillima	Baehr & Harvey, 2013	species	Animalia	Arthropoda	Arachnida	Araneae	Oonopidae	Oopaea		
https://biodiversity.org.au/afd/taxa/86025a5e-4aed-4d45-9a15-98521d3c6407	Oopaea rixi	Baehr & Harvey, 2013	species	Animalia	Arthropoda	Arachnida	Araneae	Oonopidae	Oopaea		
https://biodiversity.org.au/afd/taxa/4ec888e7-9368-4163-9d00-bf14eed98f3e	Orcus australasiae	(Boisduval, 1835)	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Orcus		
https://biodiversity.org.au/afd/taxa/4e27115f-dc9d-4c32-bd07-131b9abb64300	Oreocia gutturalis	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Passeriformes	Oreocidae	Oreocia		Crested Bellbird
https://biodiversity.org.au/afd/taxa/ba72b1cb-a2f8-431c-b75c-b15494851978	Orthetrum caledonicum	(Brauer, 1865)	species	Animalia	Arthropoda	Insecta	Odonata	Libellulidae	Orthetrum		
https://biodiversity.org.au/afd/taxa/4fd73026-423d-4a0f-a9c5-cb821391917f	Orthodera ministralis	(Fabricius, 1775)	species	Animalia	Arthropoda	Insecta	Mantodea	Mantidae	Orthodera		Green Mantid
https://biodiversity.org.au/afd/taxa/f93a76aa-784e-4539-bc0d-2a5b016a5293	Oxyopes aeneus	(L. Koch, 1878)	species	Animalia	Arthropoda	Arachnida	Araneae	Oxyopidae	Oxyopes		Blue-billed Duck
https://biodiversity.org.au/afd/taxa/32f9229c-89e9-4dbe-991b-d4b1c20fe97	Oxyura australis	Gould, 1837	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Oxyura		Rufous Whistler
https://biodiversity.org.au/afd/taxa/378bbcd1-f52a-4907-9f71-0541054374da	Pachycephala (Asterornis) rufiventris	(Latham, 1801)	species	Animalia	Chordata	Aves	Passeriformes	Pachycephalidae	Pachycephala		Golden Whistler
https://biodiversity.org.au/afd/taxa/30edbd1a-6367-4d84-87f1-3566ecc54d6	Pachycephala (Pachycephala) pectoralis	(Latham, 1801)	species	Animalia	Chordata	Aves	Passeriformes	Pachycephalidae	Pachycephala		
https://biodiversity.org.au/afd/taxa/477786c2-49d7-416f-b629-ac556f0af0c0	Pachyptila desolata	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Procellariiformes	Procellariidae	Pachyptila		Antarctic Prion
https://biodiversity.org.au/afd/taxa/de179f89-9593-4f0a-bdcd-43945e9e01c9	Pachysaga australis	(Walker, 1869)	species	Animalia	Arthropoda	Insecta	Orthoptera	Orthoptera	Pachysaga		
https://biodiversity.org.au/afd/taxa/9c7f7e85-2c45-4f6a-bb2e-2a0919debaf	Palaeomonetes australis	Dakin, 1915	species	Animalia	Arthropoda	Malacostraca	Decapoda	Palaeomonidae	Palaeomonetes		
https://biodiversity.org.au/afd/taxa/23a8017a-3a2b-4a52-8ca6-d168bf25269c	Pandion haliaetus	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Accipitriformes	Pandionidae	Pandion		Osprey
https://biodiversity.org.au/afd/taxa/4d8105-75fc-45f9-a467-47d092e76b33	Paragia oligomera	Snelling, 1986	species	Animalia	Arthropoda	Insecta	Hymenoptera	Vespidae	Paragia		
https://biodiversity.org.au/afd/taxa/b5e7d306-d457-4617-872b-37019f4db5e4	Paragonastrea australensis	(Mirene Edwards, 1857)	species	Animalia	Cnidaria	Anthozoa	Scleractinia	Murulinidae	Paragonastrea		Stony Coral
https://biodiversity.org.au/afd/taxa/b3103245-2da1-4cc5-9524-491534666bbf	Pardalotus (Pardalotus) striatus	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Passeriformes	Pardalotidae	Pardalotus		Striated Pardalote
https://biodiversity.org.au/afd/taxa/52546f03-6306-44b2-9233-4f51a78f825f	Pardalotus punctatus	(Shaw, 1792)	species	Animalia	Chordata	Aves	Passeriformes	Pardalotidae	Pardalotus		Spotted Pardalote
https://biodiversity.org.au/afd/taxa/32399f03-09f1-4f11-4710-f61613ff56a	Parvipitta porphyrocephala	(Dietrichson, 1837)	species	Animalia	Chordata	Aves	Pittaciiformes	Pittaciidae	Parvipitta		Purple-crowned Lorikeet
https://biodiversity.org.au/afd/taxa/23702789-60b3-4098-9c8b-20180782514d	Passer (Passer) domesticus	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Passeriformes	Passeridae	Passer		House Sparrow
https://biodiversity.org.au/afd/taxa/52f3c1c6-8e4f-4ade-b0f7-17890169efb2	Pavo cristatus	Linnaeus, 1758	species	Animalia	Chordata	Aves	Galiformes	Phasianidae	Pavo		Peafowl
https://biodiversity.org.au/afd/taxa/2d85e882-a04d-4087-a909-206abf4c55a	Peakesia brunnea	(White, 1841)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Peakesia		
https://biodiversity.org.au/afd/taxa/43abe3ea-7ccc-41cc-920f-d9cfa10207e	Pelecanus conspicillatus	Temminck, 1824	species	Animalia	Chordata	Aves	Pelecaniformes	Pelecanidae	Pelecanus		Australian Pelican
https://biodiversity.org.au/afd/taxa/79984cb9-958f-4b5b-a89d-b264af10a1fa	Periplaneta americana	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Blattodea	Blattidae	Periplaneta		American Cockroach
https://biodiversity.org.au/afd/taxa/7d38fed-12ce-4aa3-b51a-67f89b109ded	Petrochelidon (Hylchelidon) nigrigans	(Vieillot, 1817)	species	Animalia	Chordata	Aves	Passeriformes	Hirundinidae	Petrochelidon		Trey Martin
https://biodiversity.org.au/afd/taxa/f29f01e6-0bfe-4621-b068-42dac6c578dc	Petrochelidon (Petrochelidon) ariel	(Gould, 1842)	species	Animalia	Chordata	Aves	Passeriformes	Hirundinidae	Petrochelidon		Fairy Martin
https://biodiversity.org.au/afd/taxa/a3e5376b-f96e-4bdf-adae-1e7add9f5c29	Petroica (Petroica) boodang	(Lesson, 1838)	species	Animalia	Chordata	Aves	Passeriformes	Petroicidae	Petroica		Scarlet Robin
https://biodiversity.org.au/afd/taxa/10dbd908-00f3-4ec2-9a9c-a2f04782ea1f	Petroica (Petroica) goodenovii	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Passeriformes	Petroicidae	Petroica		Red-capped Robin
https://biodiversity.org.au/afd/taxa/29472c00-22e3-42c3-b562-107bd28d1bdc	Phalacrocorax (Phalacrocorax) carbo	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Pelecaniformes	Phalacrocoracidae	Phalacrocorax		Great Cormorant
https://biodiversity.org.au/afd/taxa/c96b19fd-2a54-4361-a5cf-baef741310e	Phalacrocorax (Phalacrocorax) sulcirostris	(Brandt, 1837)	species	Animalia	Chordata	Aves	Pelecaniformes	Phalacrocoracidae	Phalacrocorax		Little Black Cormorant
https://biodiversity.org.au/afd/taxa/55994a9e-8ba7-4ff9-89a2-e22586ab25d1	Phalacrocorax (Phalacrocorax) varius	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Pelecaniformes	Phalacrocoracidae	Phalacrocorax		Black-and-white Shag
https://biodiversity.org.au/afd/taxa/7da6fd6f-c180-4e68-b9e7-70d026f8448	Phaps (Phaps) coloptera	(Latham, 1790)	species	Animalia	Chordata	Aves	Columbiformes	Columbidae	Phaps		Common Bronzewing
https://biodiversity.org.au/afd/taxa/32ec77e9-568d-4b0f-a380-5dcfb2e9b5a	Phaulacridium crassum	Key, 1992	species	Animalia	Arthropoda	Insecta	Orthoptera	Orthoptera	Phaulacridium		Wingless Grasshopper
https://biodiversity.org.au/afd/taxa/8899ed59-044b-4ae8-a741-0c29bedb7975	Phaulacridium vittatum	(Sjöstedt, 1920)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Phaulacridium		
https://biodiversity.org.au/afd/taxa/195e891a-84e5-44e3-86bc-5e783b2ba250	Pheidole megacephala	(Fabricius, 1793)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Pheidole		
https://biodiversity.org.au/afd/taxa/0c748595-64ab-44a0-9dae-98a9152228d6	Pholcus phalangoides	(Fuesslin, 1775)	species	Animalia	Arthropoda	Arachnida	Araneae	Pholcidae	Pholcus		
https://biodiversity.org.au/afd/taxa/0b7db155-ac36-4263-b113-95f6fbc19c8	Phonognatha graeffei	(Keyserling, 1865)	species	Animalia	Arthropoda	Arachnida	Araneae	Araneidae	Phonognatha		
https://biodiversity.org.au/afd/taxa/bf610eb5-3521-4788-87ee-a5315ed0986a	Phoracantha semipunctata	(Fabricius, 1775)	species	Animalia	Arthropoda	Insecta	Coleoptera	Cerambycidae	Phoracantha		
https://biodiversity.org.au/afd/taxa/4ae971936-cf15-4877-1113-b5bd5f07d28a	Phrissogonus latcostatus	(Walker, 1862)	species	Animalia	Arthropoda	Arachnida	Lepidoptera	Geometridae	Phrissogonus		
https://biodiversity.org.au/afd/taxa/4437613f-3906-418f-90ba-57c0d5c6c3bd	Phryganoporus nigrinus	Simon, 1908	species	Animalia	Arthropoda	Arachnida	Araneae	Desidae	Phryganoporus		
https://biodiversity.org.au/afd/taxa/f10828ff-66ea-40bd-9999-9f1a6bb8acc1e	Phylidonyris (Meliornis) niger	(Bechstein, 1811)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Phylidonyris		White-cheeked Honeyeater
https://biodiversity.org.au/afd/taxa/da002998-b551-4328-ac4e-5e04fc72708b	Phylidonyris (Meliornis) novaehollandiae	(Latham, 1790)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Phylidonyris		New Holland Honeyeater
https://biodiversity.org.au/afd/taxa/934ecab5-798d-45b9-bade-16b3380d08a0	Pieris rapae	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Pieridae	Pieris		Cabbage White Butterfly
https://biodiversity.org.au/afd/taxa/24c21411-d78c-415d-a848-f0abb83b615a	Platalea (Platalea) regia	Gould, 1838	species	Animalia	Chordata	Aves	Ciconiiformes	Threskiornithidae	Platalea		Yellow-legged Spoonbill
https://biodiversity.org.au/afd/taxa/3dd39f84-1293-4c04-ac87-2474f5c887b0	Platalea (Platibius) flavipes	Gould, 1838									

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/ac48e985-2adb-4c1e-bce9-39906cf6761d	Podalonia tydei	<i>Podalonia tydei</i>	(Le Gullou, 1841)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Sphécidae	Podalonia	
https://biodiversity.org.au/afd/taxa/8bec5c6-ac31-4d23-9df3-856034968a9	Podargus strigoides	<i>Podargus strigoides</i>	(Latham, 1801)	species	Animalia	Chordata	Aves	Caprimulgiformes	Podargidae	Podargus	Tawny Frogmouth
https://biodiversity.org.au/afd/taxa/91f0535a-f513-417d-9826-8294ae640785	Poediceps cristatus	<i>Poediceps cristatus</i>	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Podicipediformes	Podicipedidae	Poediceps	Crested Grebe
https://biodiversity.org.au/afd/taxa/b373ab3c-2a15-4644-b975-142fedcd815	Poecilometis apicalis	<i>Poecilometis apicalis</i>	(Westwood, 1837)	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Poecilometis	Poecilometis
https://biodiversity.org.au/afd/taxa/8d657c07-f523-4139-bb3e-781a72fda714	Poecilometis punctiventris	<i>Poecilometis punctiventris</i>	(Stål, 1876)	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Poecilometis	Poecilometis
https://biodiversity.org.au/afd/taxa/c7a9314a-100e-4138-b7de-7c6b86248be4	Poecilotoma grandicornis	<i>Poecilotoma grandicornis</i>	(Erichson, 1842)	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Poecilotoma	Poecilotoma
https://biodiversity.org.au/afd/taxa/7777e8e8-250f-4b8e-9e25-b5944a2ea023	Pogona minor	<i>Pogona minor</i>	(Sternfeld, 1919)	species	Animalia	Chordata	Reptilia	Squamata	Agamidae	Pogona	Dwarf Bearded Dragon
https://biodiversity.org.au/afd/taxa/947595db-244f-4160-b30d-0473b37d857b	Poliocephalus poliocephalus	<i>Poliocephalus poliocephalus</i>	(Jardine & Selby, 1827)	species	Animalia	Chordata	Aves	Podicipediformes	Podicipedidae	Poliocephalus	Poliocephalus
https://biodiversity.org.au/afd/taxa/c27d813a-9e26-45c5-9396-687d3668a2c37	Polistes (Polistella) humilis	<i>Polistes (Polistella) humilis</i>	(Fabricius, 1781)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Vespididae	Polistes	Common Paper Wasp
https://biodiversity.org.au/afd/taxa/3113aa393-7059-4099-4417-45f1099e1836	Polistes (Polistella) stigma	<i>Polistes (Polistella) stigma</i>	(Fabricius, 1793)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Vespididae	Polistes	Polistes
https://biodiversity.org.au/afd/taxa/7fcd9d58-823e-4095-8ca3-512ef2b934eb	Polistes (Polistes) dominulus	<i>Polistes (Polistes) dominulus</i>	(Christ, 1791)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Vespididae	Polistes	Polistes
https://biodiversity.org.au/afd/taxa/fc20df8d-bf9b-461b-b4cd-0f33b2309529	Pollanilus empyrea	<i>Pollanilus empyrea</i>	(Meyrick, 1888)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Zygaenidae	Pollanilus	Pollanilus
https://biodiversity.org.au/afd/taxa/4f1b0bfe-3afa-42bf-91ac-5cd85d3e4341	Polytelis antiopeus	<i>Polytelis antiopeus</i>	(Lear, 1831)	species	Animalia	Chordata	Aves	Psittaciformes	Psittacidae	Polytelis	Regent Parrot
https://biodiversity.org.au/afd/taxa/061fe09-7c9d-4b6d-9827-44a13a350d6c	Poodytes gramineus	<i>Poodytes gramineus</i>	(Gould, 1845)	species	Animalia	Chordata	Aves	Passeriformes	Locustellidae	Poodytes	Little Grassbird
https://biodiversity.org.au/afd/taxa/48cbf375-2e37-41df-80aa-57ac030a9068	Porcellio laevis	<i>Porcellio laevis</i>	Latreille, 1804	species	Animalia	Arthropoda	Malacostraca	Isopoda	Porcellonidae	Porcellio	Porcellio
https://biodiversity.org.au/afd/taxa/415be6a5-41c0-4b49-ba7f-e4d693bd01a5	Porcellio scaber	<i>Porcellio scaber</i>	Latreille, 1804	species	Animalia	Arthropoda	Malacostraca	Isopoda	Porcellonidae	Porcellio	Porcellio
https://biodiversity.org.au/afd/taxa/4eae23a-9e11-42aa-ae9f-cd9a07450fc	Porcellionides pruinosis	<i>Porcellionides pruinosis</i>	(Brandt, 1833)	species	Animalia	Arthropoda	Malacostraca	Isopoda	Porcellionidae	Porcellionides	Porcellionides
https://biodiversity.org.au/afd/taxa/3d8e8a1f-e562-42ba-a165-565c0704f8f2	Porphyrio (Porphyrio) porphyrio	<i>Porphyrio (Porphyrio) porphyrio</i>	(Linnaeus, 1758)	species	Animalia	Chordata	Aves	Gruiformes	Rallidae	Porphyrio	Purple Gallinule
https://biodiversity.org.au/afd/taxa/b7013071-0a6a-4fd7-a084-0b0d3f473828	Porzana (Porzana) fluminea	<i>Porzana (Porzana) fluminea</i>	Gould, 1843	species	Animalia	Chordata	Aves	Gruiformes	Rallidae	Porzana	Spotted Crane
https://biodiversity.org.au/afd/taxa/50448703-93a6-4537-8ff7-719099b715be	Porzana (Porzana) pusilla	<i>Porzana (Porzana) pusilla</i>	(Pallas, 1776)	species	Animalia	Chordata	Aves	Gruiformes	Rallidae	Porzana	Marsh Crane
https://biodiversity.org.au/afd/taxa/7e7884e-14e2-49e9-8953-dabc1543ce46	Porzana (Porzana) tabuensis	<i>Porzana (Porzana) tabuensis</i>	(Gmelin, 1789)	species	Animalia	Chordata	Aves	Gruiformes	Rallidae	Porzana	Little Swampphen
https://biodiversity.org.au/afd/taxa/59b6e8d-455e-4e8e-81ca-fd9a28ae5f39	Proscopium affinis	<i>Proscopium affinis</i>	(Selys, 1871)	species	Animalia	Arthropoda	Insecta	Odonata	Scollidae	Proscopium	Proscopium
https://biodiversity.org.au/afd/taxa/88d7b43-1117-4961-af49-d8d89fd2510	Proscopionimia consobrina	<i>Proscopionimia consobrina</i>	(Rehn, 1952)	species	Animalia	Arthropoda	Insecta	Orthoptera	Morabidae	Proscopionimia	Proscopionimia
https://biodiversity.org.au/afd/taxa/a9faef7e-2ce7-470b-b411-8a8f0c5114ad	Proteuxa coeleoptera	<i>Proteuxa coeleoptera</i>	(Lower, 1915)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Noctuidae	Proteuxa	Proteuxa
https://biodiversity.org.au/afd/taxa/76e5cf1-622b-452b-b556-904da60dae2	Pseudapines geminata	<i>Pseudapines geminata</i>	(Van Duzee, 1905)	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Pseudapines	Pittosporum Bug
https://biodiversity.org.au/afd/taxa/4dc303b1-0371-4c8b-b431-c2e149141926	Pseudonaja affinis	<i>Pseudonaja affinis</i>	GÄAnther, 1872	species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Pseudonaja	Dugite
https://biodiversity.org.au/afd/taxa/92ff2fa-6250-446f-a911-39261da0ad92	Pseudonaja mengdeni	<i>Pseudonaja mengdeni</i>	Wells & Wellington, 1985	species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Pseudonaja	Gwardar
https://biodiversity.org.au/afd/taxa/12f65e0d-3880-4d46-9114-3ad170982193	Pseudosuccinea columella	<i>Pseudosuccinea columella</i>	(Say, 1817)	species	Animalia	Mollusca	Gastropoda	Mollusca	Limnaeidae	Pseudosuccinea	Freshwater Snail
https://biodiversity.org.au/afd/taxa/5a264c77-47d1-43ca-ae1f-233f59b175aa	Ptilotula ornata	<i>Ptilotula ornata</i>	(Gould, 1838)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Ptilotula	Yellow-plumed Honeyeater
https://biodiversity.org.au/afd/taxa/d4aa188c-adc2-4bb8-92e9-d8f4ee0b2847	Ptilotula penicillata	<i>Ptilotula penicillata</i>	(Gould, 1837)	species	Animalia	Chordata	Aves	Passeriformes	Meliphagidae	Ptilotula	White-plumed Honeyeater
https://biodiversity.org.au/afd/taxa/66f82bb4-ae71-4543-a99e-35452536c4c8	Purpureicephalus spurius	<i>Purpureicephalus spurius</i>	(Kuhl, 1820)	species	Animalia	Chordata	Aves	Psittaciformes	Psittacidae	Purpureicephalus	Red-capped Parrot
https://biodiversity.org.au/afd/taxa/3c9ab0de-2da3-49d9-9979-651b2b4deba3	Pyralis farinalis	<i>Pyralis farinalis</i>	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Pyralidae	Pyralis	Pyralis
https://biodiversity.org.au/afd/taxa/18c9babe1-84df-4e83-bd7f-68e0918a0c0c	Radumeris tasmaniensis	<i>Radumeris tasmaniensis</i>	(Saunders, 1854)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Scollidae	Radumeris	Radumeris
https://biodiversity.org.au/afd/taxa/82d4f74e-1449-4efc-af3f-3f9e957a6a2	Ranatra dispar	<i>Ranatra dispar</i>	Montandon, 1903	species	Animalia	Arthropoda	Insecta	Hemiptera	Nepidae	Ranatra	Needle Bug
https://biodiversity.org.au/afd/taxa/178a17f-2135-48e8-856b-39f546f02092	Rattus rattus	<i>Rattus rattus</i>	(Linnaeus, 1758)	species	Animalia	Chordata	Mammalia	Rodentia	Muridae	Rattus	Black Rat
https://biodiversity.org.au/afd/taxa/c69e7308-527a-429d-a80d-143bd20b5100	Recurvirostra novaehollandiae	<i>Recurvirostra novaehollandiae</i>	Viellot, 1816	species	Animalia	Chordata	Aves	Charadriiformes	Recurvirostridae	Recurvirostra	Australian Red-necked Avocet
https://biodiversity.org.au/afd/taxa/97a59c84-af21-4cdc-bac7-a97c5201db42	Rhipidura (Rhipidura) albicarpa	<i>Rhipidura (Rhipidura) albicarpa</i>	Gould, 1840	species	Animalia	Chordata	Aves	Passeriformes	Rhipiduridae	Rhipidura	Grey Fantail
https://biodiversity.org.au/afd/taxa/48bd256d-536d-4c8a-96eb-950f17e80184	Rhipidura (Rhipidura) fuliginosa	<i>Rhipidura (Rhipidura) fuliginosa</i>	(Sparman, 1787)	species	Animalia	Chordata	Aves	Passeriformes	Rhipiduridae	Rhipidura	New Zealand Fantail
https://biodiversity.org.au/afd/taxa/1c4dce12-16f6-49ab-b578-0673551214fd	Rhipidura (Sauloprocta) leucophrys	<i>Rhipidura (Sauloprocta) leucophrys</i>	(Latham, 1801)	species	Animalia	Chordata	Aves	Passeriformes	Rhipiduridae	Rhipidura	Willie Wagtail
https://biodiversity.org.au/afd/taxa/81aa2878-5e8c-45b1-9517-834a03e477ea	Rhytidoponera metallica	<i>Rhytidoponera metallica</i>	(Smith, 1858)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Rhytidoponera	Rhytidoponera
https://biodiversity.org.au/afd/taxa/01d752cb-ba3f-492c-8543-748ad216ed61	Rhytidoponera violacea	<i>Rhytidoponera violacea</i>	(Forel, 1907)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Formicidae	Rhytidoponera	Rhytidoponera
https://biodiversity.org.au/afd/taxa/753e5df4-6258-49c2-b36f-237872f3ab23	Rodolia cardinalis	<i>Rodolia cardinalis</i>	(Mulsant, 1850)	species	Animalia	Arthropoda	Insecta	Coleoptera	Coccinellidae	Rodolia	Rodolia
https://biodiversity.org.au/afd/taxa/b5452e9c-0ff1-4b7e-9457-d60b934711c	Schuettes woodwardi	<i>Schuettes woodwardi</i>	(Waite, 1905)	species	Animalia	Chordata	Aves	Actinopterygii	Monacotylidae	Schuettes	Western Pomfret
https://biodiversity.org.au/afd/taxa/09b8eebb-f0ae-4113-9149-9e5f42be411da	Sciocroceps trivervis	<i>Sciocroceps trivervis</i>	(Meyrick, 1904)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Oecophoridae	Sciocroceps	Sciocroceps
https://biodiversity.org.au/afd/taxa/6863ec45-938b-42d5-b3a3-9f5c8d9ff791	Scolecobrotus westwoodi	<i>Scolecobrotus westwoodi</i>	Hope, 1833	species	Animalia	Arthropoda	Insecta	Coleoptera	Cerambycidae	Scolecobrotus	Scolecobrotus
https://biodiversity.org.au/afd/taxa/031b2b69-e9fc-44c6-9df9-03c1470d5ec3	Sericornis (Sericornis) frontalis	<i>Sericornis (Sericornis) frontalis</i>	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Passeriformes	Ceranthiidae	Sericornis	White-fronted Scrubwren
https://biodiversity.org.au/afd/taxa/07f61731-6c7a-440f-a01f-0c8956d31222	Sidemella trapezia	<i>Sidemella trapezia</i>	(L. Koch, 1874)	species	Animalia	Arthropoda	Arachnida	Araneae	Thomisidae	Sidemella	Sidemella
https://biodiversity.org.au/afd/taxa/c74464f4-57fd-4386-90fe-c68e1d629729	Simoselaps bertholdi	<i>Simoselaps bertholdi</i>	(Jan, 1859)	species	Animalia	Chordata	Reptilia	Squamata	Elapidae	Simoselaps	Jan's Banded Snake
https://biodiversity.org.au/afd/taxa/09e007e5-22c5-44ff-9654-4bc4f1fcd4b4	Simosyrphus grandicornis	<i>Simosyrphus grandicornis</i>	(Macquart, 1842)	species	Animalia	Arthropoda	Insecta	Diptera	Syrphidae	Simosyrphus	Simosyrphus
https://biodiversity.org.au/afd/taxa/f933497e-60d2-4f80-bc5e-08d8b1349c2c	Smicronis brevirostris	<i>Smicronis brevirostris</i>	(Gould, 1838)	species	Animalia	Chordata	Aves	Passeriformes	Acanthizidae	Smicronis	Brown Weebill
https://biodiversity.org.au/afd/taxa/838021bb-2474-40ac-8ef1-8e0386c192b6	Solaenodolichopus pruvoti	<i>Solaenodolichopus pruvoti</i>	(Bromelmann, 1931)	species	Animalia	Arthropoda	Diplopoda	Polydesmida	Paradoxosomatidae	Solaenodolichopus	Solaenodolichopus
https://biodiversity.org.au/afd/taxa/61a1d653-101	Spatula rhynchotis	<i>Spatula rhynchotis</i>	(Latham, 1801)	species	Animalia	Chordata	Aves	Anseriformes	Anatidae	Spatula	Australasian Shoveler
https://biodiversity.org.au/afd/taxa/b200510f-3cf7-4a51-a22e-ed0b58d9bd15	Spectrotrota fimbriata	<i>Spectrotrota fimbriata</i>	Warren, 1891	species	Animalia	Arthropoda	Insecta	Lepidoptera	Pyralidae	Spectrotrota	Spectrotrota
https://biodiversity.org.au/afd/taxa/6d1aeef1-b551-4b14-9136-7b66c7078aa2	Sphenarches anisodactylus	<i>Sphenarches anisodactylus</i>	(Walker, 1864)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Pterophoridae	Sphenarches	Sphenarches

Species	Species Name	Scientific Name	Authorship	Taxon Rank	Kingdom	Phylum	Class	Order	Family	Genus	Vernacular Name
https://biodiversity.org.au/afd/taxa/7d6f99af-ab80-493b-a008-b75514f74022	Sylvicola dubius	Sylvicola dubius	(Macquart, 1850)	species	Animalia	Arthropoda	Insecta	Diptera	Anisopodidae	Sylvicola	
https://biodiversity.org.au/afd/taxa/48000c09-76aa-46a0-b42e-88f3cfe60a04	Sympetes orbicularis	Sympetes orbicularis	(Br&Me, 1842)	species	Animalia	Arthropoda	Insecta	Coleoptera	Coleoptera	Sympetes	
https://biodiversity.org.au/afd/taxa/45d0631c-9cf2-4eb3-9b15-473e1e41cbad	Synechocera elongata	Synechocera elongata	Thomson, 1877	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Synechocera	
https://biodiversity.org.au/afd/taxa/fb531b39-fd0b-4afb-9115-5e4f49e1c7f7	Synemon gratiosa	Synemon gratiosa	Westwood, 1879	species	Animalia	Arthropoda	Insecta	Lepidoptera	Cassiniidae	Synemon	Graceful Sunmoth
https://biodiversity.org.au/afd/taxa/c89c6fab-4dda-48fd-bbf3-78df61441ecb	Synothele michaelseni	Synothele michaelseni	Simon, 1908	species	Animalia	Arthropoda	Arachnida	Araneae	Barychelidae	Synothele	
https://biodiversity.org.au/afd/taxa/cb748125-0c06-4649-8e08-e379e81e53c1	Tachybaptus novaeahollandiae	Tachybaptus novaeahollandiae	(Stephens, 1826)	species	Animalia	Chordata	Aves	Podicipediformes	Podicipedidae	Tachybaptus	Australian Little Grebe
https://biodiversity.org.au/afd/taxa/0d4c9d0c-51d3-44e0-a365-f6e08b791c66	Tachyglossus aculeatus	Tachyglossus aculeatus	(Shaw, 1792)	species	Animalia	Chordata	Mammalia	Monotremata	Tachyglossidae	Tachyglossus	
https://biodiversity.org.au/afd/taxa/8931bcfb-95ea-44b1-9e09-ce036191e15c	Tadorna (Casarca) tadornoides	Tadorna (Casarca) tadornoides	(Jardine & Selby, 1828)	species	Animalia	Chordata	Aves	Anseriformes	Anseriformes	Tadorna	
https://biodiversity.org.au/afd/taxa/4ed296cd-960e-4a76-b416-38472e900332	Tamopsis fickertii	Tamopsis fickertii	(L. Koch, 1876)	species	Animalia	Arthropoda	Arachnida	Araneae	Hersiliidae	Tamopsis	
https://biodiversity.org.au/afd/taxa/6f3c42a3-4f98-4806-808b-66b76712c08	Taractroera papyria	Taractroera papyria	(Bodisval, 1832)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lepidoptera	Taractroera	White-banded Grass-dart
https://biodiversity.org.au/afd/taxa/511a318a-5f5e-4092-84d5-d3f3a519b97	Temognatha mitchelli	Temognatha mitchelli	(Hope, 1846)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Temognatha	
https://biodiversity.org.au/afd/taxa/8d51a063-e8a6-4904-9503-2e5af9d4339c	Temognatha rectipennis	Temognatha rectipennis	(Blackburn, 1891)	species	Animalia	Arthropoda	Insecta	Coleoptera	Buprestidae	Temognatha	
https://biodiversity.org.au/afd/taxa/4a65a812-f89a-4bbc-9ba7-31435457f81	Tetragnatha demissa	Tetragnatha demissa	L. Koch, 1872	species	Animalia	Arthropoda	Arachnida	Araneae	Tetragnathidae	Tetragnatha	
https://biodiversity.org.au/afd/taxa/1441c509-faf3-405e-a534-c51cccc4d720	Thalasseus bergii	Thalasseus bergii	(Lichtenstein, 1823)	species	Animalia	Chordata	Aves	Charadriiformes	Laridae	Thalasseus	Crested Tern
https://biodiversity.org.au/afd/taxa/69ab664-0e8f-499a-a934-9b350c5732bd	Tharpyna campestrata	Tharpyna campestrata	L. Koch, 1874	species	Animalia	Arthropoda	Arachnida	Araneae	Thomisidae	Tharpyna	
https://biodiversity.org.au/afd/taxa/52673304-993c-4feb-b3c1-75e3c539a112	Theba pisana	Theba pisana	(M&Viller, 1774)	species	Animalia	Mollusca	Gastropoda	Stylomatophora	Helicidae	Theba	White Italian Snail
https://biodiversity.org.au/afd/taxa/282bae67-d9e9-45bf-a045-fc37517fe3ea	Theclinesathes miskini	Theclinesathes miskini	(P. P. Lucas, 1889)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lycenidae	Theclinesathes	Wattle Blue
https://biodiversity.org.au/afd/taxa/f0c43e9d-d571-4c0c-981a-c09792d7263a	Theclinesathes serpentatus	Theclinesathes serpentatus	(Herrich-Sch&Affer, 1869)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Lycenidae	Theclinesathes	Salt-bush Blue
https://biodiversity.org.au/afd/taxa/400cf534-a7c8-4c12-bf89-70778f7bee25	Theridion pyramidale	Theridion pyramidale	L. Koch, 1867	species	Animalia	Arthropoda	Arachnida	Araneae	Lyceridae	Theridion	
https://biodiversity.org.au/afd/taxa/29c2dab4-8895-4e17-a181-af63988991ae	Theseus modestus	Theseus modestus	(St&X, 1865)	species	Animalia	Arthropoda	Insecta	Hemiptera	Pentatomidae	Theseus	
https://biodiversity.org.au/afd/taxa/31ee1129-3a8d-45eb-b6ef-0e72e16d0764	Thomisus spectabilis	Thomisus spectabilis	(Doleschall, 1859)	species	Animalia	Arthropoda	Arachnida	Araneae	Thomisidae	Thomisus	
https://biodiversity.org.au/afd/taxa/5f5d9dd8-e6ea-431b-9e0b-3e992b12f664	Threskiornis mollucoccus	Threskiornis mollucoccus	(Cuvier, 1829)	species	Animalia	Chordata	Aves	Ciconiiformes	Ciconiiformes	Threskiornis	Black-necked Ibis
https://biodiversity.org.au/afd/taxa/c319dbaf-a363-4853-b323-75f14c47c6d2	Threskiornis spinicollis	Threskiornis spinicollis	(Jameson, 1835)	species	Animalia	Chordata	Aves	Ciconiiformes	Ciconiiformes	Threskiornis	Letter Bird
https://biodiversity.org.au/afd/taxa/f0934710-5f08-4685-a348-ed5f8056118	Thudaca haplonota	Thudaca haplonota	Meyrick, 1893	species	Animalia	Arthropoda	Insecta	Lepidoptera	Hypertrophiidae	Thudaca	
https://biodiversity.org.au/afd/taxa/1a267044-0be0-484d-918d-9ff0914355df	Tiliqua occipitalis	Tiliqua occipitalis	(Peters, 1863)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Tiliqua	Western Blue-tongue
https://biodiversity.org.au/afd/taxa/126263ab-8d46-4da0-957c-f27b6637ef0	Tiliqua rugosa	Tiliqua rugosa	(Gray, 1825)	species	Animalia	Chordata	Reptilia	Squamata	Scincidae	Tiliqua	Boggi
https://biodiversity.org.au/afd/taxa/135cc80-8f4e-4470-a1c1-fbce3a0ed534	Todiramphus (Todiramphus) sanctus	Todiramphus (Todiramphus) sanctus	(Vigors & Horsfield, 1827)	species	Animalia	Chordata	Aves	Coraciiformes	Alcedinidae	Todiramphus	Sacred Kingfisher
https://biodiversity.org.au/afd/taxa/c6778498-4e78-466d-b071-37672378a2c4	Torbia viridissima	Torbia viridissima	(Brunner von Wattenwyl, 1878)	species	Animalia	Arthropoda	Insecta	Orthoptera	Tettigoniidae	Torbia	
https://biodiversity.org.au/afd/taxa/198b63f0-2786-4496-b8e3-b91ce53561c	Tramea stenobola	Tramea stenobola	(Watson, 1962)	species	Animalia	Arthropoda	Insecta	Odonata	Libellulidae	Tramea	
https://biodiversity.org.au/afd/taxa/4491debc-214f-46a2-95cf-572fe015d0dd	Tribonyx ventralis	Tribonyx ventralis	(Gould, 1837)	species	Animalia	Chordata	Aves	Gruiiformes	Gruiiformes	Tribonyx	Black-tailed Native Hen
https://biodiversity.org.au/afd/taxa/c51dae5-6b77-48e8-8501-53e8b87e89a4	Trichoglossus haematodus	Trichoglossus haematodus	(Linnaeus, 1771)	species	Animalia	Chordata	Aves	Psittaciformes	Psittacidae	Trichoglossus	Rainbow Lorikeet
https://biodiversity.org.au/afd/taxa/00b1b9a2-70c9-45be-8019-9c7fd755af8	Trichosurus vulpecula	Trichosurus vulpecula	(Kerr, 1792)	species	Animalia	Chordata	Mammalia	Diprotodontia	Phalangeridae	Trichosurus	Common Brushtail Possum
https://biodiversity.org.au/afd/taxa/d792ddc0-bdc2-4764-bb9c-ae943cd586e	Tringa (Glottis) nebularia	Tringa (Glottis) nebularia	(Gunnerus, 1767)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopaciidae	Tringa	Greenshank
https://biodiversity.org.au/afd/taxa/66d9e86-f1f3-4716-a4d3-cd4e550f087a	Tringa (Heterosceclus) brevipes	Tringa (Heterosceclus) brevipes	(Vieillot, 1816)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopaciidae	Tringa	Grey-tailed Tattler
https://biodiversity.org.au/afd/taxa/2ecff0de-1ba4-4b53-a368-0e01d36c289d	Tringa (Rhyacophilus) glareola	Tringa (Rhyacophilus) glareola	Linnaeus, 1758	species	Animalia	Chordata	Aves	Charadriiformes	Scolopaciidae	Tringa	Wood Sandpiper
https://biodiversity.org.au/afd/taxa/8fa8d059-9ce9-41f4-b604-63408d1de0b4	Tringa (Rhyacophilus) stagnatilis	Tringa (Rhyacophilus) stagnatilis	(Bechstein, 1803)	species	Animalia	Chordata	Aves	Charadriiformes	Scolopaciidae	Tringa	Marsh Sandpiper
https://biodiversity.org.au/afd/taxa/40c20e10-e79b-4a86-8559-7b1d94e6bed3	Triplectides australis	Triplectides australis	(Nav&is, 1934)	species	Animalia	Arthropoda	Insecta	Trichoptera	Leptoceridae	Triplectides	
https://biodiversity.org.au/afd/taxa/4020e10-e79b-4a86-8559-7b1d94e6bed3	Triplectides cephalotes	Triplectides cephalotes	Walker	species	Animalia	Arthropoda	Insecta	Trichoptera	Leptoceridae	Triplectides	
https://biodiversity.org.au/afd/taxa/7f0b5430-3e37-4dd4-8dff-d6b288ced445	Turdus merula	Turdus merula	Linnaeus, 1758	species	Animalia	Chordata	Aves	Passeriformes	Turdidae	Turdus	Eurasian Blackbird
https://biodiversity.org.au/afd/taxa/03c7f451-eab0-43e1-93bc-a5a653c4c75a	Tympanophora similis	Tympanophora similis	Riek, 1976	species	Animalia	Arthropoda	Insecta	Orthoptera	Tettigoniidae	Tympanophora	
https://biodiversity.org.au/afd/taxa/03c7f451-eab0-43e1-93bc-a5a653c4c75a	Tyto alba	Tyto alba	Gould	species	Animalia	Chordata	Aves	Strigiformes	Tytonidae	Tyto	Barn Owl
https://biodiversity.org.au/afd/taxa/86f993fd-4551-4b38-9a12-62b6b433729b	Tyto javanica	Tyto javanica	(Gmelin, 1788)	species	Animalia	Chordata	Aves	Strigiformes	Tytonidae	Tyto	Eastern Barn Owl
https://biodiversity.org.au/afd/taxa/21b29887-89f8-4f82-9b7e-ab240245c7b3	Urnisa rugosa	Urnisa rugosa	de Saussure, 1884	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Urnisa	
https://biodiversity.org.au/afd/taxa/cbf6e9d5-7af1-40a6-453-4e6b78aaab1	Valanga irregularis	Valanga irregularis	(Walker, 1870)	species	Animalia	Arthropoda	Insecta	Orthoptera	Acrididae	Valanga	Giant Grasshopper
https://biodiversity.org.au/afd/taxa/46306c30-cf1a-4528-906b-cae2e9c5c0e8	Vanellus (Lobipluvial) miles	Vanellus (Lobipluvial) miles	(Boddart, 1783)	species	Animalia	Chordata	Aves	Charadriiformes	Charadriidae	Vanellus	Masked Plover
https://biodiversity.org.au/afd/taxa/6d87b862-1d56-4d27-84a1-9377915a0de	Vanellus (Lobivanelus) tricolor	Vanellus (Lobivanelus) tricolor	(Vieillot, 1818)	species	Animalia	Chordata	Aves	Charadriiformes	Charadriidae	Vanellus	Banded Lapwing
https://biodiversity.org.au/afd/taxa/c02e1442-a172-4813-9328-2a2bcfe8d4f9	Vanessa cardui	Vanessa cardui	(Linnaeus, 1758)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Vanessa	Painted Lady
https://biodiversity.org.au/afd/taxa/ea9a5d2-2a24-4dc6-b430-a78d8ea35d8d	Vanessa itea	Vanessa itea	(Fabricius, 1775)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Vanessa	Yellow Admiral
https://biodiversity.org.au/afd/taxa/5457e4b9-38c9-4f26-82dc-4bc28ef10ab6	Vanessa kershawi	Vanessa kershawi	(McCoy, 1868)	species	Animalia	Arthropoda	Insecta	Lepidoptera	Nymphalidae	Vanessa	Australian Painted Lady
https://biodiversity.org.au/afd/taxa/8313e5d6-b023-4360-bffd-a81e9f83bc9d	Varanus gouldii	Varanus gouldii	(Gray, 1838)	species	Animalia	Chordata	Reptilia	Squamata	Varanidae	Varanus	Gould's Goanna
https://biodiversity.org.au/afd/taxa/b89281d8-9f0a-4582-a2d8-21904d46b5b1	Varanus tristis	Varanus tristis	(Schlegel, 1839)	species	Animalia	Chordata	Reptilia	Squamata	Varanidae	Varanus	Black-headed Monitor
https://biodiversity.org.au/afd/taxa/30afdc05-c995-4a3d-43d2-9c29762996c2	Venator immansuetus	Venator immansuetus	(Simon, 1909)	species	Animalia	Arthropoda	Arachnida	Araneae	Lycosidae	Venator	
https://biodiversity.org.au/afd/taxa/f7d50b29-781a-4c2d-8ae0-fa306d28b5b	Venatrix arenaris	Venatrix arenaris	(Hogg, 1905)	species	Animalia	Arthropoda	Arachnida	Araneae	Lycosidae	Venatrix	
https://biodiversity.org.au/afd/taxa/b968dd0f-272a-4530-8087-fafede46079d	Venatrix pseudospicosa	Venatrix pseudospicosa	Framenau & Vink, 2001	species	Animalia	Arthropoda	Arachnida	Araneae	Lycosidae	Venatrix	
https://biodiversity.org.au/afd/taxa/182e9eae-5358-4261-8a17-b123c1200c8d	Vespa gremia	Vespa gremia	(Fabricius, 1793)	species	Animalia	Arthropoda	Insecta	Hymenoptera	Vespidae	Vespa	
https://biodiversity.org.au/afd/taxa/2869e08a-8212-46c2-8327-dfb7fab02996	Vulpes vulpes	Vulpes vulpes	Linnaeus, 1758	species	Animalia	Chordata	Mammalia	Carnivora	Canidae	Vulpes	Fox

APPENDIX 2

Protected Matters Search Tool



Australian Government

**Department of Climate Change, Energy,
the Environment and Water**

EPBC Act Protected Matters Report

This report provides general guidance on matters of national environmental significance and other matters protected by the EPBC Act in the area you have selected. Please see the caveat for interpretation of information provided here.

Report created: 15-Mar-2023

[Summary](#)

[Details](#)

[Matters of NES](#)

[Other Matters Protected by the EPBC Act](#)

[Extra Information](#)

[Caveat](#)

[Acknowledgements](#)

Summary

Matters of National Environment Significance

This part of the report summarises the matters of national environmental significance that may occur in, or may relate to, the area you nominated. Further information is available in the detail part of the report, which can be accessed by scrolling or following the links below. If you are proposing to undertake an activity that may have a significant impact on one or more matters of national environmental significance then you should consider the [Administrative Guidelines on Significance](#).

World Heritage Properties:	None
National Heritage Places:	None
Wetlands of International Importance (Ramsar)	None
Great Barrier Reef Marine Park:	None
Commonwealth Marine Area:	None
Listed Threatened Ecological Communities:	2
Listed Threatened Species:	30
Listed Migratory Species:	17

Other Matters Protected by the EPBC Act

This part of the report summarises other matters protected under the Act that may relate to the area you nominated. Approval may be required for a proposed activity that significantly affects the environment on Commonwealth land, when the action is outside the Commonwealth land, or the environment anywhere when the action is taken on Commonwealth land. Approval may also be required for the Commonwealth or Commonwealth agencies proposing to take an action that is likely to have a significant impact on the environment anywhere.

The EPBC Act protects the environment on Commonwealth land, the environment from the actions taken on Commonwealth land, and the environment from actions taken by Commonwealth agencies. As heritage values of a place are part of the 'environment', these aspects of the EPBC Act protect the Commonwealth Heritage values of a Commonwealth Heritage place. Information on the new heritage laws can be found at <https://www.dcceew.gov.au/parks-heritage/heritage>

A [permit](#) may be required for activities in or on a Commonwealth area that may affect a member of a listed threatened species or ecological community, a member of a listed migratory species, whales and other cetaceans, or a member of a listed marine species.

Commonwealth Lands:	36
Commonwealth Heritage Places:	None
Listed Marine Species:	25
Whales and Other Cetaceans:	None
Critical Habitats:	None
Commonwealth Reserves Terrestrial:	None
Australian Marine Parks:	None
Habitat Critical to the Survival of Marine Turtles:	None

Extra Information

This part of the report provides information that may also be relevant to the area you have

State and Territory Reserves:	6
Regional Forest Agreements:	None
Nationally Important Wetlands:	1
EPBC Act Referrals:	20
Key Ecological Features (Marine):	None
Biologically Important Areas:	1
Bioregional Assessments:	None
Geological and Bioregional Assessments:	None

Details

Matters of National Environmental Significance

Listed Threatened Ecological Communities [\[Resource Information \]](#)

For threatened ecological communities where the distribution is well known, maps are derived from recovery plans, State vegetation maps, remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Status of Vulnerable, Disallowed and Ineligible are not MNES under the EPBC Act.

Community Name	Threatened Category	Presence Text	Buffer Status
Banksia Woodlands of the Swan Coastal Plain ecological community	Endangered	Community likely to occur within area	In feature area
Tuart (<i>Eucalyptus gomphocephala</i>) Woodlands and Forests of the Swan Coastal Plain ecological community	Critically Endangered	Community likely to occur within area	In feature area

Listed Threatened Species [\[Resource Information \]](#)

Status of Conservation Dependent and Extinct are not MNES under the EPBC Act.

Number is the current name ID.

Scientific Name	Threatened Category	Presence Text	Buffer Status
BIRD			
Botaurus poiciloptilus Australasian Bittern [1001]	Endangered	Species or species habitat known to occur within area	In feature area
Calidris canutus Red Knot, Knot [855]	Endangered	Species or species habitat likely to occur within area	In feature area
Calidris ferruginea Curlew Sandpiper [856]	Critically Endangered	Species or species habitat known to occur within area	In feature area
Calyptorhynchus banksii naso Forest Red-tailed Black-Cockatoo, Karrak [67034]	Vulnerable	Species or species habitat known to occur within area	In feature area
Charadrius leschenaultii Greater Sand Plover, Large Sand Plover [877]	Vulnerable	Species or species habitat likely to occur within area	In feature area

Scientific Name	Threatened Category	Presence Text	Buffer Status
Leipoa ocellata Malleefowl [934]	Vulnerable	Species or species habitat likely to occur within area	In feature area
Limosa lapponica menzbieri Northern Siberian Bar-tailed Godwit, Russkoye Bar-tailed Godwit [86432]	Critically Endangered	Species or species habitat likely to occur within area	In buffer area only
Numenius madagascariensis Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area	In feature area
Pachyptila turtur subantarctica Fairy Prion (southern) [64445]	Vulnerable	Species or species habitat likely to occur within area	In buffer area only
Rostratula australis Australian Painted Snipe [77037]	Endangered	Species or species habitat likely to occur within area	In feature area
Sternula nereis nereis Australian Fairy Tern [82950]	Vulnerable	Species or species habitat known to occur within area	In feature area
Zanda latirostris listed as Calyptorhynchus latirostris Carnaby's Black Cockatoo, Short-billed Black-cockatoo [87737]	Endangered	Species or species habitat known to occur within area	In feature area
INSECT			
Hesperocolletes douglasi Douglas' Broad-headed Bee, Rottnest Bee [66734]	Critically Endangered	Species or species habitat may occur within area	In feature area
MAMMAL			
Bettongia penicillata ogilbyi Woylie [66844]	Endangered	Species or species habitat may occur within area	In buffer area only
Dasyurus geoffroii Chuditch, Western Quoll [330]	Vulnerable	Species or species habitat likely to occur within area	In feature area
Macroderma gigas Ghost Bat [174]	Vulnerable	Species or species habitat may occur within area	In buffer area only

Scientific Name	Threatened Category	Presence Text	Buffer Status
Pseudocheirus occidentalis Western Ringtail Possum, Ngwayir, Womp, Woder, Ngoor, Ngoolangit [25911]	Critically Endangered	Species or species habitat likely to occur within area	In buffer area only
PLANT			
Andersonia gracilis Slender Andersonia [14470]	Endangered	Species or species habitat may occur within area	In feature area
Anigozanthos viridis subsp. terraspectans Dwarf Green Kangaroo Paw [3435]	Vulnerable	Species or species habitat may occur within area	In buffer area only
Banksia mimica Summer Honey-pot [82765]	Endangered	Species or species habitat may occur within area	In feature area
Caladenia huegelii King Spider-orchid, Grand Spider-orchid, Rusty Spider-orchid [7309]	Endangered	Species or species habitat may occur within area	In buffer area only
Diuris micrantha Dwarf Bee-orchid [55082]	Vulnerable	Species or species habitat likely to occur within area	In feature area
Diuris purdiei Purdie's Donkey-orchid [12950]	Endangered	Species or species habitat may occur within area	In feature area
Drakaea elastica Glossy-leafed Hammer Orchid, Glossy-leafed Hammer Orchid, Warty Hammer Orchid [16753]	Endangered	Species or species habitat likely to occur within area	In feature area
Drakaea micrantha Dwarf Hammer-orchid [56755]	Vulnerable	Species or species habitat may occur within area	In feature area
Eleocharis keigheryi Keighery's Eleocharis [64893]	Vulnerable	Species or species habitat may occur within area	In buffer area only
Eucalyptus argutifolia Yanchep Mallee, Wabbling Hill Mallee [24263]	Vulnerable	Species or species habitat may occur within area	In feature area

Scientific Name	Threatened Category	Presence Text	Buffer Status
Macarthuria keigheryi Keighery's Macarthuria [64930]	Endangered	Species or species habitat may occur within area	In feature area
Marianthus paralius [83925]	Endangered	Species or species habitat known to occur within area	In buffer area only
SHARK			
Pristis pristis Freshwater Sawfish, Largetooth Sawfish, River Sawfish, Leichhardt's Sawfish, Northern Sawfish [60756]	Vulnerable	Species or species habitat may occur within area	In feature area
Listed Migratory Species		[Resource Information]	
Scientific Name	Threatened Category	Presence Text	Buffer Status
Migratory Marine Birds			
Apus pacificus Fork-tailed Swift [678]		Species or species habitat likely to occur within area	In feature area
Sterna dougallii Roseate Tern [817]		Foraging, feeding or related behaviour likely to occur within area	In buffer area only
Migratory Marine Species			
Pristis pristis Freshwater Sawfish, Largetooth Sawfish, River Sawfish, Leichhardt's Sawfish, Northern Sawfish [60756]	Vulnerable	Species or species habitat may occur within area	In feature area
Migratory Terrestrial Species			
Motacilla cinerea Grey Wagtail [642]		Species or species habitat may occur within area	In feature area
Migratory Wetlands Species			
Actitis hypoleucos Common Sandpiper [59309]		Species or species habitat known to occur within area	In feature area
Calidris acuminata Sharp-tailed Sandpiper [874]		Species or species habitat known to occur within area	In feature area

Scientific Name	Threatened Category	Presence Text	Buffer Status
Calidris canutus Red Knot, Knot [855]	Endangered	Species or species habitat likely to occur within area	In feature area
Calidris ferruginea Curlew Sandpiper [856]	Critically Endangered	Species or species habitat known to occur within area	In feature area
Calidris melanotos Pectoral Sandpiper [858]		Species or species habitat likely to occur within area	In feature area
Calidris ruficollis Red-necked Stint [860]		Species or species habitat known to occur within area	In buffer area only
Calidris subminuta Long-toed Stint [861]		Species or species habitat known to occur within area	In buffer area only
Charadrius leschenaultii Greater Sand Plover, Large Sand Plover [877]	Vulnerable	Species or species habitat likely to occur within area	In feature area
Limosa lapponica Bar-tailed Godwit [844]		Species or species habitat likely to occur within area	In buffer area only
Numenius madagascariensis Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area	In feature area
Pandion haliaetus Osprey [952]		Species or species habitat known to occur within area	In feature area
Tringa glareola Wood Sandpiper [829]		Species or species habitat known to occur within area	In buffer area only
Tringa nebularia Common Greenshank, Greenshank [832]		Species or species habitat known to occur within area	In feature area

Other Matters Protected by the EPBC Act

Commonwealth Lands

[Resource Information]

The Commonwealth area listed below may indicate the presence of Commonwealth land in this vicinity. Due to the unreliability of the data source, all proposals should be checked as to whether it impacts on a Commonwealth area, before making a definitive decision. Contact the State or Territory government land department for further information.

Commonwealth Land Name	State	Buffer Status
Unknown		
Commonwealth Land - [50574]	WA	In buffer area only
Commonwealth Land - [50587]	WA	In buffer area only
Commonwealth Land - [50586]	WA	In buffer area only
Commonwealth Land - [50668]	WA	In buffer area only
Commonwealth Land - [50713]	WA	In buffer area only
Commonwealth Land - [50680]	WA	In buffer area only
Commonwealth Land - [50711]	WA	In buffer area only
Commonwealth Land - [50689]	WA	In buffer area only
Commonwealth Land - [50553]	WA	In buffer area only
Commonwealth Land - [50705]	WA	In buffer area only
Commonwealth Land - [50704]	WA	In buffer area only
Commonwealth Land - [50716]	WA	In buffer area only
Commonwealth Land - [50674]	WA	In buffer area only
Commonwealth Land - [50747]	WA	In buffer area only
Commonwealth Land - [50630]	WA	In buffer area only
Commonwealth Land - [50588]	WA	In buffer area only
Commonwealth Land - [50582]	WA	In buffer area only
Commonwealth Land - [50583]	WA	In buffer area only
Commonwealth Land - [50584]	WA	In buffer area only
Commonwealth Land - [50667]	WA	In buffer area only
Commonwealth Land - [50682]	WA	In buffer area only
Commonwealth Land - [50594]	WA	In buffer area only

Commonwealth Land Name	State	Buffer Status
Commonwealth Land - [50592]	WA	In buffer area only
Commonwealth Land - [50593]	WA	In buffer area only
Commonwealth Land - [50598]	WA	In buffer area only
Commonwealth Land - [50576]	WA	In buffer area only
Commonwealth Land - [50706]	WA	In buffer area only
Commonwealth Land - [50703]	WA	In buffer area only
Commonwealth Land - [50700]	WA	In buffer area only
Commonwealth Land - [50701]	WA	In buffer area only
Commonwealth Land - [50702]	WA	In buffer area only
Commonwealth Land - [50626]	WA	In buffer area only
Commonwealth Land - [51132]	WA	In buffer area only
Commonwealth Land - [50606]	WA	In buffer area only
Commonwealth Land - [51130]	WA	In buffer area only
Commonwealth Land - [50625]	WA	In buffer area only

Listed Marine Species			[Resource Information]
Scientific Name	Threatened Category	Presence Text	Buffer Status
Bird			
Actitis hypoleucos			
Common Sandpiper [59309]		Species or species habitat known to occur within area	In feature area
Apus pacificus			
Fork-tailed Swift [678]		Species or species habitat likely to occur within area overfly marine area	In feature area
Bubulcus ibis as Ardea ibis			
Cattle Egret [66521]		Species or species habitat may occur within area overfly marine area	In feature area
Calidris acuminata			
Sharp-tailed Sandpiper [874]		Species or species habitat known to occur within area	In feature area

Scientific Name	Threatened Category	Presence Text	Buffer Status
Calidris canutus Red Knot, Knot [855]	Endangered	Species or species habitat likely to occur within area overfly marine area	In feature area
Calidris ferruginea Curlew Sandpiper [856]	Critically Endangered	Species or species habitat known to occur within area overfly marine area	In feature area
Calidris melanotos Pectoral Sandpiper [858]		Species or species habitat likely to occur within area overfly marine area	In feature area
Calidris ruficollis Red-necked Stint [860]		Species or species habitat known to occur within area overfly marine area	In buffer area only
Calidris subminuta Long-toed Stint [861]		Species or species habitat known to occur within area overfly marine area	In buffer area only
Charadrius leschenaultii Greater Sand Plover, Large Sand Plover [877]	Vulnerable	Species or species habitat likely to occur within area	In feature area
Charadrius ruficapillus Red-capped Plover [881]		Species or species habitat known to occur within area overfly marine area	In buffer area only
Haliaeetus leucogaster White-bellied Sea-Eagle [943]		Species or species habitat known to occur within area	In feature area
Himantopus himantopus Pied Stilt, Black-winged Stilt [870]		Species or species habitat known to occur within area overfly marine area	In buffer area only
Limosa lapponica Bar-tailed Godwit [844]		Species or species habitat likely to occur within area	In buffer area only

Scientific Name	Threatened Category	Presence Text	Buffer Status
Merops ornatus Rainbow Bee-eater [670]		Species or species habitat may occur within area overfly marine area	In feature area
Motacilla cinerea Grey Wagtail [642]		Species or species habitat may occur within area overfly marine area	In feature area
Numenius madagascariensis Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area	In feature area
Pachyptila turtur Fairy Prion [1066]		Species or species habitat likely to occur within area	In buffer area only
Pandion haliaetus Osprey [952]		Species or species habitat known to occur within area	In feature area
Recurvirostra novaehollandiae Red-necked Avocet [871]		Species or species habitat known to occur within area overfly marine area	In buffer area only
Rostratula australis as Rostratula benghalensis (sensu lato) Australian Painted Snipe [77037]	Endangered	Species or species habitat likely to occur within area overfly marine area	In feature area
Sterna dougallii Roseate Tern [817]		Foraging, feeding or related behaviour likely to occur within area	In buffer area only
Thinornis cucullatus as Thinornis rubricollis Hooded Plover, Hooded Dotterel [87735]		Species or species habitat may occur within area overfly marine area	In feature area
Tringa glareola Wood Sandpiper [829]		Species or species habitat known to occur within area overfly marine area	In buffer area only

Scientific Name	Threatened Category	Presence Text	Buffer Status
Tringa nebularia Common Greenshank, Greenshank [832]		Species or species habitat known to occur within area overfly marine area	In feature area

Extra Information

State and Territory Reserves			[Resource Information]
Protected Area Name	Reserve Type	State	Buffer Status
Jandabup	Nature Reserve	WA	In buffer area only
Lake Joondalup	Nature Reserve	WA	In buffer area only
Unnamed WA46756	Conservation Park	WA	In buffer area only
Unnamed WA46926	5(1)(h) Reserve	WA	In feature area
Unnamed WA50514	5(1)(h) Reserve	WA	In buffer area only
Woodvale	5(1)(h) Reserve	WA	In buffer area only

Nationally Important Wetlands		[Resource Information]
Wetland Name	State	Buffer Status
Joondalup Lake	WA	In buffer area only

EPBC Act Referrals					[Resource Information]
Title of referral	Reference	Referral Outcome	Assessment Status	Buffer Status	
Controlled action					
Alkimos Seawater Desalination	2019/8453	Controlled Action	Assessment Approach	In buffer area only	
Land Development, James Street and Well Street, East Wanneroo, Elberton Property	2021/9106	Controlled Action	Assessment Approach	In buffer area only	
Lot 1665 Wanneroo Road, Sinagra.	2017/7921	Controlled Action	Post-Approval	In buffer area only	
Lot 9000 Wanneroo Road Sinagra Mixed Use Development, Western Australia	2020/8798	Controlled Action	Proposed Decision	In buffer area only	
Mitchell Freeway Principal Shared Path Gaps Project Ocean Reef Road to Hepburn Avenue	2020/8833	Controlled Action	Post-Approval	In buffer area only	
Nava-1 Cable System	2001/510	Controlled Action	Completed	In buffer area only	

Title of referral	Reference	Referral Outcome	Assessment Status	Buffer Status
Controlled action				
Not controlled action				
Commercial development of Lot 9004 Hodges Drive, Joondalup, WA	2016/7844	Not Controlled Action	Completed	In buffer area only
Development of ECU Engineering Annex, Joondalup Campus, WA	2017/7995	Not Controlled Action	Completed	In buffer area only
Eradication of the European House Borer, Perth metropolitan area, WA	2009/5027	Not Controlled Action	Completed	In buffer area only
Groundwater Replenishment Scheme (GWRS) Stage 2	2016/7786	Not Controlled Action	Completed	In buffer area only
Improving rabbit biocontrol: releasing another strain of RHDV, sthrn two thirds of Australia	2015/7522	Not Controlled Action	Completed	In feature area
Lot 594 Wanneroo Road development, Hocking	2020/8621	Not Controlled Action	Completed	In buffer area only
Pearsall Primary School, Lots 62, 269, 1008, 1009 & Part Lot 23, Pearsall, WA	2012/6405	Not Controlled Action	Completed	In buffer area only
Residential Development, 50 Lot 2 Driver Road, Darch, Western Australia	2020/8677	Not Controlled Action	Completed	In buffer area only
Residential Development, Lots 10 Dundobar Road and 28 and 29 Belgrade Road, East Wanneroo, WA	2019/8521	Not Controlled Action	Completed	In buffer area only
Residential Subdivision - Lots 12, 36 & 38 Capron St, Wanneroo	2012/6409	Not Controlled Action	Completed	In buffer area only
Wangara Industrial Extension Area, WA	2012/6501	Not Controlled Action	Completed	In buffer area only
Wanneroo Road/Ocean Reef Road Grade Separation, Pearsall, WA	2017/8110	Not Controlled Action	Completed	In feature area
Not controlled action (particular manner)				
Ocean Reef Road Extension Works in Wangara	2010/5388	Not Controlled Action (Particular Manner)	Post-Approval	In buffer area only
Road realignment and widening	2009/4926	Not Controlled Action (Particular Manner)	Post-Approval	In buffer area only
Biologically Important Areas				
Scientific Name		Behaviour	Presence	Buffer Status

Scientific Name	Behaviour	Presence	Buffer Status
Seabirds			
Sterna dougallii			
Roseate Tern [817]	Foraging	Known to occur	In buffer area only

Caveat

1 PURPOSE

This report is designed to assist in identifying the location of matters of national environmental significance (MNES) and other matters protected by the Environment Protection and Biodiversity Conservation Act 1999 (Cth) (EPBC Act) which may be relevant in determining obligations and requirements under the EPBC Act.

The report contains the mapped locations of:

- World and National Heritage properties;
- Wetlands of International and National Importance;
- Commonwealth and State/Territory reserves;
- distribution of listed threatened, migratory and marine species;
- listed threatened ecological communities; and
- other information that may be useful as an indicator of potential habitat value.

2 DISCLAIMER

This report is not intended to be exhaustive and should only be relied upon as a general guide as mapped data is not available for all species or ecological communities listed under the EPBC Act (see below). Persons seeking to use the information contained in this report to inform the referral of a proposed action under the EPBC Act should consider the limitations noted below and whether additional information is required to determine the existence and location of MNES and other protected matters.

Where data are available to inform the mapping of protected species, the presence type (e.g. known, likely or may occur) that can be determined from the data is indicated in general terms. It is the responsibility of any person using or relying on the information in this report to ensure that it is suitable for the circumstances of any proposed use. The Commonwealth cannot accept responsibility for the consequences of any use of the report or any part thereof. To the maximum extent allowed under governing law, the Commonwealth will not be liable for any loss or damage that may be occasioned directly or indirectly through the use of, or reliance

3 DATA SOURCES

Threatened ecological communities

For threatened ecological communities where the distribution is well known, maps are generated based on information contained in recovery plans, State vegetation maps and remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Threatened, migratory and marine species

Threatened, migratory and marine species distributions have been discerned through a variety of methods. Where distributions are well known and if time permits, distributions are inferred from either thematic spatial data (i.e. vegetation, soils, geology, elevation, aspect, terrain, etc.) together with point locations and described habitat; or modelled (MAXENT or BIOCLIM habitat modelling) using

Where little information is available for a species or large number of maps are required in a short time-frame, maps are derived either from 0.04 or 0.02 decimal degree cells; by an automated process using polygon capture techniques (static two kilometre grid cells, alpha-hull and convex hull); or captured manually or by using topographic features (national park boundaries, islands, etc.).

In the early stages of the distribution mapping process (1999-early 2000s) distributions were defined by degree blocks, 100K or 250K map sheets to rapidly create distribution maps. More detailed distribution mapping methods are used to update these distributions

4 LIMITATIONS

The following species and ecological communities have not been mapped and do not appear in this report:

- threatened species listed as extinct or considered vagrants;
- some recently listed species and ecological communities;
- some listed migratory and listed marine species, which are not listed as threatened species; and
- migratory species that are very widespread, vagrant, or only occur in Australia in small numbers.

The following groups have been mapped, but may not cover the complete distribution of the species:

- listed migratory and/or listed marine seabirds, which are not listed as threatened, have only been mapped for recorded
- seals which have only been mapped for breeding sites near the Australian continent

The breeding sites may be important for the protection of the Commonwealth Marine environment.

Refer to the metadata for the feature group (using the Resource Information link) for the currency of the information.

Acknowledgements

This database has been compiled from a range of data sources. The department acknowledges the following custodians who have contributed valuable data and advice:

- [-Office of Environment and Heritage, New South Wales](#)
- [-Department of Environment and Primary Industries, Victoria](#)
- [-Department of Primary Industries, Parks, Water and Environment, Tasmania](#)
- [-Department of Environment, Water and Natural Resources, South Australia](#)
- [-Department of Land and Resource Management, Northern Territory](#)
- [-Department of Environmental and Heritage Protection, Queensland](#)
- [-Department of Parks and Wildlife, Western Australia](#)
- [-Environment and Planning Directorate, ACT](#)
- [-Birdlife Australia](#)
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- [-Australian Government National Environmental Science Program](#)
- [-Australian Institute of Marine Science](#)
- [-Reef Life Survey Australia](#)
- [-American Museum of Natural History](#)
- [-Queen Victoria Museum and Art Gallery, Inveresk, Tasmania](#)
- [-Tasmanian Museum and Art Gallery, Hobart, Tasmania](#)
- Other groups and individuals

The Department is extremely grateful to the many organisations and individuals who provided expert advice and information on numerous draft distributions.

Please feel free to provide feedback via the [Contact us](#) page.

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APPENDIX 3

Conservation Codes

Conservation Codes for Western Australian Flora and Fauna

Specially protected fauna or flora are species* which have been adequately searched for and are deemed to be, in the wild, either rare, at risk of extinction, or otherwise in need of special protection, and have been gazetted as such. Conservation codes have been transitioned under regulations 170, 171 and 172 of the *Biodiversity Conservation Regulations 2018*.

T Threatened species – Schedules 1-4

Listed by order of the Minister as Threatened in the category of critically endangered, endangered or vulnerable under section 19(1), or is a rediscovered species to be regarded as threatened species under section 26(2) of the *Biodiversity Conservation Act 2016* (BC Act).

- **Threatened fauna** is that subset of ‘Specially Protected Fauna’ listed under schedules 1 to 3 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018* for Threatened Fauna.
- **Threatened flora** is that subset of ‘Rare Flora’ listed under schedules 1 to 3 of the *Wildlife Conservation (Rare Flora) Notice 2018* for Threatened Flora.

The assessment of the conservation status of these species is based on their national extent and ranked according to their level of threat using IUCN Red List categories and criteria as detailed below.

CR Critically endangered species

Threatened species considered to be “*facing an extremely high risk of extinction in the wild in the immediate future, as determined in accordance with criteria set out in the ministerial guidelines*”.

Listed as critically endangered under section 19(1)(a) of the BC Act in accordance with the criteria set out in section 20 and the ministerial guidelines. Published under schedule 1 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018* for critically endangered fauna or the *Wildlife Conservation (Rare Flora) Notice 2018* for critically endangered flora.

EN Endangered species

Threatened species considered to be “*facing a very high risk of extinction in the wild in the near future, as determined in accordance with criteria set out in the ministerial guidelines*”.

Listed as endangered under section 19(1)(b) of the BC Act in accordance with the criteria set out in section 21 and the ministerial guidelines. Published under schedule 2 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018* for endangered fauna or the *Wildlife Conservation (Rare Flora) Notice 2018* for endangered flora.

VU Vulnerable species

Threatened species considered to be “*facing a high risk of extinction in the wild in the medium-term future, as determined in accordance with criteria set out in the ministerial guidelines*”.

Listed as vulnerable under section 19(1)(c) of the BC Act in accordance with the criteria set out in section 22 and the ministerial guidelines. Published under schedule 3 of the *Wildlife*

Conservation (Specially Protected Fauna) Notice 2018 for vulnerable fauna or the *Wildlife Conservation (Rare Flora) Notice 2018* for vulnerable flora.

EX Presumed extinct species

Species where *“there is no reasonable doubt that the last member of the species has died”*, and listing is otherwise in accordance with the ministerial guidelines (section 24 of the BC Act).

Published as presumed extinct under schedule 4 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018* for extinct fauna or the *Wildlife Conservation (Rare Flora) Notice 2018* for extinct flora.

EW Extinct in the wild species

Species that *“is known only to survive in cultivation, in captivity or as a naturalised population well outside its past range; and it has not been recorded in its known habitat or expected habitat, at appropriate seasons, anywhere in its past range, despite surveys over a time frame appropriate to its life cycle and form”*, and listing is otherwise in accordance with the ministerial guidelines (section 25 of the BC Act).

Currently there are no threatened fauna or threatened flora species listed as extinct in the wild. If listing of a species as extinct in the wild occurs, then a schedule will be added to the applicable notice.

Specially protected species

Listed by order of the Minister as specially protected under section 13(1) of the BC Act. Meeting one or more of the following categories: species of special conservation interest; migratory species; cetaceans; species subject to international agreement; or species otherwise in need of special protection.

Species that are listed as threatened species (critically endangered, endangered or vulnerable) or extinct species under the BC Act cannot also be listed as Specially Protected species.

MI Migratory species

Fauna that periodically or occasionally visit Australia or an external Territory or the exclusive economic zone; or the species is subject of an international agreement that relates to the protection of migratory species and that binds the Commonwealth; and listing is otherwise in accordance with the ministerial guidelines (section 15 of the BC Act).

Includes birds that are subject to an agreement between the government of Australia and the governments of Japan (JAMBA), China (CAMBA) and The Republic of Korea (ROKAMBA), and fauna subject to the Convention on the Conservation of Migratory Species of Wild Animals (Bonn Convention), an environmental treaty under the United Nations Environment Program. Migratory species listed under the BC Act are a subset of the migratory animals, that are known to visit Western Australia, protected under the international agreements or treaties, excluding species that are listed as Threatened species.

Published as migratory birds protected under an international agreement under schedule 5 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018*.

CD Species of special conservation interest (conservation dependent fauna)

Fauna of special conservation need being species dependent on ongoing conservation intervention to prevent it becoming eligible for listing as threatened, and listing is otherwise in accordance with the ministerial guidelines (section 14 of the BC Act).

Published as conservation dependent fauna under schedule 6 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018*.

OS Other specially protected species

Fauna otherwise in need of special protection to ensure their conservation, and listing is otherwise in accordance with the ministerial guidelines (section 18 of the BC Act).

Published as other specially protected fauna under schedule 7 of the *Wildlife Conservation (Specially Protected Fauna) Notice 2018*.

P Priority species

Possibly threatened species that do not meet survey criteria, or are otherwise data deficient, are added to the Priority Fauna or Priority Flora Lists under Priorities 1, 2 or 3. These three categories are ranked in order of priority for survey and evaluation of conservation status so that consideration can be given to their declaration as threatened fauna or flora.

Species that are adequately known, are rare but not threatened, or meet criteria for near threatened, or that have been recently removed from the threatened species or other specially protected fauna lists for other than taxonomic reasons, are placed in Priority 4. These species require regular monitoring.

Assessment of Priority codes is based on the Western Australian distribution of the species, unless the distribution in WA is part of a contiguous population extending into adjacent States, as defined by the known spread of locations.

Priority 1: Poorly-known species

Species that are known from one or a few locations (generally five or less) which are potentially at risk. All occurrences are either: very small; or on lands not managed for conservation, e.g. agricultural or pastoral lands, urban areas, road and rail reserves, gravel reserves and active mineral leases; or otherwise under threat of habitat destruction or degradation. Species may be included if they are comparatively well known from one or more locations but do not meet adequacy of survey requirements and appear to be under immediate threat from known threatening processes. Such species are in urgent need of further survey.

Priority 2: Poorly-known species

Species that are known from one or a few locations (generally five or less), some of which are on lands managed primarily for nature conservation, e.g. national parks, conservation parks, nature reserves and other lands with secure tenure being managed for conservation. Species may be included if they are comparatively well known from one or more locations but do not meet adequacy of survey requirements and appear to be under threat from known threatening processes. Such species are in urgent need of further survey.

Priority 3: Poorly-known species

Species that are known from several locations, and the species does not appear to be under imminent threat, or from few but widespread locations with either large population size or significant remaining areas of apparently suitable habitat, much of it not under imminent threat. Species may be included if they are comparatively well known from several locations but do not meet adequacy of survey requirements and known threatening processes exist that could affect them. Such species are in need of further survey.

Priority 4: Rare, Near Threatened and other species in need of monitoring

- (a) Rare. Species that are considered to have been adequately surveyed, or for which sufficient knowledge is available, and that are considered not currently threatened or in need of special protection but could be if present circumstances change. These species are usually represented on conservation lands.
- (b) Near Threatened. Species that are considered to have been adequately surveyed and that are close to qualifying for vulnerable but are not listed as Conservation Dependent.
- (c) Species that have been removed from the list of threatened species during the past five years for reasons other than taxonomy.

*Species includes all taxa (plural of taxon - a classificatory group of any taxonomic rank, e.g. a family, genus, species or any infraspecific category i.e. subspecies or variety, or a distinct population).

Western Australian Ecological Communities**Threatened Ecological Communities**

The BC Act provides for the statutory listing of threatened ecological communities (TECs) by the Minister.

Presumed Totally Destroyed (PD)

An ecological community that has been adequately searched for but for which no representative occurrences have been located. The community has been found to be totally destroyed or so extensively modified throughout its range that no occurrence of it is likely to recover its species composition and/or structure in the foreseeable future.

Critically Endangered (CR)

An ecological community that has been adequately surveyed and found to have been subject to a major contraction in area and/or that was originally of limited distribution and is facing severe modification or destruction throughout its range in the immediate future, or is already severely degraded throughout its range but capable of being substantially restored or rehabilitated.

Endangered (EN)

An ecological community that has been adequately surveyed and found to have been subject to a major contraction in area and/or was originally of limited distribution and is in danger of significant modification throughout its range or severe modification or destruction over most of its range in the near future.

Vulnerable (VU)

An ecological community that has been adequately surveyed and is found to be declining and/or has declined in distribution and/or condition and whose ultimate security has not yet been assured and/or a community that is still widespread but is believed likely to move into a category of higher threat in the near future if threatening processes continue or begin operating throughout its range.

Priority Ecological Communities

Possible threatened ecological communities that do not meet survey criteria or that are not adequately defined are added to the Priority Ecological Community List under priorities 1, 2 and 3. These three categories are ranked in order of priority for survey and/or definition of the community. Ecological communities that are adequately known, and are rare but not threatened or meet criteria for Near Threatened, or that have been recently removed from the threatened list, are placed in Priority 4. These ecological communities require regular monitoring. Conservation Dependent ecological communities are placed in Priority 5.

Priority One: Poorly-known ecological communities

Ecological communities that are known from very few occurrences with a very restricted distribution (generally ≤ 5 occurrences or a total area of ≤ 100 ha).

Occurrences are believed to be under threat either due to limited extent, or being on lands under immediate threat (e.g. within agricultural or pastoral lands, urban areas, active mineral leases) or for which current threats exist. May include communities with occurrences on protected lands. Communities may be included if they are comparatively well-known from one or more localities but do not meet adequacy of survey requirements, and/or are not well defined, and appear to be under immediate threat from known threatening processes across their range.

Priority Two: Poorly-known ecological communities

Communities that are known from few occurrences with a restricted distribution (generally ≤ 10 occurrences or a total area of ≤ 200 ha). At least some occurrences are not believed to be under immediate threat (within approximately 10 years) of destruction or degradation. Communities may be included if they are comparatively well known from one or more localities but do not meet adequacy of survey requirements, and/or are not well defined, and appear to be under threat from known threatening processes.

Priority Three: Poorly known ecological communities

- (i) Communities that are known from several to many occurrences, a significant number or area of which are not under threat of habitat destruction or degradation or:
- (ii) communities known from a few widespread occurrences, which are either large or with significant remaining areas of habitat in which other occurrences may occur, much of it not under imminent threat (within approximately 10 years), or;
- (iii) munities made up of large, and/or widespread occurrences, that may or may not be represented in the reserve system, but are under threat of modification across much of their range from processes such as grazing by domestic and/or feral stock, inappropriate fire regimes, clearing, hydrological change etc.

Communities may be included if they are comparatively well known from several localities but do not meet adequacy of survey requirements and/or are not well defined, and known threatening processes exist that could affect them.

Priority Four: Ecological communities that are adequately known, rare but not threatened or meet criteria for Near Threatened, or that have been recently removed from the threatened list. These communities require regular monitoring.

- (i) Rare. Ecological communities known from few occurrences that are considered to have been adequately surveyed, or for which sufficient knowledge is available, and that are considered not currently threatened or in need of special protection, but could be if present circumstances change. These communities are usually represented on conservation lands.
- (ii) Near Threatened. Ecological communities that are considered to have been adequately surveyed and that do not qualify for Conservation Dependent, but that are close to qualifying for a higher threat category.
- (iii) Ecological communities that have been removed from the list of threatened communities during the past five years.

Priority Five: Conservation Dependent ecological communities

Ecological communities that are not threatened but are subject to a specific conservation program, the cessation of which would result in the community becoming threatened within five years.

Commonwealth of Australia Conservation Codes

Threatened Flora and Fauna

Threatened fauna and flora may be listed under Section 178 of the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) in any one of the following six categories:

Extinct

A native species is eligible to be included in the extinct category at a particular time if, at that time, there is no reasonable doubt that the last member of the species has died.

Extinct in the wild

A native species is eligible to be included in the extinct in the wild category at a particular time if, at that time:

- a) it is known only to survive in cultivation, in captivity or as a naturalised population well outside its past range; or
- b) it has not been recorded in its known and/or expected habitat, at appropriate seasons, anywhere in its past range, despite exhaustive surveys over a time frame appropriate to its life cycle and form.

Critically endangered

A taxon is Critically Endangered when the best available evidence indicates that it meets any of the five criteria for the category identified in Part 7.01 of the EPBC Regulations, and it is therefore considered to be facing an extremely high risk of extinction in the wild.

Endangered

A taxon is Endangered when the best available evidence indicates that it meets any of the five criteria for the category identified in Part 7.01 of the EPBC Regulations, and it is therefore considered to be facing a very high risk of extinction in the wild.

Vulnerable

A taxon is Vulnerable when the best available evidence indicates that it meets any of the five criteria for the category identified in Part 7.01 of the EPBC Regulations, and it is therefore considered to be facing a high risk of extinction in the wild.

Conservation dependent

A native species is eligible to be included in the conservation dependent category at a particular time if, at that time:

- a) the species is the focus of a specific conservation program the cessation of which would result in the species becoming vulnerable, endangered or critically endangered; or
- b) the following subparagraphs are satisfied:
 - i. the species is a species of fish;

- ii. the species is the focus of a plan of management that provides for management actions necessary to stop the decline of, and support the recovery of, the species so that its chances of long term survival in nature are maximised;
- iii. the plan of management is in force under a law of the Commonwealth or of a State or Territory;
- iv. cessation of the plan of management would adversely affect the conservation status of the species.

The EPBC Act does not provide for listing in a data deficient category. Where sufficient data (evidence) is unavailable to allow assessment by the Threatened Species Scientific Committee against the criteria for listing, the species are found to be ineligible. A recommendation is made to the Minister to not include the species in any category under the EPBC Act. For reasons of transparency and to inform future research, the Threatened Species Scientific Committee publishes the names of those species found to be data deficient. As data deficient is not a listing category under the EPBC Act, this has no statutory implications and the species is not considered to be listed under the EPBC Act.

Threatened Ecological Communities

Threatened Ecological communities under the EPBC Act are listed in three categories.

Critically endangered

If, at that time, an ecological community is facing an extremely high risk of extinction in the wild in the immediate future (indicative timeframe being the next 10 years).

Endangered

If, at that time, an ecological community is not critically endangered but is facing a very high risk of extinction in the wild in the near future (indicative timeframe being the next 20 years).

Vulnerable

If, at that time, an ecological community is not critically endangered or endangered, but is facing a high risk of extinction in the wild in the medium-term future (indicative timeframe being the next 50 years).

APPENDIX 4

Tree Data

Map and describe trees greater than 500 mm in diameter				Date: 18.11.22		Observer: PvdM			
Tree Number	Species	Easting MGA zn50	Northing MGA zn50	Photo Number	Height	Diameter	Second Branch	Third Branch	Notes (hollows, bees etc.)
1	Marri	386609	6482146	8.47	20	58			Half dead, no hollows
2	Marri	386648	6482183	8.5	22	68			no hollows
3	Marri	386659	6482175	8.52	20	58			leaning, no hollows
4	Marri	386646	6482196	8.53	25	79			no hollows
5	Marri	386653	6482213	8.57	22	55			no hollows
6	Marri	386685	6482179	9.05L	24	64			no hollows
7	Marri	386686	6482189	9.05R	23	60			no hollows
8	Tuart	386691	64821226	9.08	21	75			no hollows
9	Marri	386701	6482234	9.9	24	68			no hollows
10	Marri	386713	6482234	9.13	21	56			no hollows
11	Marri	386725	6482247	9.15	22	72			no hollows
12	Standing Dead	386747	6482239	9.18	25	88			small spouts
13	Marri	386746	6482218	9.2	30	62			leaning, no hollows
14	Marri	386754	64821203	9.21	28	67			no hollows
15	Tuart	386760	6482166	9.24	28	95	51		no hollows
16	Marri	386744	6482178	9.25	26	70	43		no hollows
17	Marri	386745	6482183	9.32L	20	51			no hollows
18	Marri	386743	6482185	9.32R	28	57			no hollows
19	Tuart	386735	6482181	9.35	18	51			no hollows
20	Jarraah	386674	6482119	10.22	10	57			no hollows

APPENDIX 5

Aboriginal Heritage Inquiry System Reports



Aboriginal Heritage Inquiry System

List of Registered Aboriginal Sites

For further important information on using this information please see the Department of Planning, Lands and Heritage's Disclaimer statement at <https://www.dplh.wa.gov.au/about-this-website>

Search Criteria

No Registered Aboriginal Sites in Custom search area - Polygon - 115.801698894543°E, 31.7913767196311°S (GDA94) : 115.802380175633°E, 31.7900225070023°S (GDA94) : 115.802380175633°E, 31.7900133876581°S (GDA94) : 115.805539817853°E, 31.7889053806424°S (GDA94) : 115.806027979893°E, 31.7897580456551°S (GDA94) : 115.801698894543°E, 31.7913767196311°S (GDA94)

Disclaimer

The *Aboriginal Heritage Act 1972* preserves all Aboriginal sites in Western Australia whether or not they are registered. Aboriginal sites exist that are not recorded on the Register of Aboriginal Sites, and some registered sites may no longer exist.

The information provided is made available in good faith and is predominately based on the information provided to the Department of Planning, Lands and Heritage by third parties. The information is provided solely on the basis that readers will be responsible for making their own assessment as to the accuracy of the information. If you find any errors or omissions in our records, including our maps, it would be appreciated if you email the details to the Department at AboriginalHeritage@dplh.wa.gov.au and we will make every effort to rectify it as soon as possible.

South West Settlement ILUA Disclaimer

Your heritage enquiry is on land **within or adjacent to** the following Indigenous Land Use Agreement(s): Whadjuk People Indigenous Land Use Agreement.

On 8 June 2015, six identical Indigenous Land Use Agreements (ILUAs) were executed across the South West by the Western Australian Government and, respectively, the Yued, Whadjuk People, Gnaala Karla Booja, Ballardong People, South West Boojarah #2 and Wagyl Kaip & Southern Noongar groups, and the South West Aboriginal Land and Sea Council (SWALSC).

The ILUAs bind the parties (including 'the State', which encompasses all State Government Departments and certain State Government agencies) to enter into a Noongar Standard Heritage Agreement (NSHA) when conducting Aboriginal Heritage Surveys in the ILUA areas, unless they have an existing heritage agreement. It is also intended that other State agencies and instrumentalities enter into the NSHA when conducting Aboriginal Heritage Surveys in the ILUA areas. It is recommended a NSHA is entered into, and an 'Activity Notice' issued under the NSHA, if there is a risk that an activity will 'impact' (i.e. by excavating, damaging, destroying or altering in any way) an Aboriginal heritage site. The Aboriginal Heritage Due Diligence Guidelines, which are referenced by the NSHA, provide guidance on how to assess the potential risk to Aboriginal heritage.

Likewise, from 8 June 2015 the Department of Mines, Industry Regulation and Safety (DMIRS) in granting Mineral, Petroleum and related Access Authority tenures within the South West Settlement ILUA areas, will place a condition on these tenures requiring a heritage agreement or a NSHA before any rights can be exercised.

If you are a State Government Department, Agency or Instrumentality, or have a heritage condition placed on your mineral or petroleum title by DMIRS, you should seek advice as to the requirement to use the NSHA for your proposed activity. The full ILUA documents, maps of the ILUA areas and the NSHA template can be found at <https://www.wa.gov.au/organisation/departments-of-the-premier-and-cabinet/south-west-native-title-settlement>.

Further advice can also be sought from the Department of Planning, Lands and Heritage at AboriginalHeritage@dplh.wa.gov.au.

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Coordinate Accuracy

Coordinates (Easting/Northing metres) are based on the GDA 94 Datum. Accuracy is shown as a code in brackets following the coordinates.



Aboriginal Heritage Inquiry System

List of Registered Aboriginal Sites

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Aboriginal Heritage Inquiry System

Map of Registered Aboriginal Sites

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**Part Lot 28 & Lot 36 Woodvale
Drive, Joondalup**

Transport Impact Assessment

15/02/2023

Prepared for:

Riverswan Holdings Pty Ltd

Prepared by:

Stantec Consulting Services Inc



TRANSPORT IMPACT ASSESSMENT

LOT 36 WOODVALE DRIVE, JOONDALUP

Revision	Description	Author		Quality Check		Independent Review	
Rev A	For issue	AW		RC			
Rev B	Updated Site Plan	RR		AW		RC	



TRANSPORT IMPACT ASSESSMENT**LOT 36 WOODVALE DRIVE, JOONDALUP**

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Prepared by _____
(signature)

Andreas Wang

Reviewed by _____
(signature)

Ray Cook

Approved by _____
(signature)

Enter Name



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TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

1.0 INTRODUCTION

1.1 BACKGROUND

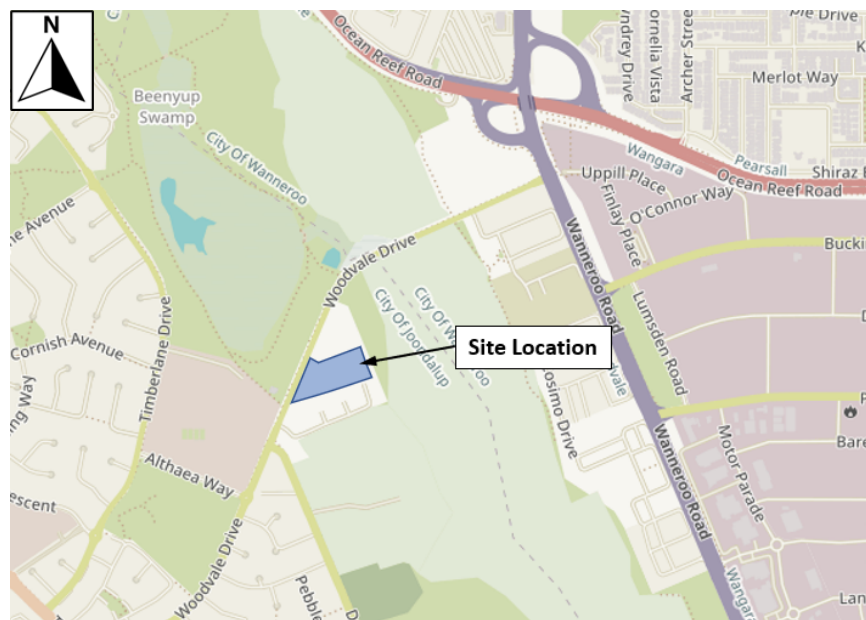
Stantec has been commissioned by Riverswan Holdings Pty Ltd("the Client") to prepare a Transport Impact Assessment (TIA) for the proposed scheme amendment located at Part Lot 28 & Lot 36 Woodvale Drive in the City of Joondalup, WA (the "Site").

This TIA has been prepared in accordance with the Western Australian Planning Commission (WAPC) *Transport Impact Assessment Guidelines Volume 2 – Planning Schemes, Structure Plans, and Activity Centre*.

1.2 SITE LOCATION

The Site is located in the suburb of Woodvale as shown in **Figure 1-1** The Site is adjacent to Woodvale Drive.

Figure 1-1 Site Location



Source: Open Street Maps 2022



TRANSPORT IMPACT ASSESSMENT

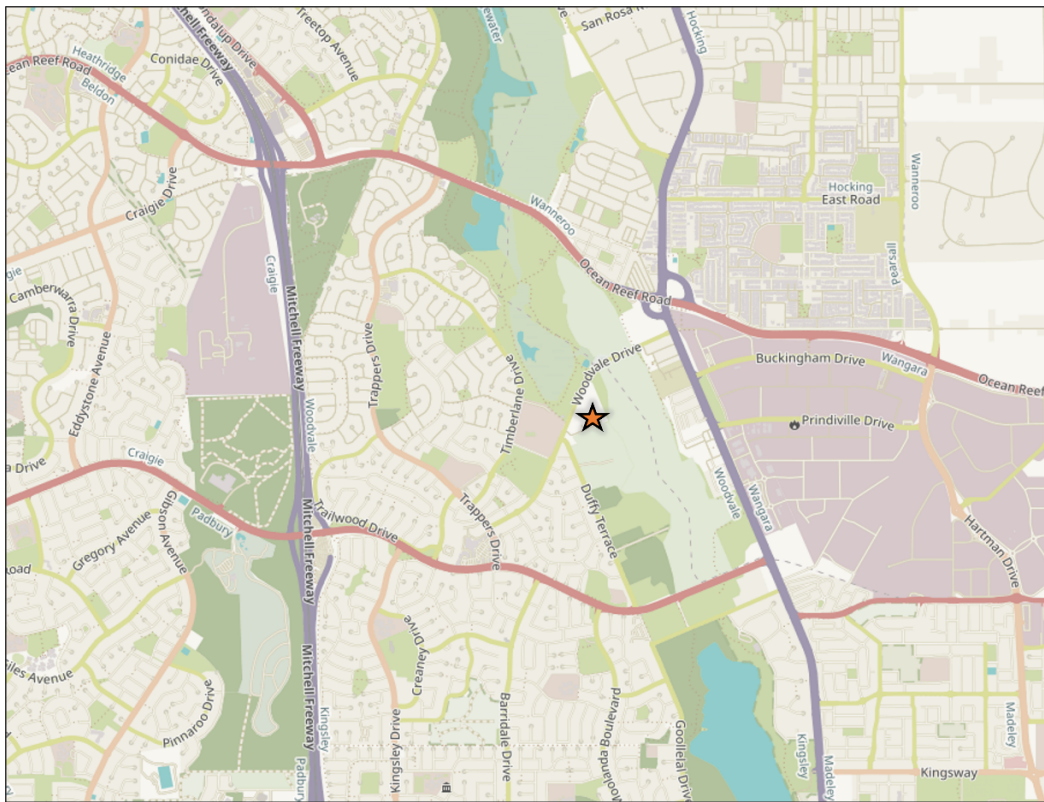
Lot 36 Woodvale Drive, Joondalup

2 PROPOSED SCHEME AMENDMENT

2.1 REGIONAL CONTEXT

The proposed development is located within the suburb of Woodvale, as shown in **Figure 2-1**.

Figure 2-1 Regional Context



Source: Open Street Maps 2023



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

2.2 PROPOSED LAND USE

The Amendment to the City of Joondalup Local Planning Scheme No.3 proposes to rezone the site from 'Rural' and 'Private Community Purposes' to 'Residential' with a density coding of R30 as shown in **Figure 2-2**. A concept plan prepared for the Site consists of 38 individual residential dwelling units as shown in **Figure 2-3**. **Table 2-1** provides a summary of land uses within the proposed concept plan.

Table 2-1 Proposed Land Uses within LSP

Land Use	Total Number of Lots
Individual Residential Units	38

Figure 2-2 Proposed Scheme Amendment



- LEGEND**
- REGION SCHEME RESERVES (MRS)**
- Parks and Recreation
 - HS Public Purposes - High School
 - WSD Public Purposes - Water Authority of WA
- LOCAL SCHEME RESERVES**
- Local Road
 - Local Distributor Road
- LOCAL SCHEME ZONES**
- Residential
 - Rural
 - Private Community Purposes
- OTHER CATEGORIES**
- Scheme Area Boundary
 - Local Government Boundary
 - ⋯ R20 R Codes

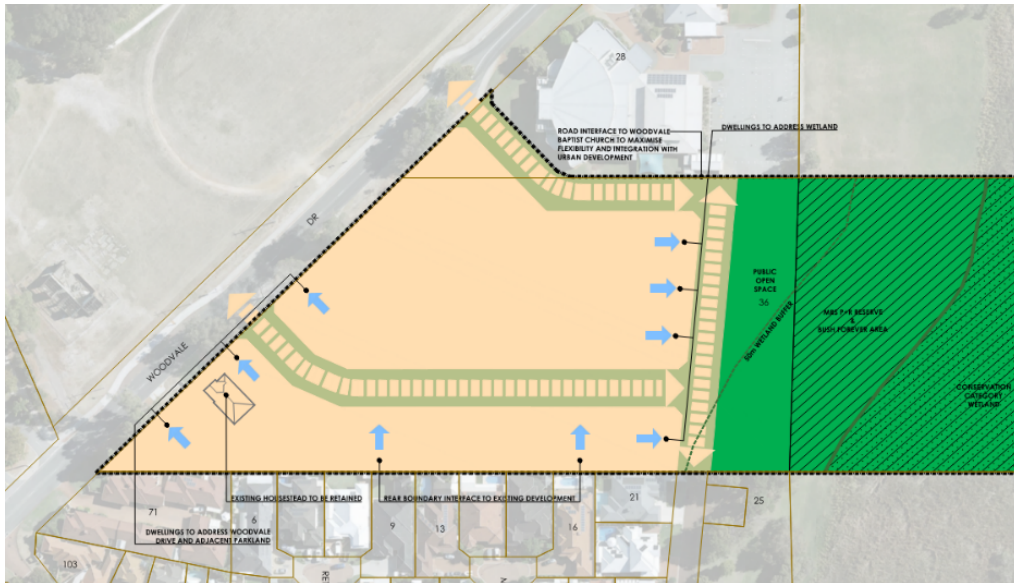
Source: Burgess Design Group



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

Figure 2-3 Concept Plan



Source: Burgess Design Group



TRANSPORT IMPACT ASSESSMENT

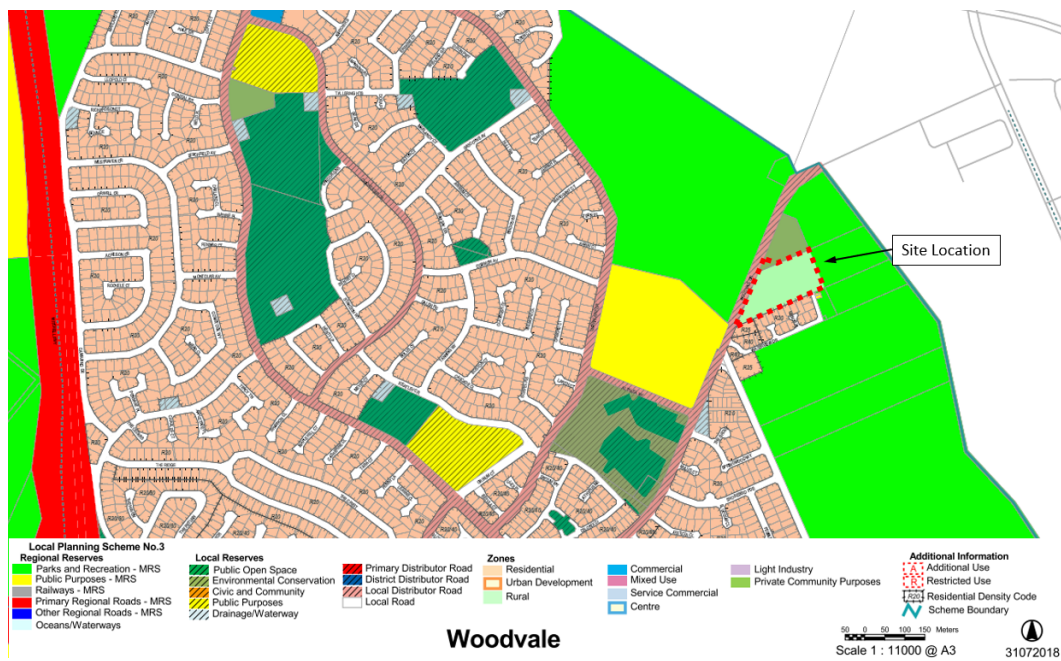
Lot 36 Woodvale Drive, Joondalup

3 EXISTING SITUATION

3.1 EXISTING LAND USES

Pursuant to the provision of the City of Joondalup Local Planning Scheme No. 3 for suburb of Woodvale, the Site is currently zoned 'Rural' and 'Private Community Purposes' as shown in **Figure 3-1**. The site is surrounded by parks and recreation to the east, residential dwellings to the south, and the Woodvale Baptist Church to the north.

Figure 3-1 Woodvale Zoning Map



Source: City of Joondalup Scheme Map - Woodvale



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

3.2 EXISTING ROAD NETWORK

Road classifications are defined in the Main Roads Functional Hierarchy as follows:

- > **Primary Distributors (light blue):** Form the regional and inter-regional grid of MRWA traffic routes and carry large volumes of fast-moving traffic. Some are strategic freight routes, and all are National or State Roads WA.
- > **Regional Distributors (red):** Roads that are not Primary Distributors, but which link significant destinations and are designed for efficient movement of people and goods within and beyond regional areas. They are managed by Local Government.
- > **District Distributor A (green):** These carry traffic between industrial, commercial and residential areas and connect to Primary Distributors. These are likely to be truck routes and provide only limited access to adjoining properties. They are managed by Local Government.
- > **Distributor B (dark blue):** Perform a similar function to District Distributor A but with reduced capacity due to flow restrictions from access to and roadside parking alongside adjoining property. These are often older roads with traffic demand more than that originally intended. District Distributor A and B roads run between land-use cells and not through them, forming a grid that would ideally be around 1.5 kilometres apart. They are managed by Local Government.
- > **Local Distributors (orange):** Carry traffic within a cell and link District Distributors at the boundary to access roads. The route of the Local Distributor discourages through traffic so that the cell formed by the grid of District Distributors only carries traffic belonging to or serving the area. These roads should accommodate buses but discourage trucks. They are managed by Local Government.
- > **Access Roads (grey):** Provide access to abutting properties with amenity, safety and aesthetic aspects having priority over the vehicle movement function. These roads are bicycle and pedestrian friendly. They are managed by Local Government.

The site is accessed by Woodvale Drive to the west. Woodvale Drive connects to Trappers Drive to the south and Wanneroo Road to the north. The surrounding road network is further described in **Table 3-1** and shows the hierarchy as per the Main Roads WA Road Information Mapping System, whilst **Figure 3-2** shows the road hierarchy.

Table 3-1 Road Network Classification

Road Names	Road Hierarchy			Road Network		
	Road Hierarchy	Jurisdiction	No. of Lanes	No. of Footpaths	Width (m)	Speed Limit (km/h)
Woodvale Drive	Access Road	Local Government	2	1	8.4	50
Trappers Drive	Local Distributor	Local Government	1-2	2	10	50
Wanneroo Road	Primary Distributor	Main Roads WA	4	1-2	8	70



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

Figure 3-2 Road Hierarchy Map



Source: Main Roads WA Road Information Mapping System

3.3 EXISTING TRAFFIC VOLUMES

Existing weekday traffic volumes were obtained from the Main Roads WA Trafficmap in the vicinity of the Site. These traffic volumes are summarised in **Table 3-2**.

Table 3-2 Existing Weekdays Traffic Volume

Road Name	Year	Daily (vpd)	AM Peak Hour (07:45 – 08:45) (vph)	PM Peak Hour (15:45 – 16:45) (vph)	Heavy Vehicle %
Woodvale Drive	2022	7,575	788	630	2%

Source: Main Roads WA Trafficmap



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

3.4 EXISTING PUBLIC PEDESTRIAN/CYCLIST NETWORK

A footpath with a width of approximately 2.7m is located on the western side of Woodvale Drive. There are no dedicated cycling facilities within the Site itself.

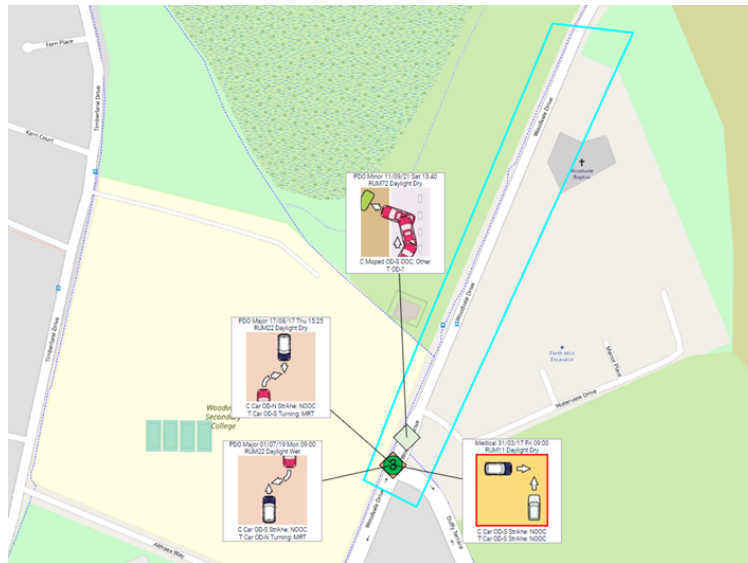
3.5 EXISTING PUBLIC TRANSPORT NETWORK

Bus stops for Transperth service 467 (Whitfords Station to Joondalup Station) is located in close proximity to the Site. During both the AM and PM peaks the service frequencies vary between 15-30 minutes. Outside of the AM and PM peaks, the bus services run approximately every 30 minutes.

3.6 CRASH ASSESSMENT

A crash assessment within the proximity of the subject site has been completed. The assessment covers all the recorded accidents in between 1 January 2017 and 31 December 2021 for the section shown in **Figure 3-3**. The midblock crash data is summarised in **Table 3-3**, while the crash data for the intersection of Woodvale Drive / Duffy Terrace is summarised in **Table 3-4**. The crash data indicates only 1 midblock crash has occurred on this section of Woodvale Drive within the past 5 years, which only resulted in minor property damage. As such, no systemic crash risks are considered to exist along this section of Woodvale Drive.

Figure 3-3 Crash Map



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

Table 3-3 Woodvale Drive Midblock Crashes

	Fatal	Hospital	Medical	PDO Major	PDO Minor	Total
Hit object	-	-	-	-	1	1
Total	-	-	-	-	1	1

Table 3-4 Woodvale Dr / Duffy Tce Intersection Crashes

	Fatal	Hospital	Medical	PDO Major	PDO Minor	Total
Right Angle	-	-	1	-	-	1
Right Turn thru	-	-	-	2	-	2
Total	-	-	1	2	-	3



TRANSPORT IMPACT ASSESSMENT

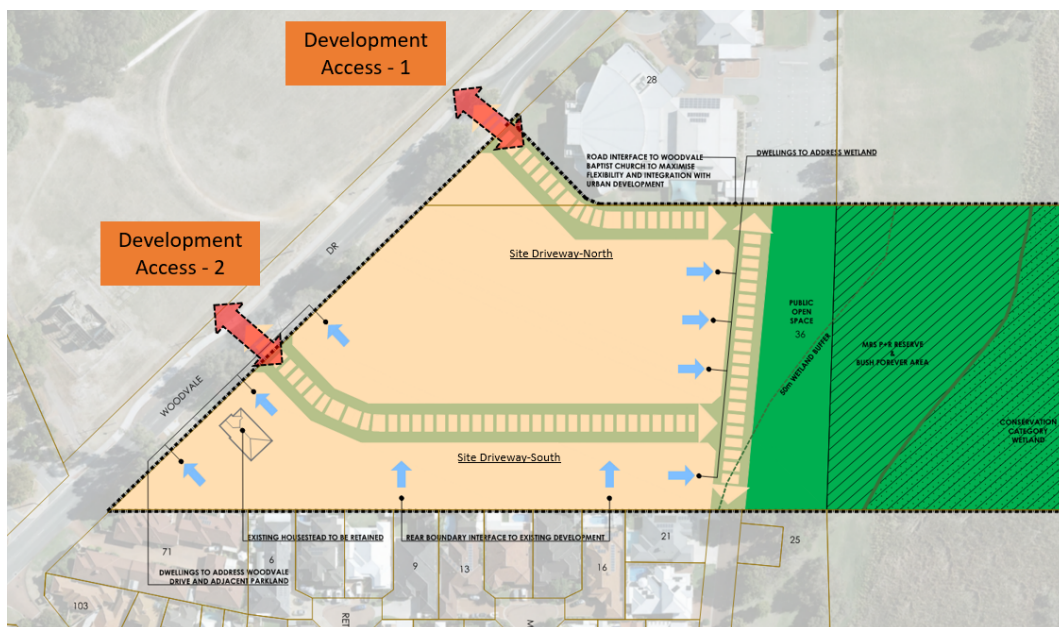
Lot 36 Woodvale Drive, Joondalup

4 PROPOSED INTERNAL TRANSPORT NETWORK

4.1 INTERNAL ROAD NETWORK / ACCESS

The proposed internal road network and access locations are shown in **Figure 4-1**.

Figure 4-1 Site Access



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

5 INTEGRATION WITH SURROUNDING AREA

5.1 SURROUNDING ATTRACTORS AND GENERATORS

The area surrounding the proposed development is primarily residential or park and recreational. Woodvale Secondary College is located almost immediately opposite the Site, while the Woodvale Baptist church is located directly north of the Site. The Site location and surrounding attractors / generators are shown in **Figure 5-1**.

Figure 5-1 Surrounding Attractors and Generators



5.2 ACCESSIBILITY TO SURROUNDING AREA

Woodvale Secondary College and the Woodvale Baptist Church are located within short walking distances of the Site, while access to bus service 467 is also located within short walking distance.

The 2 proposed accesses to Woodvale Drive will provide good vehicular access to the Site.



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

6 ANALYSIS OF TRANSPORT NETWORK**6.1 DEVELOPMENT TRAFFIC GENERATION**

Trip generation rates were sourced from the Trip Generation Manual 10th Edition from the Institute of Transportation Engineers ITE based on the land uses proposed for the Scheme Amendment. **Table 6-1** below shows the trip rates for the proposed land use. **Table 6-2** shows the directional distribution and

Table 6-3 shows the resultant trip generation.

As mentioned in the previous section, 38 individual residential units are proposed, and no future expansion is proposed on the land parcel. Trip generation for the proposed development is summarised below:

Table 6-1 Trip Generation Rate

Land Use	Source	AM Peak Rate	PM Peak Rate	Daily Rate
Residential	ITE 210	0.74 per dwelling	0.99 per dwelling	9.44 per dwelling

Table 6-2 Trip Directional Distribution

Land Use	AM Peak		PM Peak		Daily	
	In	Out	In	Out	In	Out
Residential	25%	75%	63%	37%	50%	50%

Table 6-3 Estimated Trip Generation

Land Use	Yield	AM Peak			PM Peak			Daily		
		Total	In	Out	Total	In	Out	Total	In	Out
Residential	38 dwellings	28	7	21	38	24	14	359	179	179

6.2 TRIP DISTRIBUTION

Figure 6-1 shows the assumed trip distribution for the proposed development. The majority of traffic (60%) is assumed to go to/from the north via Wanneroo Road, with the remaining 40% assumed to go to/from the south via Trappers Drive.

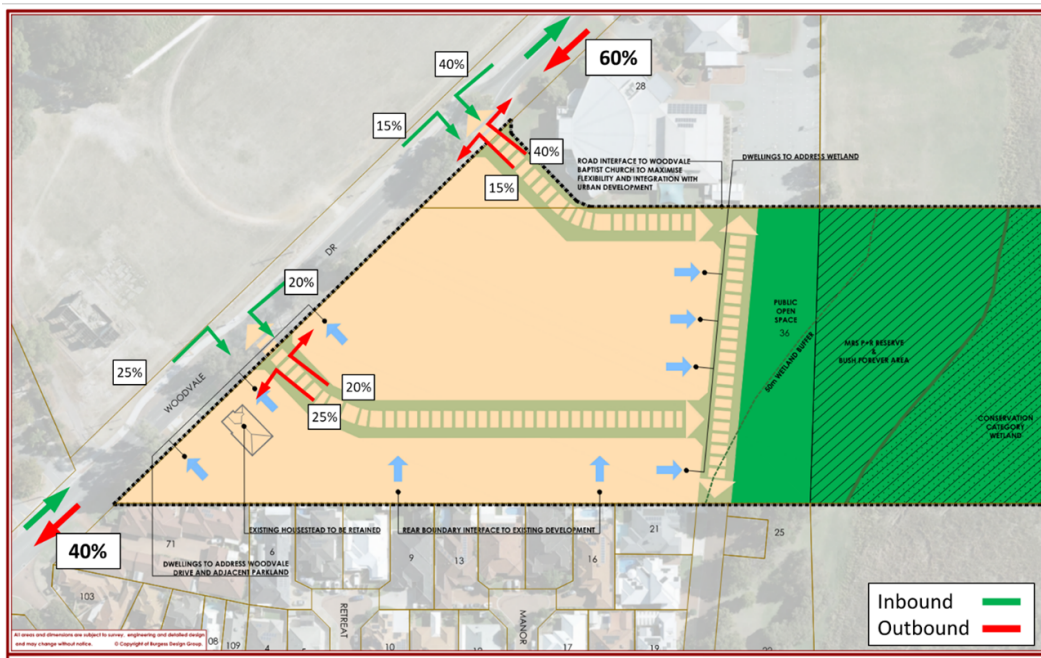


TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

It was also assumed that the majority of traffic going to/from the north would utilise the northern access, while traffic going to/from the south would utilise the southern traffic. The overall assumed trip distribution assumptions are shown in **Figure 6-1**.

Figure 6-1 Trip Distribution



6.3 BACKGROUND TRAFFIC

Background traffic data for the year 2022 was sourced from available traffic data via the Main Roads WA Trafficmap. The assumed opening year of the project is 2025. An annual growth rate of 3.0% was applied to the background (non-development) traffic volumes on Woodvale Drive for the purpose of this assessment.



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

6.4 KEY INTERSECTION ANALYSIS

6.4.1 SIDRA Results Definition

The proposed intersections at Woodvale Drive were analysed using SIDRA analysis program. This program calculates the performance of intersections based on input parameters, including geometry and traffic volumes. As an output SIDRA provides values for the Degree of Saturation (DOS), queue lengths, delays, level of service, and 95th Percentile Queue. These parameters are defined as follows:

- > Degree of Saturation (DOS) is the ratio of the arrival traffic flow to the capacity of the approach during the same period. The theoretical intersection capacity is exceeded for an unsignalized intersection where $DOS > 0.80$.
- > 95% Queue is the statistical estimate of the queue length up to or below which 95% of all observed queues would be expected.
- > Average Delay is the average of all travel time delays for vehicles through the intersection. An unsignalized intersection can be operating at capacity where the average delay exceeds 55 seconds for any movement; and
- > Level of Service (LOS) is the qualitative measure describing operational conditions within a traffic stream and the perception by motorists and/or passengers. The different levels of service can generally be described as shown in **Table 6-4**.

Table 6-4 Level of Service (LoS) Performance Criteria

LOS	Description	Signalised Intersection	Unsignalized Intersection
A	Free-flow operations (best condition)	≤10 sec	≤10 sec
B	Reasonable free-flow operations	10-20 sec	10-15 sec
C	At or near free-flow operations	20-35 sec	15-25 sec
D	Decreasing free-flow levels	35-55 sec	25-35 sec
E	Operations at capacity	55-80 sec	35-50 sec
F	A breakdown in vehicular flow (worst condition)	≥80 sec	≥50 sec

The detailed SIDRA outputs are provided in **Appendix B**.

6.4.2 Peak Hour Traffic Flows

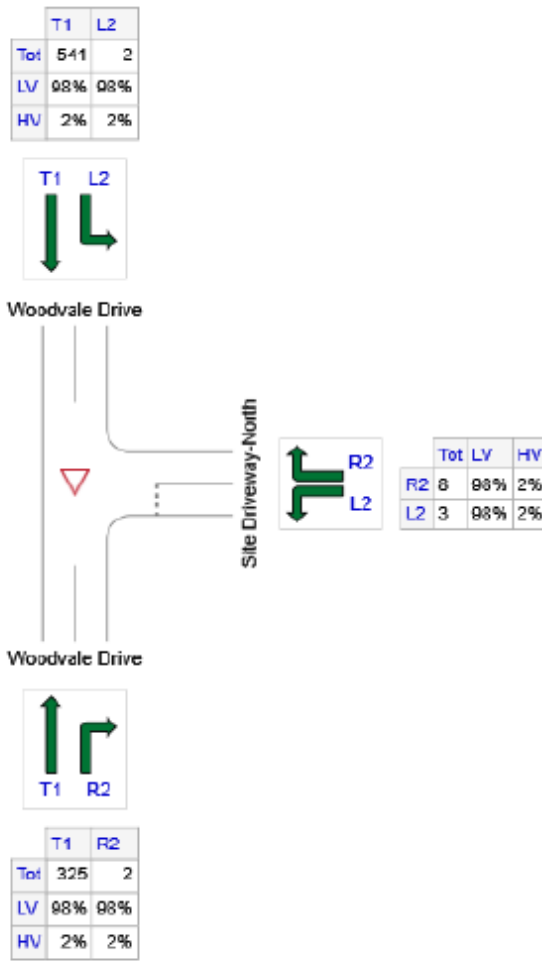
Figure 6-2 to Figure 6-5 show the full-build year peak hour traffic flows for both accesses to the development.



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

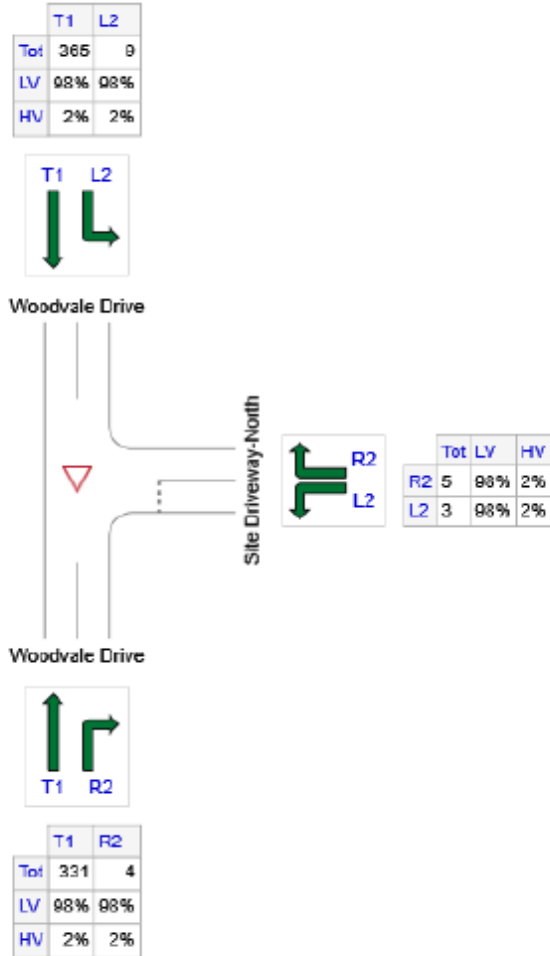
Figure 6-2 Development Access -1 – AM Peak volume



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

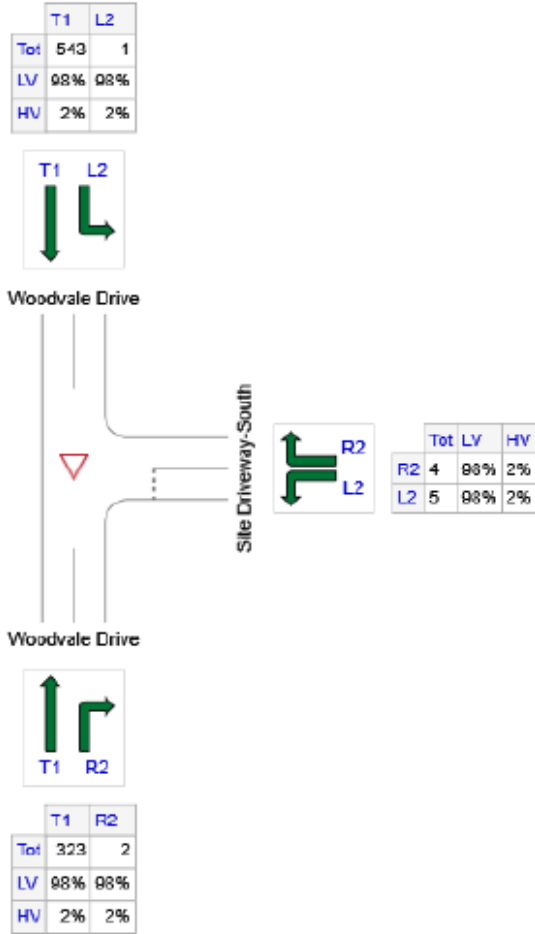
Figure 6-3 Development Access -1 – PM Peak volume



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

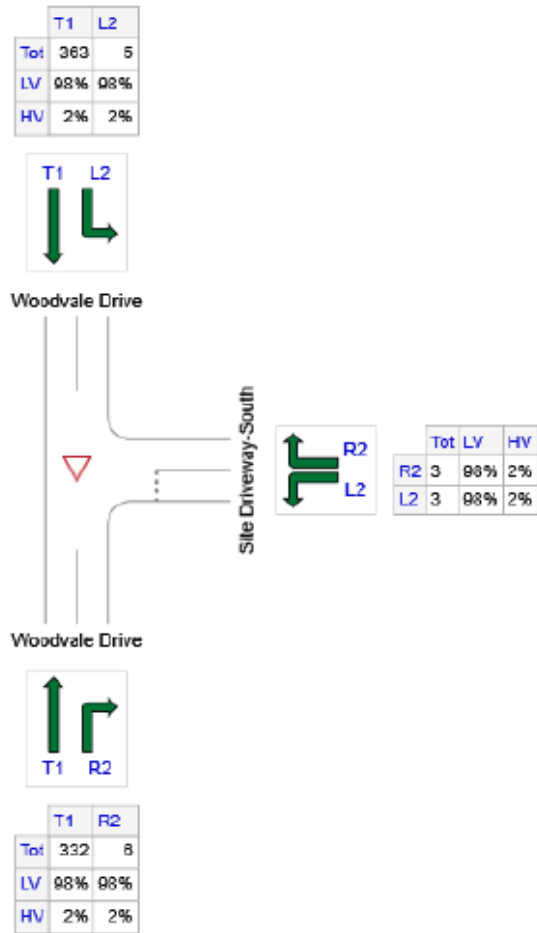
Figure 6-4 Development Access - 2 – AM Peak volume



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

Figure 6-5 Development Access - 2 - PM Peak volume



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

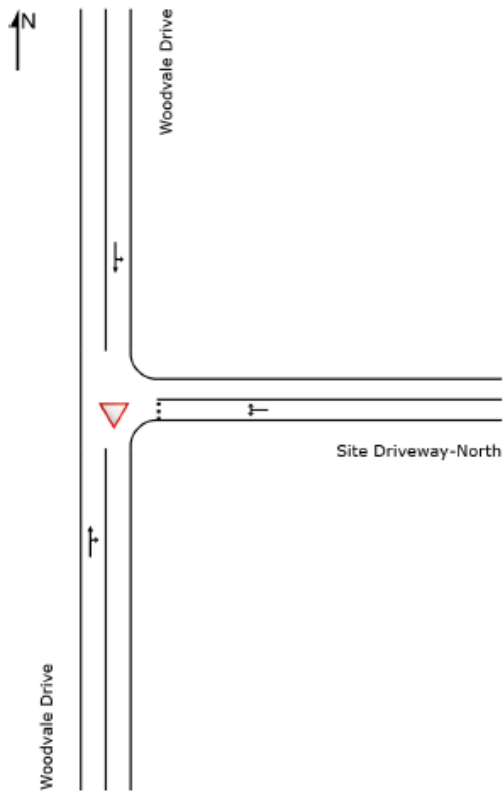
6.4.3 Woodvale Drive and Project Accesses

The SIDRA layouts of Woodvale Drive / Northern Access and Woodvale Drive/Southern Access are shown in

Figure 6-6 and Figure 6-7. The analysis results for the intersections are presented in **Table 6-5 and Table 6-6.**

The results show that the proposed intersections of the Woodvale Drive and project accesses would operate satisfactorily for the assessed scenarios.

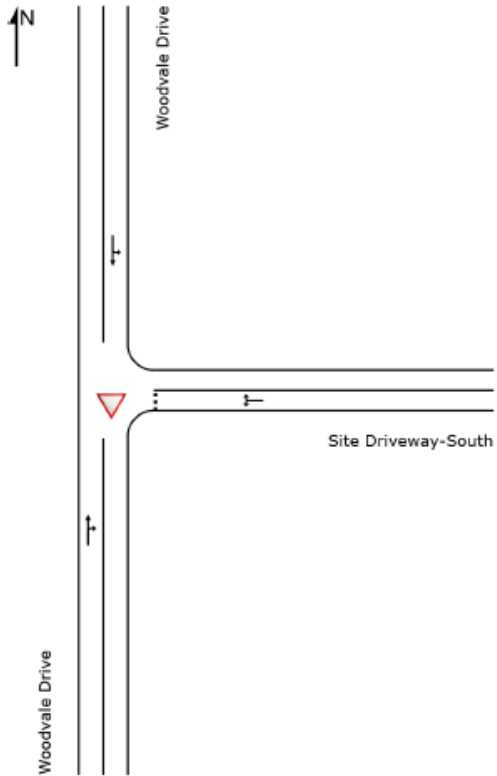
Figure 6-6 Woodvale Drive/Development Access-1 SIDRA Layout



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

Figure 6-7 Woodvale Drive/Development Access-2 SIDRA Layout



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

Table 6-5 Woodvale Drive/Development Access-1 SIDRA Results

Intersection Approach		Year 2025							
		AM Peak				PM Peak			
		DOS	Delay	LOS	95% Queue (m)	DOS	Delay	LOS	95% Queue (m)
South: Woodvale Drive	T	0.174	0.0	A	0.2	0.178	0.0	A	0.3
	R	0.174	8.5	A	0.2	0.178	7.3	A	0.3
East: Site Driveway-North	L	0.022	7.9	A	0.5	0.012	6.9	A	0.3
	R	0.022	11.1	B	0.5	0.012	9.2	A	0.3
North: Woodvale Drive	L	0.287	5.6	A	0.0	0.198	5.6	A	0.0
	T	0.287	0.0	A	0.0	0.198	0.0	A	0.0
All Vehicles		0.287	0.2	A	0.5	0.198	0.2	A	0.3

Table 6-6 Woodvale Drive/Development Access-2 SIDRA Results

Intersection Approach		Year 2025							
		AM Peak				PM Peak			
		DOS	Delay	LOS	95% Queue (m)	DOS	Delay	LOS	95% Queue (m)
South: Woodvale Drive	T	0.173	0.0	A	0.2	0.181	0.0	A	0.5
	R	0.173	8.5	A	0.2	0.181	7.2	A	0.5
East: Site Driveway-South	L	0.015	7.9	A	0.3	0.008	6.8	A	0.2
	R	0.015	11.1	B	0.3	0.008	9.2	A	0.2
North: Woodvale Drive	L	0.287	5.6	A	0.0	0.194	5.6	A	0.0
	T	0.287	0.0	A	0.0	0.194	0.0	A	0.0
All Vehicles		0.287	0.2	A	0.3	0.194	0.2	A	0.5



TRANSPORT IMPACT ASSESSMENT

Lot 36 Woodvale Drive, Joondalup

7 SUMMARY

This assessment has been prepared in accordance with the *WAPC Transport Assessment Guidelines for Developments: Volume 2 – Planning Schemes, Structure Plans, and Activity Centre*.

The following conclusions have been made regarding the proposed development:

- > The concept plan proposes 38 individual residential dwelling units.
- > The Site is proposed to be accessed via two new intersections on Woodvale Drive.
- > The Site is expected to generate 28 trips during the AM peak hour and 38 trips during the PM peak hour.
- > Analysis of the proposed intersections has been undertaken using SIDRA software and the result of analysis shows that the proposed intersections will operate satisfactorily.
- > Overall, the traffic impacts associated with the proposed development will be minimal on the internal and external transport network.



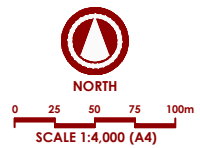
TRANSPORT IMPACT ASSESSMENT

APPENDIX A
Proposed Site Layout

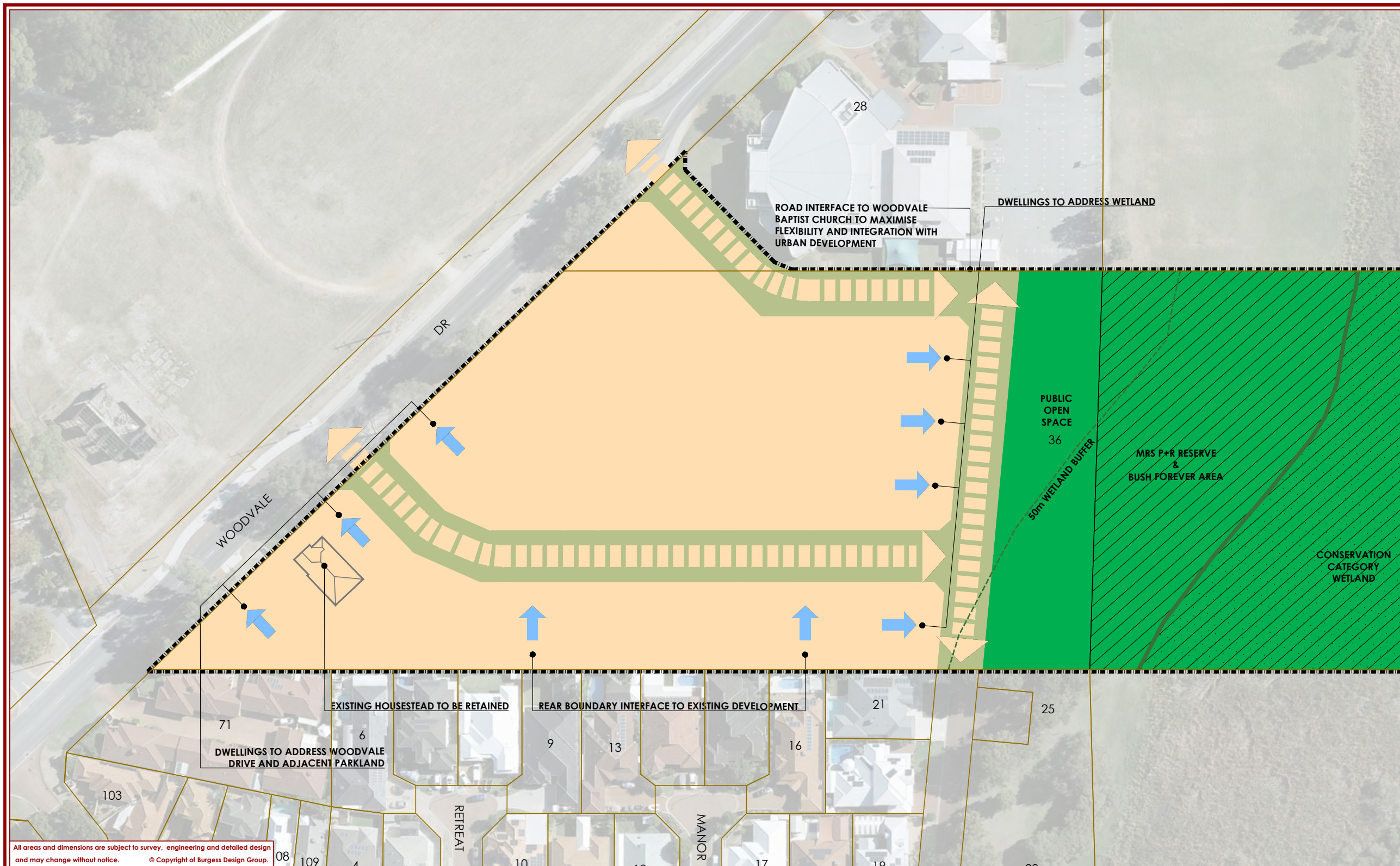




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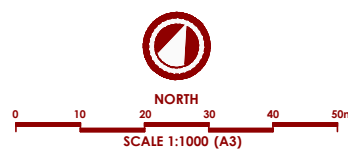
**PROPOSED SCHEME AMENDMENT
LOCAL PLANNING SCHEME NO.3
WOODVALE**



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LEGEND	
	Subject Land

CONCEPT PLAN
LOT 28 & 36 WOODVALE DRIVE
WOODVALE
CITY OF JOONDALUP

Plan No: NOB WOO 2-02b-0 Client: CLIENT
Date: 09.02.23 Planner: MB

TRANSPORT IMPACT ASSESSMENT

APPENDIX B
Detailed SIDRA Outputs



MOVEMENT SUMMARY

▽ Site: [Development Access-1-AM (Site Folder: General)]

AM Peak

Site Category: (None)

Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES		DEMAND FLOWS		Deg. Satn	Aver. Delay	Level of Service	95% BACK OF QUEUE		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed
		[Total veh/h]	[HV %]	[Total veh/h]	[HV %]				[Veh. veh]	[Dist. m]				
South: Woodvale Drive														
2	T1	325	2.0	342	2.0	0.174	0.0	LOS A	0.0	0.2	0.01	0.00	0.01	59.8
3	R2	2	2.0	2	2.0	0.174	8.5	LOS A	0.0	0.2	0.01	0.00	0.01	54.4
Approach		327	2.0	344	2.0	0.174	0.1	NA	0.0	0.2	0.01	0.00	0.01	59.8
East: Site Driveway-North														
4	L2	3	2.0	3	2.0	0.022	7.9	LOS A	0.1	0.5	0.60	0.77	0.60	40.2
6	R2	8	2.0	8	2.0	0.022	11.1	LOS B	0.1	0.5	0.60	0.77	0.60	39.7
Approach		11	2.0	12	2.0	0.022	10.2	LOS B	0.1	0.5	0.60	0.77	0.60	39.8
North: Woodvale Drive														
7	L2	2	2.0	2	2.0	0.287	5.6	LOS A	0.0	0.0	0.00	0.00	0.00	55.5
8	T1	541	2.0	569	2.0	0.287	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	59.8
Approach		543	2.0	572	2.0	0.287	0.1	NA	0.0	0.0	0.00	0.00	0.00	59.8
All Vehicles		881	2.0	927	2.0	0.287	0.2	NA	0.1	0.5	0.01	0.01	0.01	59.4

Site Level of Service (LOS) Method: Delay (SIDRA). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

Delay Model: SIDRA Standard (Geometric Delay is included).

Queue Model: SIDRA Standard.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

MOVEMENT SUMMARY

▽ Site: [Development Access-1-PM (Site Folder: General)]

AM Peak

Site Category: (None)

Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES		DEMAND FLOWS		Deg. Satn	Aver. Delay	Level of Service	95% BACK OF QUEUE		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed
		[Total veh/h]	[HV %]	[Total veh/h]	[HV %]				[Veh. veh]	[Dist m]				
South: Woodvale Drive														
2	T1	331	2.0	348	2.0	0.178	0.0	LOS A	0.0	0.3	0.02	0.01	0.02	59.7
3	R2	4	2.0	4	2.0	0.178	7.3	LOS A	0.0	0.3	0.02	0.01	0.02	54.3
Approach		335	2.0	353	2.0	0.178	0.1	NA	0.0	0.3	0.02	0.01	0.02	59.6
East: Site Driveway-North														
4	L2	3	2.0	3	2.0	0.012	6.9	LOS A	0.0	0.3	0.47	0.66	0.47	42.5
6	R2	5	2.0	5	2.0	0.012	9.2	LOS A	0.0	0.3	0.47	0.66	0.47	41.8
Approach		8	2.0	8	2.0	0.012	8.3	LOS A	0.0	0.3	0.47	0.66	0.47	42.1
North: Woodvale Drive														
7	L2	9	2.0	9	2.0	0.198	5.6	LOS A	0.0	0.0	0.00	0.01	0.00	55.3
8	T1	365	2.0	384	2.0	0.198	0.0	LOS A	0.0	0.0	0.00	0.01	0.00	59.6
Approach		374	2.0	394	2.0	0.198	0.2	NA	0.0	0.0	0.00	0.01	0.00	59.5
All Vehicles		717	2.0	755	2.0	0.198	0.2	NA	0.0	0.3	0.01	0.02	0.01	59.3

Site Level of Service (LOS) Method: Delay (SIDRA). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

Delay Model: SIDRA Standard (Geometric Delay is included).

Queue Model: SIDRA Standard.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

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Project: \\aupercfs02\IPT\Projects\CW1200524_304900879_Misc_Woodvale Drive TIA\5_Technical\Traffic\Modelling\Woodvale LSP TIA.sip9

MOVEMENT SUMMARY

▽ Site: [Development Access-2-AM (Site Folder: General)]

AM Peak

Site Category: (None)

Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES		DEMAND FLOWS		Deg. Satn	Aver. Delay	Level of Service	95% BACK OF QUEUE		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed
		[Total veh/h]	[HV %]	[Total veh/h]	[HV %]				[Veh. veh]	[Dist. m]				
South: Woodvale Drive														
2	T1	323	2.0	340	2.0	0.173	0.0	LOS A	0.0	0.2	0.01	0.00	0.01	59.8
3	R2	2	2.0	2	2.0	0.173	8.5	LOS A	0.0	0.2	0.01	0.00	0.01	54.4
Approach		325	2.0	342	2.0	0.173	0.1	NA	0.0	0.2	0.01	0.00	0.01	59.8
East: Site Driveway-South														
4	L2	5	2.0	5	2.0	0.015	7.9	LOS A	0.0	0.3	0.54	0.71	0.54	41.3
6	R2	4	2.0	4	2.0	0.015	11.1	LOS B	0.0	0.3	0.54	0.71	0.54	40.7
Approach		9	2.0	9	2.0	0.015	9.3	LOS A	0.0	0.3	0.54	0.71	0.54	41.1
North: Woodvale Drive														
7	L2	1	2.0	1	2.0	0.287	5.6	LOS A	0.0	0.0	0.00	0.00	0.00	55.5
8	T1	543	2.0	572	2.0	0.287	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	59.8
Approach		544	2.0	573	2.0	0.287	0.0	NA	0.0	0.0	0.00	0.00	0.00	59.8
All Vehicles		878	2.0	924	2.0	0.287	0.2	NA	0.0	0.3	0.01	0.01	0.01	59.5

Site Level of Service (LOS) Method: Delay (SIDRA). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

Delay Model: SIDRA Standard (Geometric Delay is included).

Queue Model: SIDRA Standard.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

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Project: \\aupercfs02\IPT\Projects\CW1200524_304900879_Misc_Woodvale Drive TIA\5_Technical\Traffic\Modelling\Woodvale LSP TIA.sip9

MOVEMENT SUMMARY

▽ Site: [Development Access-2-PM (Site Folder: General)]

AM Peak

Site Category: (None)

Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES		DEMAND FLOWS		Deg. Satn	Aver. Delay	Level of Service	95% BACK OF QUEUE		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed
		[Total veh/h]	[HV %]	[Total veh/h]	[HV %]				[Veh. veh]	[Dist m]				
South: Woodvale Drive														
2	T1	332	2.0	349	2.0	0.181	0.1	LOS A	0.1	0.5	0.02	0.01	0.02	59.5
3	R2	6	2.0	6	2.0	0.181	7.2	LOS A	0.1	0.5	0.02	0.01	0.02	54.1
Approach		338	2.0	356	2.0	0.181	0.2	NA	0.1	0.5	0.02	0.01	0.02	59.4
East: Site Driveway-South														
4	L2	3	2.0	3	2.0	0.008	6.8	LOS A	0.0	0.2	0.46	0.63	0.46	42.9
6	R2	3	2.0	3	2.0	0.008	9.2	LOS A	0.0	0.2	0.46	0.63	0.46	42.2
Approach		6	2.0	6	2.0	0.008	8.0	LOS A	0.0	0.2	0.46	0.63	0.46	42.5
North: Woodvale Drive														
7	L2	5	2.0	5	2.0	0.194	5.6	LOS A	0.0	0.0	0.00	0.01	0.00	55.4
8	T1	363	2.0	382	2.0	0.194	0.0	LOS A	0.0	0.0	0.00	0.01	0.00	59.7
Approach		368	2.0	387	2.0	0.194	0.1	NA	0.0	0.0	0.00	0.01	0.00	59.7
All Vehicles		712	2.0	749	2.0	0.194	0.2	NA	0.1	0.5	0.01	0.01	0.01	59.3

Site Level of Service (LOS) Method: Delay (SIDRA). Site LOS Method is specified in the Parameter Settings dialog (Site tab).

Vehicle movement LOS values are based on average delay per movement.

Minor Road Approach LOS values are based on average delay for all vehicle movements.

NA: Intersection LOS and Major Road Approach LOS values are Not Applicable for two-way sign control since the average delay is not a good LOS measure due to zero delays associated with major road movements.

Delay Model: SIDRA Standard (Geometric Delay is included).

Queue Model: SIDRA Standard.

Gap-Acceptance Capacity: SIDRA Standard (Akçelik M3D).

HV (%) values are calculated for All Movement Classes of All Heavy Vehicle Model Designation.

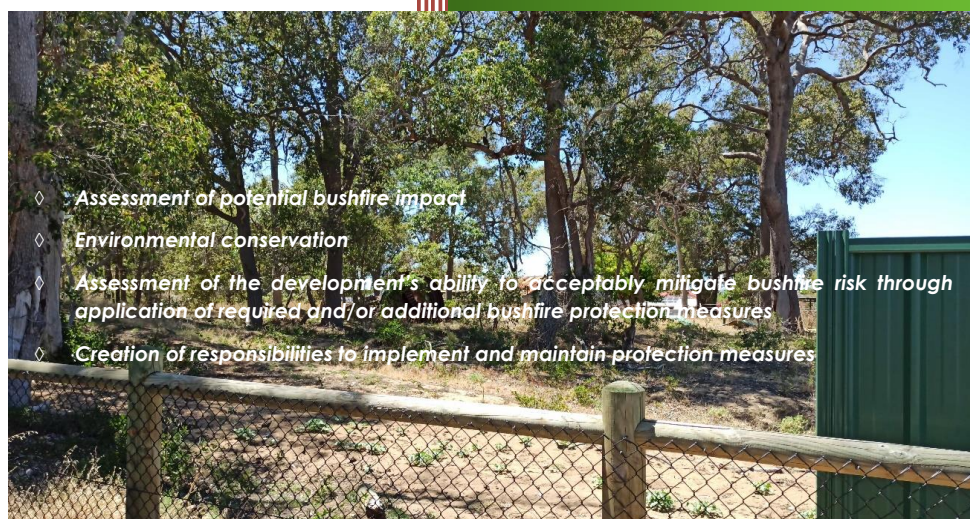
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Bushfire Management Plan (BMP)



- ◇ Assessment of potential bushfire impact
- ◇ Environmental conservation
- ◇ Assessment of the development's ability to acceptably mitigate bushfire risk through application of required and/or additional bushfire protection measures
- ◇ Creation of responsibilities to implement and maintain protection measures

Produced to meet the relevant requirements of STATE PLANNING POLICY 3.7 Planning in Bushfire Prone Areas & Guidelines

36 Woodvale Drive,
Woodvale

City of Joondalup

Local Planning Scheme Amendment

17 March 2023

Job Reference No:
220595

<p>BPP GROUP PTY LTD T/A BUSHFIRE PRONE PLANNING</p> <p>ACN: 39 166 551 784 ABN: 39 166 551 784</p> <p>LEVEL 1, 159-161 JAMES STREET GUILDFORD WA 6055</p> <p>PO BOX 388 GUILDFORD WA 6935</p> <p>08 6477 1144 admin@bushfireprone.com.au</p>	 <p>BUSHFIRE PRONE PLANNING</p>
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DOCUMENT CONTROL



PREPARATION					
Author:	Gearoid Fitzmaurice				
Reviewed:	Kathy Nastov (BPAD Level 3 No. 27794)				
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Version	Details			Date	
1.0	Original			9 December 2022	
2.0	Site layout updates			17 March 2023	
BMP (Master) Template v9.13					
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Jon Burgess	jon@burgessdesigngroup.com.au	2.0		<input type="checkbox"/>	<input checked="" type="checkbox"/>
		-		<input type="checkbox"/>	<input type="checkbox"/>
<p>Limitations: The protection measures that will be implemented based on information presented in this Bushfire Management Plan are minimum requirements and they do not guarantee that buildings or infrastructure will not be damaged in a bushfire, persons injured, or fatalities occur either on the subject site or off the site while evacuating.</p> <p>This is substantially due to the unpredictable nature and behaviour of fire and fire weather conditions. Additionally, the correct implementation of the required protection measures (including bushfire resistant construction) and any other required or recommended measures, will depend upon, among other things, the ongoing actions of the landowners and/or operators over which Bushfire Prone Planning has no control.</p> <p>All surveys, forecasts, projections and recommendations made in this report associated with the proposed development are made in good faith based on information available to Bushfire Prone Planning at the time. All maps included herein are indicative in nature and are not to be used for accurate calculations.</p> <p>Notwithstanding anything contained therein, Bushfire Prone Planning will not, except as the law may require, be liable for any loss or other consequences whether or not due to the negligence of their consultants, their servants or agents, arising out of the services provided by their consultants.</p> <p>Copyright © 2022 BPP Group Pty Ltd: All intellectual property rights, including copyright, in format and proprietary content contained in documents created by Bushfire Prone Planning, remain the property of BPP Group Pty Ltd. Any use made of such format or content without the prior written approval of Bushfire Prone Planning, will constitute an infringement on the rights of the Company which reserves all legal rights and remedies in respect of any such infringement.</p>					



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SUMMARY STATEMENTS

THIS DOCUMENT – STATEMENT OF PURPOSE

The Bushfire Management Plan (BMP)

The BMP sets out the required package of bushfire protection measures to lessen the risks associated with a bushfire event. It establishes the responsibilities to implement and maintain these measures.

The BMP also identifies the potential for any negative impact on any environmental, biodiversity and conservation values that may result from the application of bushfire protection measures or that may limit their implementation.

Risks Associated with Bushfire Events

The relevant risks are the potential for loss of life, injury, or destroyed or damaged assets which results in personal loss and economic loss. For a given site, the level of that risk to persons and assets (the exposed elements) is a function of the potential threat levels generated by the bushfire hazard, and the level of exposure and vulnerability of the at risk elements to the threats.

Bushfire Protection Measures

The required package of protection measures is established by *State Planning Policy 3.7 Planning in Bushfire Prone Areas (SPP 3.7)*, its associated *Guidelines* and any other relevant guidelines or position statements published by the Department of Planning, Lands and Heritage. These measures are limited to those considered by the WA planning authorities as necessary to be addressed for the purpose of land use planning. They do not encompass all available bushfire protection measures as many are not directly relevant to the planning approval stage. For example:

- Protection measures to reduce the vulnerability of buildings to bushfire threats is primarily dealt with at the building application stage. They are implemented through the process of applying the Building Code of Australia (Volumes 1 and 2 of the national Construction Code) in accordance with WA building legislation and the application of construction requirements based on a building's level of exposure - determined as a Bushfire Attack Level (BAL) rating); or
- Protection measures to reduce the threat levels of consequential fire (ignited by bushfire and involving combustible materials surrounding and within buildings) and measures to reduce the exposure and vulnerability of elements at risk exposed to consequential fire, are not specifically considered.

The package of required bushfire protection measures established by the Guidelines includes:

- The requirements of the bushfire protection criteria which consist of:
 - Element 1: Location (addresses threat levels).
 - Element 2: Siting and Design of Development (addresses exposure levels of buildings).
 - Element 3: Vehicular Access (addresses exposure and vulnerability levels of persons).
 - Element 4: Water (addresses vulnerability levels of buildings).
 - Element 5: Vulnerable Tourism Land Uses (addresses exposure and vulnerability as per Elements 1-4 but in use specific ways and with additional considerations of persons exposure and vulnerability).
- The requirement to develop Bushfire Emergency Plans / Information for 'vulnerable' land uses for persons to prepare, respond and recover from a bushfire event (this addresses vulnerability levels).
- The requirement to assess bushfire risk and incorporate relevant protection measures into the site emergency plans for 'high risk' land uses (this addresses threat, exposure and vulnerability levels).

Compliance of the Proposed Development or Use with SPP 3.7 Requirements

The BMP assesses the capacity of the proposed development or use to implement and maintain the required 'acceptable' solutions and any additionally recommended bushfire protection measures - or its capacity to satisfy the policy intent through the justified application of additional bushfire protection measures as supportable 'alternative' solutions.



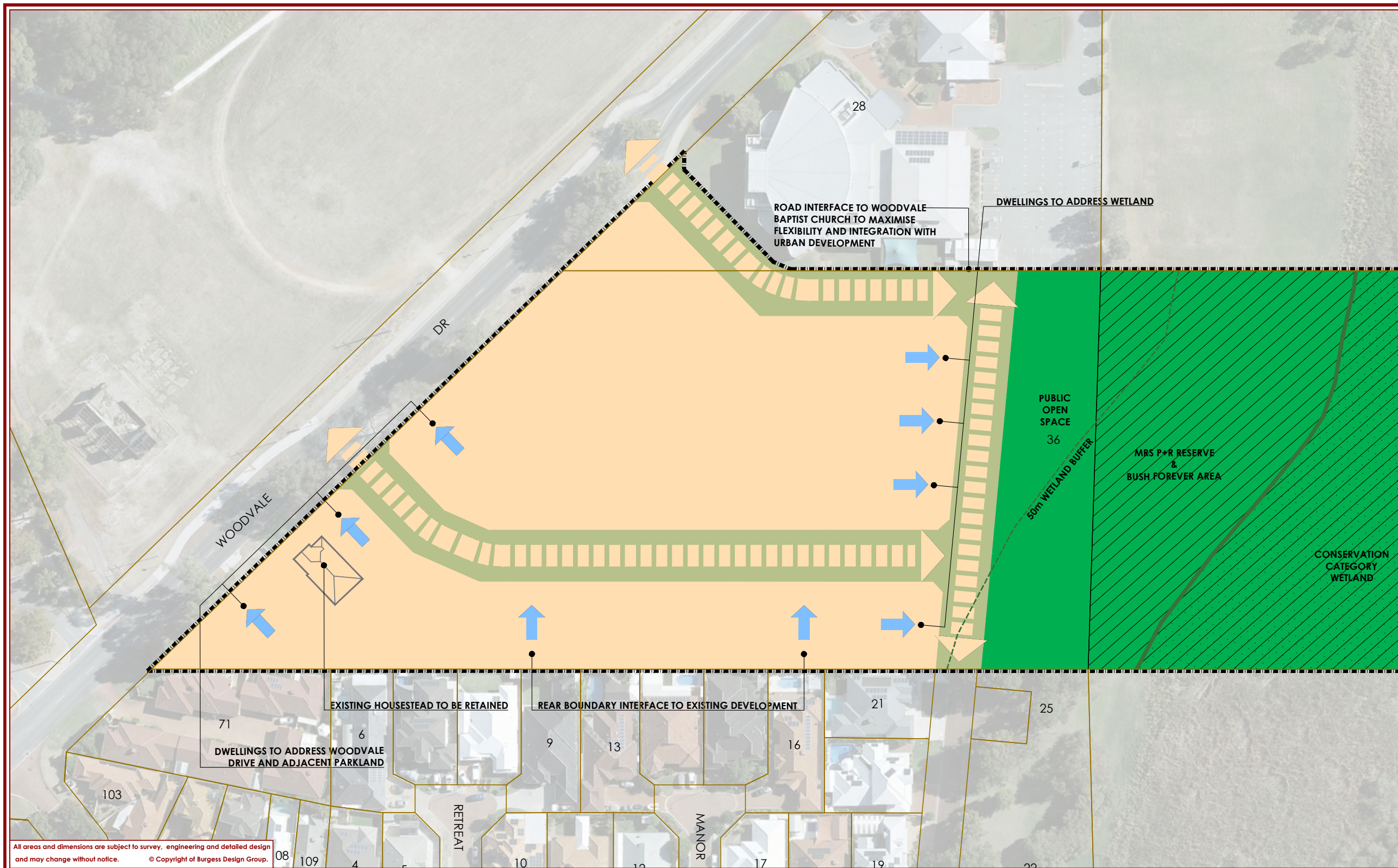
THE PROPOSED DEVELOPMENT/USE – BUSHFIRE PLANNING COMPLIANCE SUMMARY		
Environmental Considerations		Assessment Outcome
Will identified environmental, biodiversity and conservation values limit the full application of the required bushfire protection measures?		No
Will identified environmental, biodiversity and conservation values need to be managed in the implementation and maintenance of the bushfire protection measures - but not limit their application?		No
Required Bushfire Protection Measures The Acceptable Solutions of the Bushfire Protection Criteria (Guidelines)		Assessment Outcome
Element	The Acceptable Solutions	
1: Location	A1.1 Development location	Fully Compliant
2: Siting and Design of Development	A2.1 Asset Protection Zone (APZ)	Fully Compliant
3: Vehicular Access	A3.1 Public roads	Fully Compliant
	A3.2a Multiple access routes	Fully Compliant
	A3.2b Emergency access way	N/A
	A3.3 Through-roads	N/A
	A3.4a Perimeter roads	Fully Compliant
	A3.4b Fire service access route	N/A
	A3.5 Battle-axe legs	N/A
	A3.6 Private driveways	N/A
4: Water	A4.1 Identification of future water supply	N/A
	A4.2 Provision of water for firefighting purposes	N/A



1 PROPOSAL DETAILS AND THE BUSHFIRE MANAGEMENT PLAN

1.1 The Proposed Development/Use Details, Plans and Maps

The Proposal's Planning Stage For which certain bushfire planning documents are required to accompany the planning application.		Local Planning Scheme Amendment
Total Area of Subject Lot/Site		4.43 hectares
Number of Additional Lots Created		N/A
Primary Proposed Construction	Type(s)	N/A
	NCC Classification	N/A
Specific 'Bushfire Planning' Land Use Type When applicable, this classification establishes a requirement to conduct assessments and develop documents that are additional to this Bushfire Management Plan.		N/A
Description of the Proposed Development/Use		
Scheme amendment to rezone the site from 'Rural' to 'Residential' under the City of Joondalup Local Planning Scheme No.3. Following the Scheme Amendment, a subdivision is proposed to subdivide the existing Lot into 38 residential Lots, and 1 Public Open Space (POS). This BMP deals with the rezoning application.		
Description of Planned Staged Development and the Management of Potential Bushfire Planning Issues		
N/A		



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0 10 20 30 40 50m
SCALE 1:1000 (A3)

LEGEND
 Subject Land

Plan No: NOB WOO 2-02b-0 Client: CLIENT
Date: 09.02.23 Planner: MB

CONCEPT PLAN
LOT 28 & 36 WOODVALE DRIVE
WOODVALE
CITY OF JOONDALUP

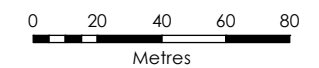


Figure 1.2
Proposed Development

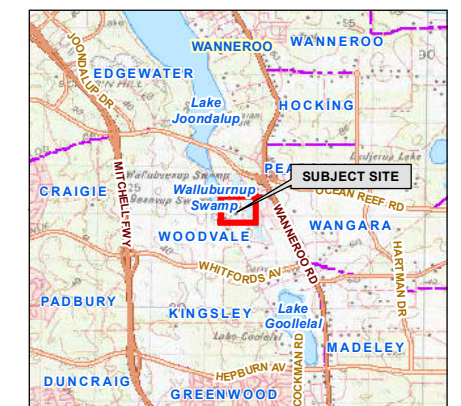
Lot 36 on Diagram 032799, Area : 4.3648 ha
 and Part Lot 28
 Woodvale Drive,
 WOODVALE 6026
CITY OF JOONDALUP

- **LEGEND** -----
- Subject Site
 - Other Lots
 - H Hydrant
 - Indicative Subdivision

**NOTE : SUBDIVISION DETAIL IS INDICATIVE ONLY
 AND SUBJECT TO REVISION**



----- **LOCALITY** -----



Aerial Imagery : Landgate/SLIP
 Image Date : Oct 2022

Coordinate System: GDA 1994 MGA Zone 50
 Projection: Universal Transverse Mercator Units: Metre
 Map compiled by: Ian Ross 17/03/2023
 Map updated by: Ian Ross 17/03/2023
 A3 Scale 1:2,000

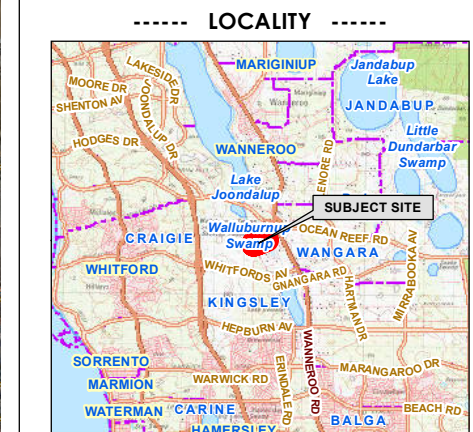
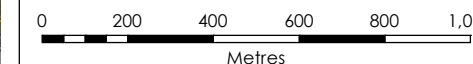
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 Map Document Path / Name: K:\Projects\Jobs 2022\220594 - Lot 36 (95) Woodvale Drive Woodvale (BMP SD)\220594 - BMP SD - Jul 2022\Mapping\MXD\220594_Fig1-2_DEV_Lot36 95 Woodvale Dve.mxd



Figure 1.3
Location Plan

Lot 36 on Diagram 032799, Area : 4.3648 ha
and Part Lot 28
Woodvale Drive,
WOODVALE 6026
CITY OF JOONDALUP

- **LEGEND** -----
- Subject Site
 - Local Government Authority
 - Locality / Suburb
 - Career Fire & Rescue Service
- Reserves**
- Reserves
- Legislated Lands and Waters**
- Crown Freehold - DBCA Managed
 - Nature Reserve
 - Section 5(1)(h) Reserve
- DBCA Lands of Interest**
- Crown Freehold - Dept Interest
 - Bush Forever



Aerial Imagery : Landgate/SLIP
Image Date : Oct 2022

Coordinate System: GDA 1994 MGA Zone 50
Projection: Universal Transverse Mercator Units: Metre
Map compiled by: Ian Ross 17/03/2023
Map updated by: Ian Ross 17/03/2023
A3 Scale 1:15,000

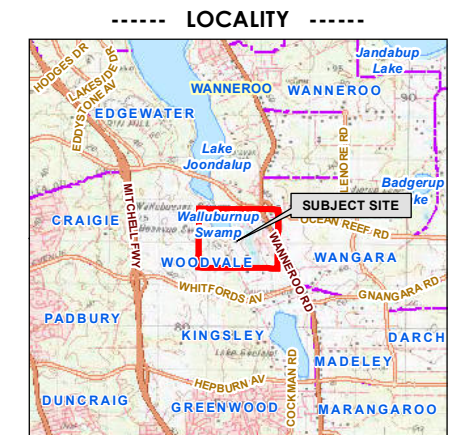
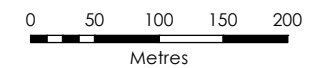
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Figure 1.4
Bushfire Prone Area

Lot 36 on Diagram 032799, Area : 4.3648 ha
and Part Lot 28
Woodvale Drive,
WOODVALE 6026
CITY OF JOONDALUP

- **LEGEND** -----
- Subject Site
 - Other Lots
 - H Hydrant
 - Indicative Subdivision
- Bush Fire Prone Areas**
- Bushfire Prone Areas (2021)



Aerial Imagery : Landgate/SLIP
Image Date : Oct 2022

Coordinate System: GDA 1994 MGA Zone 50
Projection: Universal Transverse Mercator Units: Metre
Map compiled by: Ian Ross 17/03/2023
Map updated by: Ian Ross 17/03/2023
A3 Scale 1:5,000

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Map Document Path / Name: K:\Projects\Jobs 2022\220594 - Lot 36 (95) Woodvale Drive Woodvale (BMP SD)\220594 - BMP SD - Jul 2022\Mapping\MXD\220594_Fig1-4_BPA_Lot36 95 Woodvale Dve.mxd



1.2 The Bushfire Management Plan (BMP)

1.2.1 Commissioning and Purpose

Landowner / proponent:	Noble Hodge
Bushfire Prone Planning commissioned to produce the BMP by:	Burgess Design Group
Purpose of the BMP:	To apply the requirements established by State Planning Policy 3.7: Planning in Bushfire Prone Areas (SPP 3.7) and accompany the planning proposal.
BMP to be submitted to:	City of Joondalup

1.2.2 Existing Documents with Implications for Development of this BMP

This section identifies any known assessments, reports or plans that have been conducted and prepared previously, or are being prepared concurrently, and are relevant to the subject site and the proposal/application. They potentially have implications for the assessment of bushfire threats and the implementation of the protection measures that are dealt with in the Bushfire Management Plan.

Table 1.4: Existing documents that may impact threat assessments and protection measure development.

EXISTING RELEVANT DOCUMENTS			
Existing Document	Relevant to the Proposal and the BMP	Copy Provided by Proponent / Developer	Title
Structure Plan	Yes	Yes	NOB WOO 2-02b 01 Concept Plan
Implications for the BMP: Preliminary Subdivision Concept Plan – for future land use.			
Bushfire Management Plan	No	N/A	
Implications for the BMP: None.			
Bushfire Emergency Plan or Information	No	N/A	
Implications for the BMP: None.			
Bushfire Risk – Assessment and Management Report	No	N/A	
Implications for the BMP: None.			
Environmental Asset or Vegetation Survey	No	N/A	
Implications for the BMP: None			
Landscaping (Revegetation) Plan	No	N/A	
Implications for the BMP: None.			



2 ENVIRONMENTAL CONSERVATION (DESKTOP ASSESSMENT)

Important: This 'desktop' assessment must not be considered as a replacement for a full Environmental Impact Assessment. It is a summary of potential environmental values at the subject site, inferred from information contained in listed datasets and/or reports, which are only current to the date of last modification.

These data sources must be considered indicative where the subject site has not previously received a site-specific environmental assessment by an appropriate professional.

Many bushfire prone areas also have high biodiversity values. Consideration of environmental priorities within the boundaries of the land being developed can avoid excessive or unnecessary modification or clearing of vegetation. Approval processes (and exemptions) apply at both Commonwealth and State levels.

Any 'modification' or 'clearing' of vegetation to reduce bushfire risk is considered 'clearing' under the **Environmental Protection Act 1986** (EP Act) and requires a clearing permit under the **Environmental Protection (Clearing of Native Vegetation) Regulations 2004** (Clearing Regulations) – unless for an exempt purpose.

Clearing native vegetation is an offence, unless done under a clearing permit or the clearing is for an exempt purpose. Exemptions are contained in the EP Act or are prescribed in the Clearing Regulations (note: these do not apply in environmentally sensitive areas).

The **Department of Water and Environmental Regulation** (DWER) is responsible for issuing 'clearing' permits and the framework for the regulation of clearing. Approvals under other legislation, from other agencies, may also be required, dependent on the type of flora or fauna present.

Local Planning Policy or Local Biodiversity Strategy: Natural areas that are not protected by the above Act and Regulation (or any other National or State Acts) may be protected by a local planning policy or local biodiversity strategy. Permission from the local government will be required for any modification or removal of native vegetation in these Local Natural Areas (LNA's). Refer to the relevant local government for detail.

For further Information refer to Guidelines v1.4, the Bushfire and Vegetation Factsheet - WAPC, Dec 2021 and <https://www.der.wa.gov.au/our-work/clearing-permits>



2.1 Existing Vegetation on Private Land

2.1.1 Declared Environmentally Sensitive Areas (ESA)

Table 2.1: Identification of relevant ESA.

IDENTIFICATION OF ESA							
ESA Class	Relevant to Proposal	Influence on Bushfire Threat Levels and / or Application of Bushfire Protection Measures	Relevant Dataset	Information Source(s) Applied to Identification of Relevant Vegetation			Further Action Required
				Dataset	Landowner or Developer	Environmental Asset or Vegetation Survey	
Wetlands and their 50m Buffer (Ramsar, conservation category and nationally important)	No	N/A	DBCA-010 and 011, 019, 040, 043, 044	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None
Bush Forever	Yes	Yes-Minor	DPLH-022, SPP 2.8	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Confirm with relevant agency
Threatened and Priority Flora + 50m Continuous Buffer	No	No	DBCA-036	Restricted Scale of Data Available (security)	<input type="checkbox"/>	<input type="checkbox"/>	None
Threatened Ecological Community	No	No	DBCA-038		<input type="checkbox"/>	<input type="checkbox"/>	None
Heritage Areas National / World	No	No	Relevant register or mapping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None
Environmental Protection (Western Swamp Tortoise) Policy 2002	No	No	DWER-062	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None

DESCRIPTION OF THE IDENTIFIED AREA(S) OF VEGETATION

Lot 36 includes an area of Bush Forever/ Sumpland which contains riparian vegetation (Figure 2-1). This exists outside of the proposed development footprint (Figure 2-1).



2.1.2 Locally Significant Conservation Areas – Local Natural Areas (LNA)

Table 2.2: Identification of locally significant conservation areas.

IDENTIFICATION OF LNA							
Land with Environmental, Biodiversity and Conservation Values	Relevant to Proposal	Influence on Bushfire Threat Levels and / or Application of Bushfire Protection Measures	Relevant Dataset	Information Source(s) Applied to Identification of Relevant Vegetation			Further Action Required
				Dataset	Landowner or Developer	Environmental Asset or Vegetation Survey	
Native Vegetation / Remnant Vegetation	Yes	No	LNA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Confirm with relevant agency
Riparian Zones	Possible	No		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Confirm with relevant agency
Foreshore Areas	No	No		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None
Habitat Vegetation and Wildlife Corridors	No	No		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None

DESCRIPTION OF THE IDENTIFIED AREA(S) OF VEGETATION

Lot 36 includes an area of Bush Forever/ Sumpland which contains riparian vegetation (Figure 2-1). This exists outside of the proposed development footprint (Figure 2-1).



2.2 Existing Vegetation on Public Land

Table 2.3: Identification of vegetation on public land with environmental, biodiversity and conservation values.

IDENTIFICATION OF PROTECTED VEGETATION ON PUBLIC LAND							
Land with Environmental, Biodiversity, Conservation and Social Values	Relevant to Proposal	Influence on Bushfire Threat Levels and / or Application of Bushfire Protection Measures	Relevant Dataset	Information Source(s) Applied to Identification of Relevant Vegetation			Further Action Required
				Dataset	Landowner or Developer	Environmental Asset or Vegetation Survey	
Legislated Lands (tenure includes national park/reserve, conservation park, crown reserve and state forest)	Yes	No	DBCA-011	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Confirm with relevant agency
Conservation Covenants	No	N/A	DPIRD-023	Only Available to Govt.	<input type="checkbox"/>	<input type="checkbox"/>	None
National World Heritage Areas	No	No	-	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None
Designated Public Open Space	No	No	-	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None

DESCRIPTION OF THE IDENTIFIED AREA(S) OF VEGETATION

Lot 36 includes an area of Crown Freehold legislated land (Figure 2-1). This exists outside of the proposed development footprint (Figure 2-1).

2.3 Planned Landscaping and/or Re-vegetation

Table 2.5: Identification of land subject to planned vegetation modification.

AREAS OF LAND PLANNED FOR RE-VEGETATION OR LANDSCAPING			
Land with Environmental, Biodiversity, Conservation and Social Values	Relevant to Proposal	Planned Vegetation Modification	Description
Riparian Zones	No	N/A	.
Foreshore Areas	No	N/A	
Wetland Buffers	No	N/A	
Legislated Lands	No	N/A	
Public Open Space	Yes	N/A	Existing public park Waterview Park (R 45894) is currently being managed by the City of Joondalup. Potential for landscaping/revegetation at the subdivision stage.
Road Verges	No	N/A	



2.4 Identified Requirement for Onsite Vegetation Modification or Removal

IDENTIFICATION OF POTENTIAL NATIVE VEGETATION MODIFICATION OR REMOVAL	
Has a requirement to modify or remove native vegetation to establish the required bushfire protection measures on the subject site been identified?	Yes
Comments: Lot 36 consists of an area of Native Forest vegetation with Eucalyptus trees up to 10m in height. These will need to be modified/removed as required.	
Is evidence provided (from relevant agencies, the environmental or planning consultant and/or the local government), that the required modification or removal of the vegetation can be achieved?	No
Comments: Proponent recognises that clearing and approval may be required during subdivision works to establish bushfire protection measures.	

2.5 Implications for the Proposed Development and the BMP

Table 2.6: Consideration of the implications that identified protected areas of vegetation (i.e., those with environmental and subject to conservation) have for the development proposal and the BMP.

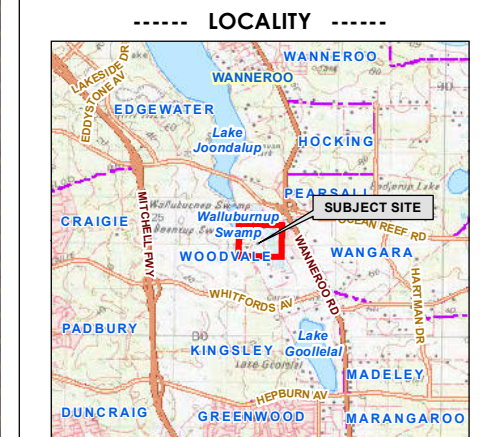
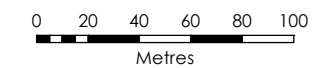
THE IMPLICATIONS FOR THE PROPOSED DEVELOPMENT (AND BMP) FROM THE IDENTIFIED 'PROTECTED' VEGETATION	
The Determination of Bushfire Threat Levels and the Exposure of at Risk Elements	Relevant to the BMP
The ability to reduce the potential bushfire impact on the development through modification or removal of vegetation is limited due to the existence of 'protected' areas of vegetation.	No
The planned development will result in additional areas of bushfire prone vegetation (due to re-vegetation and/or landscaping) that will support fire and that may impact the development. This vegetation has been accounted for within the BMP.	N/A
The Application of Design and/or Construction Responses to Limit Vegetation Modification or Removal	Relevant to the BMP
Modify the development location to reduce exposure by increasing separation distance.	Considered but no alternative exists
Redesign development, structure plan or subdivision.	Not required
Reduction of lot yield where this can increase available separation distances.	Not required
Cluster development to limit modification or removal of vegetation.	N/A
Construct building(s) to the requirements corresponding to higher BAL ratings to reduce required separation distances.	Not required



Figure 2.1
Environmental Considerations

Lot 36 on Diagram 032799, Area : 4.3648 ha
and Part Lot 28
Woodvale Drive,
WOODVALE 6026
CITY OF JOONDALUP

- **LEGEND** -----
- Subject Site
 - Other Lots
 - H Hydrant
 - Indicative Subdivision
- Reserves**
- Reserves
- Legislated Lands and Waters**
- Crown Freehold - DBCA Managed
- DBCA Lands of Interest**
- Crown Freehold - Dept Interest
 - Bush Forever
- Geomorphic Wetlands**
- Sumpland
- Clearing Regulations**
- Clearing Regulations



Aerial Imagery : Landgate/SLIP
Image Date : Oct 2022

Coordinate System: GDA 1994 MGA Zone 50
Projection: Universal Transverse Mercator Units: Metre
Map compiled by: Ian Ross 17/03/2023
Map updated by: Ian Ross 17/03/2023
A3 Scale 1:2,500

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Map Document Path / Name: K:\Projects\Jobs 2022\220594 - Lot 36 (95) Woodvale Drive Woodvale (BMP SD)\220594 - BMP SD - Jul 2022\Mapping\MXD\220594_Fig2-1_ENV_Lot36 95 Woodvale Dve.mxd



3 BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT

BUSHFIRE ATTACK LEVELS (BAL) - UNDERSTANDING THE RESULTS

The transfer (flux/flow) of radiant heat from the bushfire to a receiving object is measured in kW/m². The AS 3959:2018 BAL determination methodology establishes the ranges of radiant heat flux that correspond to each bushfire attack level. These are identified as BAL-LOW, BAL-12.5, BAL-19, BAL-29, BAL-40 and BAL-FZ.

The bushfire performance requirements for certain classes of buildings are established by the Building Code of Australia (Vol. 1 & 2 of the NCC). The BAL will establish the bushfire resistant construction requirements that are to apply in accordance with AS 3959:2018 - *Construction of buildings in bushfire prone areas* and the NASH Standard – *Steel framed construction in bushfire areas (NS 300 2021)*, whose solutions are deemed to satisfy the NCC bushfire performance requirements.

DETERMINED BAL RATINGS

A BAL Certificate can be issued for a determined BAL. A BAL can only be classed as 'determined' for an existing or future building/structure when:

1. It's final design and position on the lot are known and the stated separation distance from classified bushfire prone vegetation exists and can justifiably be expected to remain in perpetuity; or
2. It will always remain subject to the same BAL regardless of its design or position on the lot after accounting for any regulatory or enforceable building setbacks from lot boundaries as relevant and necessary (e.g., R-codes, restrictive covenants, defined building envelopes) or the retention of any existing classified vegetation either onsite or offsite.

If the BMP derives determined BAL(s), the BAL Certificate(s) required for submission with building applications can be provided, using the BMP as the assessment evidence.

INDICATIVE BAL RATINGS

A BAL Certificate cannot be issued for an indicative BAL. A BAL will be classed as 'indicative' for an existing or future building/structure when the required conditions to derive a determined BAL are not met.

This class of BAL rating indicates what BAL(s) could be achieved and the conditions that need to be met are stated.

Converting the indicative BAL into a determined BAL is conditional upon the currently unconfirmed variable(s) being confirmed by a subsequent assessment and evidential documentation. These variables will include the future building(s) location(s) being established (or changed) and/or classified vegetation being modified or removed to establish the necessary vegetation separation distance. This may also be dependent on receiving approval from the relevant authority for that modification/removal.

BAL RATING APPLICATION – PLANNING APPROVAL VERSUS BUILDING APPROVAL

1. **Planning Approval:** SPP.3.7 establishes that where BAL- LOW to BAL-29 will apply to relevant future construction (or existing structures for proposed uses), the proposed development may be considered for approval (dependent on the other requirements of the relevant policy measures being met). That is, BAL40 or BAL-FZ are not acceptable on planning grounds (except for certain limited exceptions).

Because planning is looking forward at what can be achieved, as well as looking at what may currently exist, both determined and indicative BAL ratings are acceptable assessment outcomes on which planning decisions can be made (including conditional approvals).

2. **Building Approval:** The Building Code of Australia (Vol. 1 & 2 of the NCC) establishes that relevant buildings in bushfire prone areas must be constructed to the bushfire resistant requirements corresponding to the BAL rating that is to apply to that building. Consequently, a determined BAL rating and the BAL Certificate is required for a building permit to be issued - an indicative BAL rating is not acceptable.



3.1 BAL Assessment Summary - Contour Map Format

INTERPRETATION OF THE BAL CONTOUR MAP

The BAL contour map is a diagrammatic representation of the results of the bushfire attack level assessment.

The map presents different coloured contours extending out from the areas of classified vegetation. Each contour represents a set range of radiant heat flux that potentially will transfer to an exposed element (building, person or other defined element), when it is located within that contour.

Each of the set ranges of radiant heat flux corresponds to a different BAL rating as defined by the AS 3959:2018 BAL determination methodology.

The width of each shaded BAL contour will vary dependant on both the BAL rating and the relevant parameters (calculation inputs) for the subject site. Their width represents the minimum and maximum vegetation separation distances that correspond to each BAL rating (refer to the relevant table below for these distances).

The areas of classified vegetation to be considered in developing the BAL contours, are those that will remain at the intended end state of the subject development once earthworks, clearing and/or landscaping and re-vegetation have been completed. Variations to this statement that may apply include:

- Both pre and post development BAL contour maps are produced; and/or
- Each stage of a development is assessed independently.

3.1.1 The BAL Determination Method(s) Applied and the Location of Data and Results

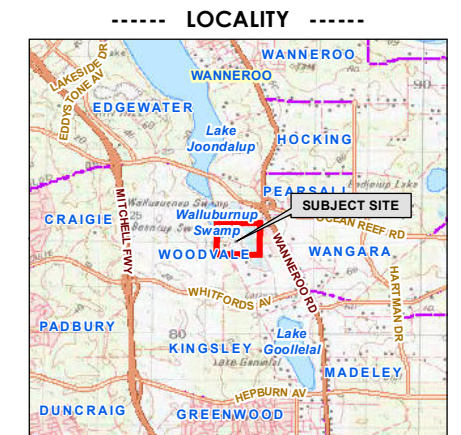
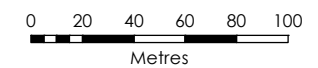
Procedure Method (AS 3959:2018)	Applied to the BAL Assessment	Location of the Site Assessment Data			Location of the Results
		Classified Vegetation and Topography Map(s)	Calculation Input Variables		Assessed Bushfire Attack Levels and/or Radiant Heat Levels
			Summary Data	Detailed Data with Explanatory and Supporting Information	
Method 1 (Simplified)	Yes	Figure 3.1 and Figure 3.1.1	Table 3.1	Appendix A1	BAL Contour Map Figure 3.2



Figure 3.1
Classified Vegetation & Topography

Lot 36 on Diagram 032799, Area : 4.3648 ha
 and Part Lot 28
 Woodvale Drive,
 WOODVALE 6026
CITY OF JOONDALUP

- **LEGEND** -----
- Subject Site
 - Other Lots
 - ↖ Photo & Direction
 - H Hydrant
 - Indicative Subdivision
- 150m Vegetation Assessment Area**
- 150m from Subject Site
- Classified Vegetation**
- Class (A) Forest
 - Class (B) Woodland
 - Class (D) Scrub
 - Class (G) Grassland
 - Exclusion 2.2.3.2



Aerial Imagery : Landgate/SLIP
 Image Date : Oct 2022

Coordinate System: GDA 1994 MGA Zone 50
 Projection: Universal Transverse Mercator Units: Metre
 Map compiled by: Ian Ross 17/03/2023
 Map updated by: Ian Ross 17/03/2023
 A3 Scale 1:2,500

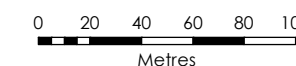
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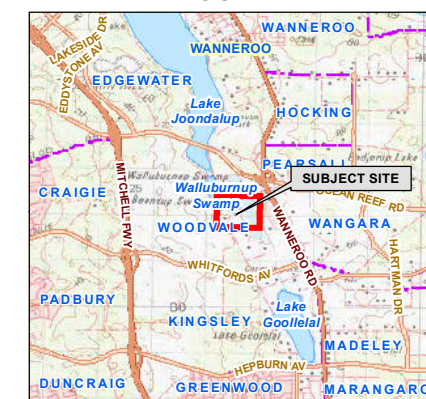
Figure 3.1.1
Classified Vegetation & Topography (Post Development)

Lot 36 on Diagram 032799, Area : 4.3648 ha
 and Part Lot 28
 Woodvale Drive,
 WOODVALE 6026
 CITY OF JOONDALUP

- LEGEND -----
- Subject Site
 - Other Lots
 - H Hydrant
 - Indicative Subdivision
- 150m Vegetation Assessment Area**
- 150m from Subject Site
- Classified Vegetation**
- Class (A) Forest
 - Class (B) Woodland
 - Class (D) Scrub
 - Class (G) Grassland
 - Exclusion 2.2.3.2



----- LOCALITY -----



Aerial Imagery : Landgate/SLIP
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CONSTRUCTION OF THE BAL CONTOUR MAP(S) – RELEVANT CLASSIFIED VEGETATION	
Identification of Classified Vegetation that is Relevant to the Production of the BAL Contour Map(s)	Relevant Map
All identified areas of classified vegetation that exist at the time of the site assessment – both within the subject site (onsite) and external to the subject site (offsite) will be the relevant vegetation.	Figure 3.1
<p>All identified classified vegetation areas, or portions of areas, within a proposed subdivision are excluded. It is the classified vegetation external to the subdivision boundaries that is the relevant vegetation.</p> <p>This approach is applied to indicate the achievable bushfire attack levels within the subdivision and the resultant area of developable land on all lots where buildings will be subject to BAL-29 or less. It is based on the following assumptions:</p> <ol style="list-style-type: none"> 1. Any classified vegetation within the subdivision can potentially be managed or removed by the developer and/or landowner to meet asset protection zone standards; and 2. Future development and consequent removal/management of vegetation that may take place on any adjoining land cannot be part of considerations for the subdivision. 	Figure 3.1
All identified areas of classified vegetation that exist at the time of the site assessment – both within the subject site (onsite) and external to the subject site (offsite) will be the relevant vegetation for the pre-development BAL contour map.	Figure 3.1
The areas of classified vegetation that will remain at the intended end state of the subject development once earthworks, any clearing and/or landscaping and re-vegetation have been completed, will be the relevant vegetation for the post-development BAL contour map.	Figure 3.1.1
<p>Supporting Assessment Details:</p> <p>Area 1 Forest will be removed for the proposed subdivision as shown in Figure 3-1.</p>	



3.1.3 Summary Site Data Applied to Construction of the BAL Contour Map(s)

Table 3.1: Summary of applied calculation input variables applied to determining the site specific separation distances corresponding to each bushfire attack level.

SUMMARY OF CALCULATION INPUT VARIABLES (INCLUDING SITE DATA) APPLIED TO THE DETERMINATION OF SEPARATION DISTANCES CORRESPONDING TO BUSHFIRE ATTACK LEVELS ¹												
Applied BAL Determination Method		METHOD 1 - SIMPLIFIED PROCEDURE (AS 3959:2018 CLAUSE 2.2)										
Calculation Variables Corresponding to BAL Determination Method												
Methods 1 and 2		Method 1			Method 2							
Vegetation Classification		FDI	Effective Slope		Site Slope	FFDI or GFDI	Flame Temp.	Elevation of Receiver	Flame Width	Fireline Intensity	Flame Length	Modified View Factor
Area	Class		Applied Range	Measured								
1	(A) Forest	80	Upslope or flat 0	flat 0								
2	(B) Woodland	80	Upslope or flat 0	flat 0								
3	(D) Scrub	80	Downslope >0-5	d/slope 4								
4	(G) Grassland	80	Downslope >0-5	d/slope 4								
5	(G) Grassland	80	Upslope or flat 0	flat 0								
6	Excluded cl 2.2.3.2(e & f)	80	N/A	N/A								

¹ All data and information supporting the determination of the classifications and values stated in this table and any associated justification, is presented in Appendix A. Where the values are stated as 'default' these are either the values stated in AS 3959:2018, Table B1 or the values calculated as intermediate or final outputs through application of the equations of the AS 3959:2018 BAL determination methodology. They are not values derived by the assessor.



Table 3.2: Vegetation separation distances corresponding to radiant heat levels and illustrated as BAL contours in Figure 3.2.

THE CALCULATED VEGETATION SEPARATION DISTANCES CORRESPONDING TO THE STATED LEVEL OF RADIANT HEAT ¹									
Vegetation Classification		Separation Distances Corresponding to Stated Level of Radiant Heat (metres)						Maximum Radiant Heat Flux	
		Bushfire Attack Level							
Area	Class	BAL-FZ	BAL-40	BAL-29	BAL-19	BAL12.5	BAL-LOW	10 kW/m ²	2 kW/m ²
1	(A) Forest	<16	16-<21	21-<31	31-<42	42-<100	>100		
2	(B) Woodland	<10	10-<14	14-<20	20-<29	29-<100	>100		
3	(D) Scrub	<11	11-<15	15-<22	22-<31	31-<100	>100		
4	(G) Grassland	<7	7-<9	9-<14	14-<20	20-<50	>50		
5	(G) Grassland	<6	6-<8	8-<12	12-<17	17-<50	>50		
6	Excluded cl 2.2.3.2(e & f)	N/A	N/A	N/A	N/A	N/A	N/A		

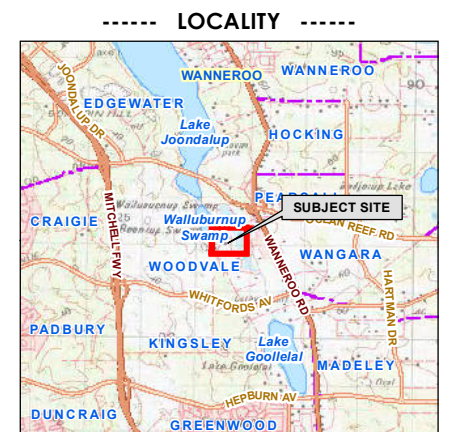
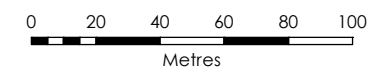
¹ All calculation input variables are presented in Table 3.1. The summary 'printouts' of calculation input and output values for each area of classified vegetation are presented in Appendix A.



Figure 3.2
BAL Contour Map

Lot 36 on Diagram 032799, Area : 4.3648 ha
and Part Lot 28
Woodvale Drive,
WOODVALE 6026
CITY OF JOONDALUP

- **LEGEND** -----
- Subject Site
 - Other Lots
 - Hydrant
 - Indicative Subdivision
- 100m Vegetation Assessment Area**
- 100m from Subject Site
 - Classified Vegetation Boundary
- Indicative Bushfire Attack Levels**
- BAL FZ
 - BAL 40
 - BAL 29
 - BAL 19
 - BAL 12.5
 - BAL LOW



Aerial Imagery : Landgate/SLIP
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4 ASSESSMENT AGAINST THE BUSHFIRE PROTECTION CRITERIA (GUIDELINES V1.4)

4.1 Bushfire Protection Criteria Elements Applicable to the Proposed Development/Use

APPLICATION OF THE CRITERIA, ACCEPTABLE SOLUTIONS AND PERFORMANCE ASSESSMENT

The criteria are divided into five elements – location, siting and design, vehicular access, water and vulnerable tourism land uses. Each element has an intent outlining the desired outcome for the element and reflects identified planning and policy requirements in respect of each issue.

The example acceptable solutions (bushfire protection measures) provide one way of meeting the element's intent. Compliance with these automatically achieves the element's intent and provides a straightforward pathway for assessment and approval.

Where the acceptable solutions cannot be met, the ability to develop design responses (as alternative solutions that meet bushfire performance requirements) is an alternative pathway that is provided by addressing the applicable performance principles (as general statements of how best to achieve the intent of the element).

A merit based assessment is established by the SPP 3.7 and the Guidelines as an additional alternative pathway along with the ability of using discretion in making approval decisions (sections 2.5, 2.6 and 2.7). This is formally applied to certain development (minor and unavoidable – sections 5.4.1 and 5.7). Relevant decisions by the State Administrative Tribunal have also supported this approach more generally.

Elements 1 – 4 should be applied for all strategic planning proposals, subdivision or development applications, except for vulnerable tourism land uses which should refer to Element 5. Element 5 incorporates the bushfire protection criteria in Elements 1 – 4 but caters them specifically to tourism land uses. (Guidelines DPLH 2021v1.4)

The Bushfire Protection Criteria	Applicable to the Proposed Development/Use
Element 1: Location	Yes
Element 2: Siting and Design	Yes
Element 3: Vehicular Access	Yes
Element 4: Water	Yes
Element 5: Vulnerable Tourism Land Uses	No

4.2 Local Government Variations to Apply

Local governments may add to or modify the acceptable solutions to recognise special local or regional circumstances (e.g., topography / vegetation / climate). These are to be endorsed by both the WAPC and DFES before they can be considered in planning assessments. (Guidelines DPLH 2021v1.4).

Do endorsed regional or local variations to the acceptable solutions apply to the assessments against the Bushfire Protection Criteria for the proposed development /use?	None known or identified
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4.3 Assessment Statements for Element 1: Location

LOCATION	
Element Intent	To ensure that strategic planning proposals, subdivision and development applications are located in areas with the least possible risk of bushfire to facilitate the protection of people, property and infrastructure.
Proposed Development/Use – Relevant Planning Stage	(SP) Strategic planning proposal and structure plan where the lot layout is not known
Element Compliance Statement	The proposed development/use achieves the intent of the element by being fully compliant with all applicable acceptable solutions.
Pathway Applied to Provide an Alternative Solution	N/A
Acceptable Solutions - Assessment Statements	
<p>All details of acceptable solution requirements are established in the Guidelines for Planning in Bushfire Prone Areas, DPLH v1.4 (Guidelines) and apply the guidance established by the Position Statement: 'Planning in bushfire prone areas – Demonstrating Element 1: Location and Element 2: Siting and design' (WAPC Nov 2019) and the 'Bushfire Management Plan Guidance for the Dampier Peninsula' (WA Department of Planning, Lands and Heritage, 2021 Rev B) as relevant. These documents are available at https://www.wa.gov.au/government/document-collections/state-planning-policy-37-planning-bushfire-prone-areas.</p>	
Solution Component Check Box Legend	<input checked="" type="checkbox"/> Relevant & met <input checked="" type="checkbox"/> Relevant & not met <input type="checkbox"/> Not relevant
A1.1 Development location	Applicable: Yes Compliant: Yes
ASSESSMENT AGAINST THE REQUIREMENTS ESTABLISHED BY THE GUIDELINES	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> The development application is located in an area that is or will, on completion, be subject to either a moderate or low bushfire hazard level, or BAL-29 or below.	
Supporting Assessment Details:	
<p>The proposed development provides an area of land within the subject lot that can be considered suitable for development as BAL-40 or BAL-FZ construction standards will not be required to be applied. This meets the requirements established by Acceptable Solution A1.1 and its associated explanatory note.</p>	
ASSESSMENTS APPLYING THE GUIDANCE ESTABLISHED BY THE WAPC ELEMENT 1 & 2 POSITION STATEMENT (2019)	
<p>"Consideration should be given to the site context where 'area' is the land both within and adjoining the subject site. The hazards remaining within the site should not be considered in isolation of the hazards adjoining the site, as the potential impact of a bushfire will be dependent on the wider risk context, including how a bushfire could affect the site and the conditions for a bushfire to occur within the site."</p> <p>Strategic Planning Proposals: Consider the threat levels from any vegetation <u>adjoining</u> and <u>within</u> the subject site for which the potential intensity of a bushfire in that vegetation would result in it being classified as an Extreme Bushfire Hazard Level (BHL). Identify any proposed design strategies to reduce these threats.</p> <p>Structure Plans (lot layout known) and Subdivision Applications: As for strategic planning proposals but <u>within</u> the subject site the relevant threat levels to consider are the radiant heat levels represented by BAL-FZ and BAL-40 ratings.</p>	

**The Hazard Within the Subject Site**

The existing lot is partially vegetated with native vegetation classified as Class A Forest and Grassland. To the east of the Lot the vegetation is classed as Class D Scrub, which is over a low lying wetland/sumpland area. The impact of the slopes under the vegetation will be dependent on a bushfire's direction of travel, but slopes in the range of zero to five degrees do exist and bushfire travelling upslope will have increased intensity and rate of spread.

The application is for a rezoning to residential, however at a later stage the ability to establish a BAL-29 dimensioned APZ within each proposed lot's boundaries removes the threat of greater levels of radiant heat or flame contact upon a future dwelling.

The Hazard Adjoining the Subject Site

Bushfire prone vegetation within the rural residential locality exists as native vegetation classified as Class A Forest, Class D Scrub and Class G Grassland. Most of the land within the locality supports this vegetation.

The impact of the slope under the vegetation will be dependent on a bushfire's direction of travel, but slopes in the range of zero to five degrees downslope from the proposed lots do exist. Bushfire travelling upslope will have increased intensity and rate of spread. However, the adjoining land cannot be considered as rugged (which would present greater potential for dynamic fire behaviours to develop leading to increasing fire intensity extreme bushfire events).

A large reserve identified a bush forever is situated on the eastern side of the lot (internal and external). This consists of a Grassland and Scrub vegetation. To the west, another large reserve exists as Walluburnup Swamp, that is Classified as Class A Forest vegetation, with portions of grassland surrounding.

Consequently, the potential exists for intense bushfire behaviour to occur within these areas of bushfire prone vegetation. The potential bushfire impact on persons and property within the future land use will be to increase the level of ember attack in the event of a bushfire.

This ember threat will be mitigated by the application of appropriate building design, bushfire construction requirements and the ongoing maintenance of the BAL-29 dimensioned APZ, for any future development to ensure buildings will not be impacted by consequential fire within combustible materials used, stored or accumulated within the APZ.



4.4 Assessment Statements for Element 2: Siting and Design

SITING AND DESIGN OF DEVELOPMENT	
Element Intent	To ensure that the siting and design of development minimises the level of bushfire impact. (BPP Note: not building/construction design)
Proposed Development/Use – Relevant Planning Stage	(SP) Strategic planning proposal and structure plan where the lot layout is not known
Element Compliance Statement	The proposed development/use achieves the intent of the element by being fully compliant with all applicable acceptable solutions.
Pathway Applied to Provide an Alternative Solution	N/A
Acceptable Solutions - Assessment Statements	
All details of acceptable solution requirements are established in the Guidelines for Planning in Bushfire Prone Areas, DPLH v1.4 (Guidelines) and apply the guidance established by the Position Statement: 'Planning in bushfire prone areas – Demonstrating Element 1: Location and Element 2: Siting and design' (WAPC Nov 2019) and the 'Bushfire Management Plan Guidance for the Dampier Peninsula' (WA Department of Planning, Lands and Heritage, 2021 Rev B) as relevant. These documents are available at https://www.wa.gov.au/government/document-collections/state-planning-policy-37-planning-bushfire-prone-areas .	
Solution Component Check Box Legend	<input checked="" type="checkbox"/> Relevant & met <input checked="" type="checkbox"/> Relevant & not met <input type="checkbox"/> Not relevant
A2.1 Asset Protection Zone (APZ)	Applicable: Yes Compliant: Yes
UNDERSTANDING THE APZ <u>PLANNING</u> ASSESSMENT VERSUS APZ <u>IMPLEMENTATION</u> REQUIREMENTS	
<p>Note: Appendix B: 'Onsite Vegetation Management' provides further information regarding the different APZ dimensions that can be referenced, their purpose and the specifications of the APZ that is to be established and maintained.</p>	
<p>To reduce risk to buildings (and indirectly to persons) from a bushfire event, a key bushfire protection measure required to be implemented is reducing the exposure of building elements to the direct bushfire threats of flame contact, radiant heat and embers and the indirect threat of consequential fires that result from the subsequent ignition of other combustible materials that may be constructed, stored or accumulate in the area surrounding buildings.</p> <p>This is achieved by separating existing and/or proposed buildings from areas of classified bushfire prone vegetation. The total area of separation is identified as the Asset Protection Zone (APZ), which exists as an area of minimal fire fuels (or no fuel) and is considered able and likely to remain a low threat and/or be maintained to a low threat state in perpetuity. The required separation distances will vary according to the site specific conditions.</p> <p>THE APZ PLANNING ASSESSMENT: To achieve planning approval for this factor it must be demonstrated that separation distances that correspond to a maximum level of radiant transfer to a building (29 kW/m²), either exist or can be established (with certain exceptions). These separation distances are the dimensions of the 'Planning BAL-29' APZ.</p> <p>The purpose of this planning assessment is to identify and justify how this low threat area (the Planning BAL-29' APZ) can exist – or not.</p> <p>THE DIMENSIONS OF THE 'PLANNING BAL-29' APZ MAY EXTEND OUTSIDE SUBJECT LOT BOUNDARIES. THE APZ MAY NOT BE EQUIDISTANT AROUND A BUILDING AS THE REQUIRED SEPARATION DISTANCES DEPEND ON THE TYPE OF VEGETATION PRESENT IN EACH DIRECTION ALONG WITH OTHER SITE VARIABLES.</p> <p>IT IS IMPORTANT TO UNDERSTAND THAT THE 'PLANNING BAL-29' APZ IS NOT NECESSARILY THE SIZE OF THE APZ THAT MUST BE PHYSICALLY ESTABLISHED AND MAINTAINED BY A LANDOWNER. IT IS A SCREENING TOOL FOR MAKING PLANNING APPROVAL DECISIONS.</p> <p>THE APZ TO BE IMPLEMENTED: The required dimensions to be established and maintained by the landowner will be those that correspond to the determined BAL rating of a relevant building but limited to the land of the subject lot</p>	



<p>(with limited exceptions). The requirement for a greater dimension within a lot will only exist if it is required by the relevant local government's annual firebreak / hazard reduction notice or the APZ size is increased as an additional bushfire protection measure as a recommendation of this BMP.</p>	
<div style="border: 1px solid black; padding: 10px; margin: 10px auto; width: 80%;"> <p>Within this BMP it is the 'Planning BAL-29' APZ that will be identified on maps, diagrams and in tables as necessary.</p> <p>The exceptions are the data provided in Appendix B part B1 and when a Property Bushfire Management Statement is required to be produced for a development application, in which case the 'Landowner' APZ dimensions will be shown on the site map (refer to s6.3.1 when relevant).</p> </div>	
ASSESSMENT AGAINST THE REQUIREMENTS ESTABLISHED BY THE GUIDELINES	
<p><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/></p>	<p>APZ Width: The proposed (or a future) habitable building(s) on the lot(s) of the proposed development - or an existing building for a proposed change of use - can be (or is) located within the developable portion of the lot and be surrounded by a 'Planning BAL-29' APZ of the required dimensions (measured from any external wall or supporting post or column to the edge of the classified vegetation), that will ensure their exposure to the potential radiant heat impact of a bushfire does not exceed 29 kW/m².</p>
<p><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/></p>	<p>Restriction on Building Location: It has been identified that the current developable portion of a lot(s) provides for the proposed future (or a future) building/structure location that will result in that building/structure being subject to a BAL-40 or BAL-FZ rating. Consequently, it may be considered necessary to impose the condition that a restrictive covenant to the benefit of the local government pursuant to section 129BA of the Transfer of Land Act 1893, is to be placed on the certificate(s) of title of the proposed lot(s) advising of the existence of a restriction on the use of that portion of land (refer to Code F3 of Model Subdivision Conditions Schedule, WAPC June 2021 and Guidelines s5.3.2).</p>
<p><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/></p>	<p>APZ Location: The required dimensions for a 'Planning BAL-29' APZ can be contained solely within the boundaries of the lot(s) on which the proposed (or a future) habitable building(s) - or an existing building(s) for a proposed change of use - is situated.</p>
<p><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/></p>	<p>APZ Location: The required dimensions for a 'Planning BAL-29' APZ can be partly established within the boundaries of the lot(s) on which the proposed (or a future) habitable building(s) - or an existing building(s) for a proposed change of use - is situated. The balance of the APZ would exist on adjoining land that satisfies the exclusion requirements of AS 3959:2018 cl 2.2.3.2 for low threat vegetation and non-vegetated areas.</p>
<p><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/></p>	<p>APZ Location: It can be justified that any adjoining (offsite) land forming part of a 'Planning BAL-29' APZ will:</p> <ul style="list-style-type: none"> • If non-vegetated, remain in this condition in perpetuity; and/or • If vegetated, be low threat vegetation managed in a minimal fuel condition in perpetuity.
<p><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/></p>	<p>APZ Management: The area of land (within each lot boundary), that is to make up the required 'Landowner' APZ dimensions (refer to Appendix B, Part B1), can and will be managed in accordance with the requirements of the Guidelines Schedule 1 'Standards for Asset Protection Zones' (refer to Appendix B).</p>
<p><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/></p>	<p>Subdivision Staging: There are undeveloped future stages of subdivision, containing bushfire prone vegetation, that have been taken into consideration for their potentially 'temporary' impact on the ability to establish a 'Planning BAL-29' APZ on adjoining developed lots. A staging plan is developed to manage this.</p>



<p>Firebreak/Hazard Reduction Notice: Any additional requirements established by the relevant local government's annual notice to install firebreaks and manage fuel loads (issued under s33 of the Bushfires Act 1954), can and will be complied with.</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/></p>
<p>Supporting Assessment Details: APZ will be dealt with at a subsequent development stage. Post-development – all remaining vegetation will be managed and maintained to a low threat state in perpetuity. Appropriate separation around future development may be required to be incorporated into design at future planning stages.</p>
<p>ASSESSMENTS APPLYING THE GUIDANCE ESTABLISHED BY THE WAPC ELEMENT 1 & 2 POSITION STATEMENT (2019)</p>
<p>Strategic Planning Proposals: "At this planning level there may not be enough detail to demonstrate compliance with this element. The decision-maker may consider this element is satisfied where A1.1 is met."</p> <p>Structure Plans (lot layout known) and Subdivision Applications: "Provided that Element 1 is satisfied, the decision-maker may consider approving lot(s) containing BAL-40 or BAL-FZ under the following scenarios.</p>
<p>There is vegetation with demonstrated biodiversity, landscape amenity and/or conservation values, that it is identified for retention.</p>



4.5 Assessment Statements for Element 3: Vehicular Access

VEHICULAR ACCESS	
Element Intent	To ensure that the vehicular access serving a subdivision/development is available and safe during a bushfire event.
Proposed Development/Use – Relevant Planning Stage	(SP) Strategic planning proposal and structure plan where the lot layout is not known
Element Compliance Statement	The proposed development/use achieves the intent of the element by being fully compliant with all applicable acceptable solutions.
Pathway Applied to Provide an Alternative Solution	N/A
Acceptable Solutions - Assessment Statements	
<p>All details of acceptable solution requirements are established in the Guidelines for Planning in Bushfire Prone Areas, DPLH v1.4 (Guidelines) and apply the guidance established by the Position Statement: 'Planning in bushfire prone areas – Demonstrating Element 1: Location and Element 2: Siting and design' (WAPC Nov 2019) and the 'Bushfire Management Plan Guidance for the Dampier Peninsula' (WA Department of Planning, Lands and Heritage, 2021 Rev B) as relevant. These documents are available at https://www.wa.gov.au/government/document-collections/state-planning-policy-37-planning-bushfire-prone-areas.</p> <p>The technical construction requirements for access types and components, and for each firefighting water supply component, are also presented in Appendices 2 and 3. The local government will advise the proponent where different requirements are to apply and when any additional specifications such as those for signage and gates are to apply (these are included in the relevant appendix if requested by the local government).</p>	
Solution Component Check Box Legend <input checked="" type="checkbox"/> Relevant & met <input checked="" type="checkbox"/> Relevant & not met <input type="checkbox"/> Not relevant	
A3.1 Public roads	Applicable: Yes Compliant: Yes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> The technical construction requirements of vertical clearance and weight capacity (Guidelines, Table 6) can and will be complied with (Refer also to Appendix C in this BMP).	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> All other applicable technical requirements of trafficable width, gradients and curves, are required to be in "accordance with the class of road as specified in the IPWEA Subdivision Guidelines, Liveable Neighbourhoods, Ausroad Standards and/or any applicable standard in the local government area" (Guidelines, Table 6 and E3.1. Refer also to Appendix C in this BMP). The assessment conducted for the bushfire management plan indicates that it is likely that the proposed development can and will comply with the requirements. However, the applicable class of road, the associated technical requirements and subsequent proposal compliance, will need to be confirmed with the relevant local government and/or Main Roads WA.	
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> A traversable verge is available adjacent to classified vegetation (Guidelines, E3.1), as recommended.	
Supporting Assessment Details: Future roads will be compliant with the technical requirements and considered at subsequent planning stages.	
A3.2a Multiple access routes	Applicable: Yes Compliant: N/A
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> For each lot, two-way public road access is provided in two different directions to at least two different suitable destinations with an all-weather surface.	



<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The two-way access <u>is</u> available at an intersection no greater than 200m from the relevant boundary of each lot, via a no-through road.
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	<p>The two-way access is <u>not</u> available at an intersection within 200m from the relevant boundary of each lot. However, the available no-through road satisfies the established exemption for the length limitation in every case. These requirements are:</p> <ul style="list-style-type: none"> • Demonstration of no alternative access (refer to A3.3 below); • The no-through road travels towards a suitable destination; and • The balance of the no-through road that is greater than 200m from the relevant lot boundary is within a residential built-out area or is potentially subject to radiant heat levels from adjacent bushfire prone vegetation that correspond to the BAL-LOW rating (<12.5 kW/m²).
Supporting Assessment Details: Future connection to Woodvale Drive will ensure compliance with Public Road requirements.	
A3.2b Emergency access way Applicable: No Compliant: N/A	
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The proposed or existing EAW provides a through connection to a public road.
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The proposed or existing EAW is less than 500m in length and will be signposted and gated (remaining unlocked) to the specifications stated in the Guidelines and/or required by the relevant local government.
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The technical construction requirements for widths, clearances, capacity, gradients and curves (Guidelines, Table 6 and E3.2b. Refer also to Appendix C in this BMP), can and will be complied with.
Supporting Assessment Details:	
A3.3 Through-roads Applicable: No Compliant: N/A	
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	A no-through public road is necessary as no alternative road layout exists due to site constraints.
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The no-through public road length does not exceed the established maximum of 200m to an intersection providing two-way access (Guidelines, E3.3).
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The no-through public road exceeds 200m but satisfies the exemption provisions of A3.2a as demonstrated in A3.2a above.
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The public road technical construction requirements (Guidelines, Table 6 and E3.1. Refer also to Appendix C in this BMP), can and will be complied with as established in A3.1 above.
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The turnaround area requirements (Guidelines, Figure 24) can and will be complied with.
Supporting Assessment Details:	



A3.4a Perimeter roads	Applicable:	Yes	Compliant:	Yes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> The proposed greenfield or infill development consists of 10 or more lots (including those that are part of a staged subdivision) and therefore should have a perimeter road. This is planned to be installed.				
<p>The proposed greenfield or infill development consists of 10 or more lots (including those that are part of a staged subdivision). However, it is not required on the established basis of:</p> <p><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <ul style="list-style-type: none"> • The vegetation adjoining the proposed lots is classified Class G Grassland; • Lots are zoned rural living or equivalent; • It is demonstrated that it cannot be provided due to site constraints; or • All lots have existing frontage to a public road. </p>				
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> The technical construction requirements of widths, clearances, capacity, gradients and curves (Guidelines, Table 6 and E3.4a) can and will be complied with.				
Supporting Assessment Details: Perimeter roads are achievable and will be complied with at a later stage of Subdivision application.				
A3.4b Fire service access route	Applicable:	No	Compliant:	N/A
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> The FSAR can be installed as a through-route with no dead ends, linked to the internal road system every 500m and is no further than 500m from a public road.				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> The technical construction requirements of widths, clearances, capacity, gradients and curves (Guidelines, Table 6 and E3.4b. Refer also to Appendix C in this BMP), can and will be complied with.				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> The FSAR can and will be signposted. Where gates are required by the relevant local government, the specifications can be complied with.				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Turnaround areas (to accommodate type 3.4 fire appliances) can and will be installed every 500m on the FSAR.				
Supporting Assessment Details: None Required				
A3.5 Battle-axe access legs	Applicable:	No	Compliant:	N/A
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> A battle-axe leg cannot be avoided due to site constraints.				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> The proposed development is in a reticulated area and the battle-axe access leg length from a public road is no greater than 50m. No technical requirements need to be met.				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> The technical construction requirements for widths, clearances, capacity, gradients and curves (Guidelines, Table 6 and E3.5. Refer also to Appendix C in this BMP), can and will be complied with.				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Passing bays can and will be installed every 200m with a minimum length of 20m and a minimum additional trafficable width of 2m.				
Supporting Assessment Details: None Required				



A3.6 Private driveways	Applicable:	No	Compliant:	N/A
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/> <p>The private driveway to the most distant external part of the development site is within a lot serviced by reticulated water, is accessed via a public road with a speed limit of 70 km/hr or less and has a length is no greater than 70m (measured as a hose lay). No technical requirements need to be met.</p>				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/> <p>The technical construction requirements for widths, clearances, capacity, gradients and curves (Guidelines, Table 6 and E3.6. Refer also to Appendix C in this BMP), can and will be complied with.</p>				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/> <p>Passing bays can and will be installed every 200m with a minimum length of 20m and a minimum additional trafficable width of 2m.</p>				
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/> <p>The turnaround area requirements (Guidelines, Figure 28, and within 30m of the habitable building) can and will be complied with.</p>				
Supporting Assessment Details: None Required				



4.6 Assessment Statements for Element 4: Water

FIREFIGHTING WATER	
Element Intent	To ensure water is available to enable people, property and infrastructure to be defended from bushfire.
Proposed Development/Use – Relevant Planning Stage	(SP) Strategic planning proposal and structure plan where the lot layout is not known
Element Compliance Statement	The proposed development/use achieves the intent of the element by being fully compliant with all applicable acceptable solutions.
Pathway Applied to Provide an Alternative Solution	N/A
Acceptable Solutions - Assessment Statements	
<p>All details of acceptable solution requirements are established in the Guidelines for Planning in Bushfire Prone Areas, DPLH v1.4 (Guidelines) and apply the guidance established by the Position Statement: 'Planning in bushfire prone areas – Demonstrating Element 1: Location and Element 2: Siting and design' (WAPC Nov 2019) and the 'Bushfire Management Plan Guidance for the Dampier Peninsula' (WA Department of Planning, Lands and Heritage, 2021 Rev B) as relevant. These documents are available at https://www.wa.gov.au/government/document-collections/state-planning-policy-37-planning-bushfire-prone-areas.</p> <p>The technical construction requirements for access types and components, and for each firefighting water supply component, are also presented in Appendices 2 and 3. The local government will advise the proponent where different requirements are to apply and when any additional specifications such as those for signage and gates are to apply (these are included in the relevant appendix if requested by the local government).</p>	
Solution Component Check Box Legend	<input checked="" type="checkbox"/> Relevant & met <input checked="" type="checkbox"/> Relevant & not met <input type="checkbox"/> Not relevant
A4.1 Identification of future firefighting water supply	Applicable: No Compliant: N/A
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> It can be demonstrated that reticulated or sufficient non-reticulated water for firefighting can be provided at the subdivision and/or development application stage in accordance with the specifications of the relevant water supply authority or the requirements of Schedule 2.	
<p>Supporting Assessment Details: A hydrant is located on Woodvale Drive in front of the existing lot as indicated on Figure [1-3] and at 200m intervals along Woodvale Drive.</p> <p>Refer to information contained in Appendix D for the firefighting water supply specifications and technical requirements.</p>	
A4.2 Provision of water for firefighting purposes	Applicable: No Compliant: N/A
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> A reticulated water supply is available to the proposed development. The existing hydrant connection(s) are provided in accordance with the specifications of the relevant water supply authority.	
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> A reticulated water supply will be available to the proposed development. Hydrant connection(s) can and will be provided in accordance with the specifications of the relevant water supply authority.	
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> A static water supply (tank) for firefighting purposes will be installed on each lot that is additional to any water supply that is required for drinking and other domestic purposes.	
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> A strategic water supply (tank or tanks) for firefighting purposes will be installed within or adjacent to the proposed development that is additional to any water supply that is required for drinking and other	



domestic purposes. The required land will be ceded free of cost to the local government and the lot or road reserve where the tank is to be located will be identified on the plan of subdivision.	
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The strategic static water supply (tank or tanks) will be located no more than 10 minutes travel time from a subject site (at legal road speeds).
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="radio"/>	The technical requirements (location, number of tanks, volumes, design, construction materials, pipes and fittings), as established by the Guidelines (A4.2, E4 and Schedule 2) and/or the relevant local government, can and will be complied with.
Supporting Assessment Details:	



5 RESPONSIBILITIES FOR IMPLEMENTATION AND MANAGEMENT OF THE BUSHFIRE PROTECTION MEASURES

5.1 Developer Responsibilities – Prior to Issue of Titles

DEVELOPER RESPONSIBILITIES – PRIOR TO ISSUE OF TITLES		
No.	Implementation Actions	Subdivision Clearance
1	<p><i>Condition that may be imposed (refer to Code F2 of Model Subdivision Conditions Schedule, WAPC June 2021 and Guidelines DPLH, 2021 v1.4, s5.3.2)</i></p> <p>A notification, pursuant to Section 165 of the <i>Planning and Development Act 2005</i>, is to be placed on the certificate(s) of title of the proposed lot(s) with a Bushfire Attack Level (BAL) rating of 12.5 or above, advising of the existence of a hazard or other factor.</p> <p>Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:</p> <p><i>"This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is/may be subject to a Bushfire Management Plan. Additional planning and building requirements may apply to development on this land."</i> (Western Australian Planning Commission).</p>	<input type="checkbox"/>



5.2 Landowner / Occupier Responsibilities – Ongoing Management

LANDOWNER/OCCUPIER – ONGOING MANAGEMENT	
No.	Management Actions
1	Comply with the City of Joondalup Bushfire Risk Management (Firebreaks and Hazard Reduction) notice issued under s33 of the Bush Fires Act 1954. Check the notice annually for any changes.
2	<p>Ensure that builders engaged to construct dwellings/additions and/or other relevant structures on the lot, are aware of the existence of this approved Bushfire Management Plan (BMP). The plan identifies that the development site is within a designated bushfire prone area and states the indicative (or determined) BAL rating(s) that may (or will) be applied to buildings/structures. A BAL assessment report may be required to confirm determined ratings and will be required when ratings are indicative. BAL certificates will need to be issued to accompany building applications.</p> <p>The BMP may also establish, as an additional bushfire protection measure, that construction requirements to be applied will be those corresponding to a specified higher BAL rating.</p> <p>Compliance with the Building Code of Australia (Volumes 1 and 2 of the National Construction Code), will require certain bushfire resistant construction requirements be applied to residential buildings in bushfire prone areas (i.e., Class 1, 2 and 3 and associated Class 10a buildings and decks). Other classes of buildings may also be required to comply with these construction when established by the relevant authority or if identified as an additional bushfire protection measure within the BMP.</p> <p>The deemed to satisfy solutions that will meet the relevant bushfire performance requirements are found in AS 3959 – Construction of Building in Bushfire Prone Areas (as amended) and the NASH Standard - Steel Framed Construction in Bushfire Areas (as amended).</p>
3	<p>Ensure all future buildings the landowner has responsibility for, are designed and constructed in full compliance with:</p> <ul style="list-style-type: none"> • The bushfire resistant construction requirements of the Building Code of Australia (Volumes 1 and 2 of the National Construction Code), as established by the Building Regulations 2012 (WA Building Act 2011); and • Any additional bushfire protection measures this Bushfire Management Plan has established are to be implemented.



5.3 Local Government Responsibilities – Ongoing Management

LOCAL GOVERNMENT – ONGOING MANAGEMENT	
No.	Management Actions
1	<p>Monitor landowner compliance with the annual City of Joondalup Bushfire Risk Management (Firebreaks and Hazard Reduction) Notice and with any bushfire protection measures that are:</p> <ul style="list-style-type: none"> • Established by this BMP; • Are required to be maintained by the landowner/occupier; and • Are relevant to local government operations.
2	<p>To be aware of the potential consequences of any significant changes in the local government's management of land, of which they have vested control (including re-vegetation), that could have an adverse impact on the determined BAL ratings that apply to adjacent existing or future buildings and where:</p> <ul style="list-style-type: none"> • The determined BAL ratings have been established by an existing BMP or a BAL Assessment; and • The BAL has been correctly determined with appropriate consideration of what might reasonably be expected to potentially change in the future with regards to the classification of the vegetation being altered and/or management of the relevant area of vegetation. <p>Lot 36 includes an area of Bush Forever which is classified Grassland and Scrub vegetation. Any modification or revegetation to these areas may impact the BAL ratings for future development.</p>



APPENDIX A: DETAILED BAL ASSESSMENT DATA AND SUPPORTING INFORMATION

A1: BAL Assessment Inputs Common to the Method 1 and Method 2 Procedures



A1.1: FIRE DANGER INDICES (FDI/FDI/GFDI)

<p>When using Method 1 the relevant FDI value required to be applied for each state and region is established by AS 3959:2018, Table 2.1. Each FDI value applied in Tables 2.4 – 2.7 represents both the Forest Fire Danger Index (FFDI) and a deemed equivalent for the Grassland Fire Danger Index (GFDI), as per Table B2 in Appendix B. When using Method 2, the relevant FFDI and GFDI are applied.</p> <p>The values may be able to be refined within a jurisdiction, where sufficient climatological data is available and in consultation with the relevant authority.</p>						
Relevant Jurisdiction:	WA	Region:	Whole State	Method 1	Applied FDI:	80
				Method 2	Applied FFDI:	N/A
					Applied GFDI:	N/A



A1.2: VEGETATION ASSESSMENT AND CLASSIFICATION

<p>Vegetation Types and Classification</p> <p>In accordance with AS 3959:2018 clauses 2.2.3 and C2.2.3.1, all vegetation types within 100 metres of the 'site' (defined as "the part of the allotment of land on which a building stands or is to be erected"), are identified and classified. Any vegetation more than 100 metres from the site that has influenced the classification of vegetation within 100 metres of the site, is identified and noted. The maximum excess distance is established by AS 3959: 2018 cl 2.2.3.2 and is an additional 100 metres.</p> <p>Classification is also guided by the Visual Guide for Bushfire Risk Assessment in WA (WA Department of Planning February 2016) and any relevant FPA Australia practice notes.</p> <p>Modified Vegetation</p> <p>The vegetation types have been assessed as they will be in their natural mature states, rather than what might be observed on the day. Vegetation destroyed or damaged by a bushfire or other natural disaster has been assessed on its expected re-generated mature state. Modified areas of vegetation can be excluded from classification if they consist of low threat vegetation managed in a minimal fuel condition, satisfying AS 3959:2018 s2.2.3.2(f), and there is sufficient justification to reasonable expect that this modified state will exist in perpetuity.</p> <p>The Influence of Ground Slope</p> <p>Where significant variation in effective slope exists under a consistent vegetation type, these will be delineated as separate vegetation areas to account for the difference in potential bushfire behaviour, in accordance with AS 3959:2018 clauses 2.2.5 and C2.2.5.</p>	
THE INFLUENCE OF VEGETATION GREATER THAN 100 METRES FROM THE SUBJECT SITE	
Vegetation area(s) within 100m of the site whose classification has been influenced by the existence of bushfire prone vegetation from 100m – 200m from the site:	None
Assessment Statement:	No vegetation types exist close enough, or to a sufficient extent, within the relevant area to influence classification of vegetation within 100 metres of the subject site.





VEGETATION AREA 1						
Classification	A. FOREST					
Types Identified	Open forest A-03					
Exclusion Clause	N/A					
Effective Slope	Measured	flat 0 degrees	Applied Range (Method 1)		Upslope or flat 0 degrees	
Foliage Cover (all layers)	30-70%	Shrub/Heath Height	1-2m	Tree Height	6-8m	
Dominant & Sub-Dominant Layers (species as relevant)	Mixed Eucalyptus and Corymbia species					
Understorey:	Mixed shrubs, juvenile Eucalyptus trees and unmanaged weeds					
Additional Justification:	Not Required.					
Post Development Assumptions:	N/A					
 						
PHOTO ID: 1				PHOTO ID: 2		
 						
PHOTO ID: 3				PHOTO ID: 4		



VEGETATION AREA 2					
Classification	B. WOODLAND				
Types Identified	Open woodland G-06				
Exclusion Clause	N/A				
Effective Slope	Measured	flat 0 degrees	Applied Range (Method 1)	Upslope or flat 0 degrees	
Foliage Cover (all layers)	10-30%	Shrub/Heath Height	N/A	Tree Height	N/A
Dominant & Sub-Dominant Layers (species as relevant)	Tall <i>Eucalyptus gomphocephala</i> over scatter <i>Casuarina fraseriana</i>				
Understorey:	Managed exotic pastoral grasses.				
Additional Justification:	Not Required.				
Post Development Assumptions:	N/A				
					
PHOTO ID: 5			PHOTO ID: 6		



VEGETATION AREA 3						
Classification	D. SCRUB					
Types Identified	Closed scrub D-13					
Exclusion Clause	N/A					
Effective Slope	Measured	d/slope 4 degrees	Applied Range (Method 1)		Downslope >0-5 degrees	
Foliage Cover (all layers)	>90%	Shrub/Heath Height	>2m	Tree Height	N/A	
Dominant & Sub-Dominant Layers (species as relevant)	Closed scrub following a low-lying wetland. Mixed sedges and water grasses.					
Additional Justification:	Not Required.					
Post Development Assumptions:	N/A					
						
PHOTO ID: 7			PHOTO ID: 8			



VEGETATION AREA 4						
Classification	G. GRASSLAND					
Types Identified	Sown pasture G-26		Open herbfield G-27			
Exclusion Clause	N/A					
Effective Slope	Measured	d/slope 4 degrees	Applied Range (Method 1)		Downslope >0-5 degrees	
Foliage Cover (all layers)	10-30%	Shrub/Heath Height	N/A		Tree Height	N/A
Dominant & Sub-Dominant Layers (species as relevant)	Mixed invasive grasses and herbs across a sandplain.					
Additional Justification:	Not Required.					
Post Development Assumptions:	N/A					
PHOTO ID: 9			PHOTO ID: 10			



VEGETATION AREA 5					
Classification	G. GRASSLAND				
Types Identified	Open herbfield G-27		Sown pasture G-26		
Exclusion Clause	N/A				
Effective Slope	Measured	flat 0 degrees	Applied Range (Method 1)		Upslope or flat 0 degrees
Foliage Cover (all layers)	30-70%	Shrub/Heath Height	N/A	Tree Height	N/A
Dominant & Sub-Dominant Layers (species as relevant)	Mixed invasive grasses and herbs across a sandplain.				
Additional Justification:	Not Required.				
Post Development Assumptions:	N/A				
					
PHOTO ID: 11			PHOTO ID: 12		
					
PHOTO ID: 13			PHOTO ID: 14		



VEGETATION AREA 6	
Classification	N/A
Exclusion Clause	2.2.3.2 (e) Non-vegetated areas and (f) Low threat vegetation - minimal fuel condition.
Additional Justification:	Areas include managed verges and lawns all with grasses no taller than 10cm.
Post Development Assumptions:	Verges to remain managed in perpetuity.
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>PHOTO ID: 15</p> </div> <div style="text-align: center;">  <p>PHOTO ID: 16</p> </div> </div>	
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>PHOTO ID: 17</p> </div> <div style="text-align: center;">  <p>PHOTO ID: 18</p> </div> </div>	



A1.3: EFFECTIVE SLOPE

Measuring

Effective slope refers to the slope "under the classified vegetation which most significantly influences bushfire behaviour (AS 3959:2018, clause B4, CB4). It is not the average slope.

It is described as upslope, flat or downslope when viewed from the exposed element (e.g., building) looking towards the vegetation – and measured in degrees. Ground slope has a direct and significant influence on a bushfire's rate of spread and intensity, which increases when travelling up a slope.

The slope under the vegetation in closest proximity to the exposed element(s), over the distance that will most likely carry the entire depth of the flaming front, will be a significant consideration in the determination of the effective slope. This distance is determined as a function of the potential quasi-steady rate of spread and expected residence time (i.e., the flaming combustion period at a single point on the ground), of a bushfire in the specific vegetation type/landscape scenario.

Slope Variation Within Areas of Vegetation

Where a significant variation in effective slope exists under a consistent vegetation type, these will be delineated as separate vegetation areas to account for the difference in potential bushfire behaviour, in accordance with AS 3959:2018 clauses 2.2.5 and C2.2.5.

Slope Variation Due to Multiple Development Sites

When the effective slope, under a given area of bushfire prone vegetation, will vary significantly relative to multiple proposed development sites (exposed elements), then the effective slopes corresponding to each of the different locations, are separately identified.

The relevant (worst case) effective slope is determined in the direction corresponding to the potential directions of fire spread towards the subject building(s).

Differences in Application of Effective Slope - AS 3959:2018 Method 1 versus Method 2 Procedures

The Method 1 procedure provides five different slope ranges from flat (including all upslopes) to 20 degrees downslope to define the effective slope and bushfire behaviour model calculations apply the highest value in each range (i.e., 0°, 5°, 10°, 15° or 20°).

The Method 2 procedure requires an actual slope (up or down in degrees) to be determined. AS 3959:2018, clause B1 limits the effective slope that can be applied to 30 degrees downslope and 15 degrees upslope. Where any upslope is greater than 15 degrees, then 15 degrees is to be used.

SITE ASSESSMENT DETAILS - EXPLANATION & JUSTIFICATION

The effective slopes determined from the site assessment are recorded in Table 3.1 of this Bushfire Management Plan. When their derivation requires additional explanation and justification, this is provided below.



A1.4: SEPARATION DISTANCE

Measuring

The separation distance is the distance in the horizontal plane between the receiver (building/structure or area of land being considered) and the edge of the classified vegetation (AS 3959:2018, clause 2.2.4)

The relevant parts of a building/structure from which the measurement is taken is the nearest part of an external wall or where a wall does not exist, the supporting posts or columns. Certain parts of buildings are excluded including eaves and roof overhangs.

The edge of the vegetation, for forests and woodlands, will be determined by the unmanaged understorey rather than either the canopy (drip line) or the trunk (AS 3959:2018, clause C2.2.5).

Measured Separation Distance as a Calculation Input

If a separation distance can be measured because the location of the building/structure relative to the edge of the relevant classified vegetation is known, this figure can be entered into the BAL calculation. The result is a determined BAL rating.

Assumed Separation Distance as a Calculation Input

When the building/structure location within the lot is not known, an assumed building location may be applied that would establish the closest positioning of the building/structure relative to the relevant area of vegetation.

The assumed location would be based on a factor that puts a restriction on a building location such as:

- An established setback from the boundary of a lot, such as a residential design code setback or a restrictive covenant; or
- Within an established building envelope.

The resultant BAL rating would be indicative and require later confirmation (via a Compliance Report) of the building/structure actual location relative to the vegetation to establish the determined BAL rating.

Separation Distance as a Calculation Output

With the necessary site specific assessment inputs and using the AS 3959:2018 bushfire modelling equations, the range of separation distances that will correspond to each BAL rating (each of which represents a range of radiant heat flux), can be calculated. This has application for bushfire planning scenarios such as:

- When the separation distance cannot be measured because the exact location of the exposed element (i.e., the building, structure or area), relative to classified vegetation, is yet to be determined.

In this scenario, the required information is the identification of building locations onsite that will correspond to each BAL rating. That is, indicative BAL ratings can be derived for a variety of potential building/structure locations; or

- The separation distance is known for a given building, structure or area (and a determined BAL rating can be derived), but additional information is required regarding the exposure levels (to the transfer of radiant heat from a bushfire), of buildings or persons, that will exist at different points within the subject site.

The calculated range of separation distances corresponding to each BAL rating can be presented in a table and/or illustrated as a BAL Contour Map – whichever is determined to best fit the purpose of the assessment.

For additional information refer to the information boxes in Section 3 'Bushfire Attack Levels (BAL) - Understanding the Results and Section 3.2. 'Interpretation of the BAL Contour Map'.

SITE ASSESSMENT DETAILS - EXPLANATION & JUSTIFICATION

. Measured and assumed separation distances determined from the site assessment are recorded in Section 3, Table 3.1. When their derivation requires additional explanation and justification, including when the relevant R-Code or other regulated building setbacks are being applied, this is provided below.



APPENDIX B: ONSITE VEGETATION MANAGEMENT - THE APZ

THE ASSET PROTECTION ZONE (APZ) - DESCRIPTION
<p>This is an area surrounding a habitable building containing either no fire fuels and/or low threat fire fuels that are managed in a minimal fuel condition. The primary objectives include:</p> <ul style="list-style-type: none"> To ensure the building is sufficiently separated from the bushfire hazard to limit the impact of its direct attack mechanisms. That is, the dimensions of the APZ will, for most site scenarios, remove the potential for direct flame contact on the building, reduce the level of radiant heat to which the building is exposed and ensure some reduction in the level of ember attack (with the level of reduction being dependent on the vegetation types of present); To ensure any vegetation retained within the APZ presents low threat levels and prevents surface fire spreading to the building; To ensure other combustible materials that can result in consequential fire (typically ignited by embers) within both the APZ and parts of the building, are eliminated, minimised and/or appropriately located or protected. (Note: The explanatory notes in the Guidelines provide some guidance for achieving this objective and other sources are available. Research shows that consequential fire, ignited by embers, is the primary cause of building loss in past bushfire events); and To provide a defensible space for firefighting activities.

B1: The Dimensions and Location of the APZ to be Established and Maintained

UNDERSTANDING THE APZ PLANNING ASSESSMENT VERSUS ITS IMPLEMENTATION REQUIREMENTS
<p>THE 'PLANNING BAL-29' APZ</p> <p><i>It is important to understand is that the 'Planning BAL-29' APZ is not necessarily the size of the APZ that must be physically established and maintained by a landowner. It is a screening tool for making planning approval decisions.</i></p> <p>The assessment against the Bushfire Protection Criteria is conducted for planning approval purposes. To satisfy acceptable solution 'A2.1: Asset Protection Zone', it must be demonstrated that certain minimum separation distances between the relevant building/structure and different classes of bushfire prone vegetation either exist or can be created and will remain in perpetuity.</p> <p>The required minimum separation distances are those that will ensure the potential radiant heat impact on relevant existing or future buildings does not exceed 29 kW/m². The area of land contained within these separation distances is described as an Asset Protection Zone (APZ) and is to be comprised of non-vegetated land or low threat vegetation managed in a minimal fuel condition.</p> <p>The applicable minimum separation distances will vary dependent on the vegetation types, the slope of the land they are growing on and other relevant factors specific to the site and its use.</p> <p><u>The resulting 'Planning BAL-29' APZ dimensions may extend outside subject lot boundaries.</u></p> <p>It is the purpose of the bushfire consultant's 'Supporting Assessment Detail', that is presented in the assessment against the acceptable solution A2.1, that will identify and justify how any offsite land within the 'Planning BAL-29 APZ (which the subject landowner has no authority or responsibility to manage), will meet the requirements of being either non-vegetated land or low threat vegetation managed in a minimal fuel condition and likely to remain in this state in perpetuity. Or otherwise, explain how this condition cannot be met.</p> <p><i>It is the 'Planning BAL-29' APZ dimensions that will be stated in relevant tables and shown on maps as necessary in this BMP. The exceptions are the tables that are included within this appendix - when relevant to the subject lot(s) - which will present 'BAL Rating' and 'Landowner' APZ dimensions.</i></p>



THE 'BAL RATING' APZ

The 'BAL Rating' APZ will ensure that the potential radiant heat exposure of the building/structure will be limited to the level that the applied construction requirements, (i.e., those corresponding to the building/structure's determined BAL rating), are designed to resist.

The minimum dimensions of the 'BAL Rating' APZ to be established and maintained will be those that correspond to the determined BAL rating for the specific building/structure. They will account for the specific conditions on and surrounding the subject lot.

The required dimensions of the 'BAL Rating' APZ establish the size of the APZ that must physically exist either entirely within a subject lot or in combination with an area of adjoining land.

If in combination with adjoining (offsite) land, it must be justified how the offsite land can most reasonably be expected to either remain unvegetated or be able to meet and maintain the APZ Standards in perpetuity, without any actions by the owner of the subject lot.

The applicable determined BAL rating will have been stated in the relevant assessment section of this BMP when it can be assessed as a 'determined' rather than 'indicative' rating. Otherwise, it will be shown on the BAL Certificate that is submitted as part of a building application.

THE 'LANDOWNER' APZ

Dimensions: The 'Landowner' APZ is to be established and maintained by the owner of the subject lot. The minimum dimensions are the 'BAL Rating' APZ dimensions except that they will be limited to the distance that they can be established within the subject lot. (Note: Any removal of native vegetation may require the approval of the relevant authority.)

The remaining required separation distance outside the lot has been assessed by the bushfire consultant to be most likely to remain in a low threat state in perpetuity without any actions to be taken by the owner of the subject lot.

These minimum 'within the lot' APZ dimensions will only be greater when the relevant local government's annual firebreak / hazard reduction notice (issued under s33 of the Bushfires Act 1954), specifies the APZ dimensions to be applied within the lot and they are greater. Consequently, the 'Landowner' APZ dimensions can be a combination of the 'BAL Rating' Dimensions and the Local Government requirements. Check their annual notice for revisions to these requirements.

The dimensions of the 'Landowner' APZ establish the size of the APZ that must be established and maintained by the landowner within the subject lot.

Location: The 'Landowner' APZ for which the landowner has the responsibility to establish and maintain, is that which will exist entirely within the boundaries of the relevant lot, unless an approved formal and enforceable agreement allows them to manage a specified area of land external to the subject lot.

In most cases the landowner will only have authority and responsibility to establish and manage the APZ within the subject lot.

Otherwise, when there is a remaining part of the 'BAL Rating' APZ existing outside the subject lot, then these areas of land will, in most situations, include non-vegetated areas (e.g., roads / parking / drainage / water body), formally managed areas of vegetation (e.g., public open space / recreation areas / services installed in a common section of land) or an APZ on a neighbouring lot that is required to be established and maintained by the owner of that adjoining lot.

For vulnerable land uses, the 'BAL Rating' APZ and 'Landowner' APZ will also refer to the dimensions corresponding to radiant heat impact levels of 10 kW/m² and 2 kW/m² (calculated using 1200K flame temperature).

For development applications only, the 'Landowner' APZ dimensions are also shown on the Property Bushfire Management Statement in Section 6.3.1 of this BMP when it is a required component of the Bushfire Management Plan.



Table B1.1: The applicable 'Landowner' APZ Dimensions when indicative BAL ratings have been established by the BMP.

THE 'LANDOWNER' APZ DIMENSIONS TO BE ESTABLISHED AND MAINTAINED							
Relevant Buildings(s)	Classified Vegetation Refer to Fig 3.1	Minimum Required Separation Distances (m) - Building to Vegetation					
		The 'BAL Rating' APZ				As Directed by the Applicable 2022 Local Government Firebreak / Hazard Reduction Notice	The 'Landowner' APZ (limited to the subject lot boundary unless otherwise justified)
		Corresponding to the Stated 'Indicative' BAL					
		BAL-29	BAL-19	BAL-12.5	BAL-LOW		
Proposed Lots on Future Subdivision	Area 1	21	31	42	100	N/A		Will be dependent on the subsequent 'Determined' BAL rating.
	Area 2	14	20	29	100	N/A	
	Area 3	15	22	31	100	N/A	It is then to be calculated as the greater of the 'BAL Rating' distance or the 'Firebreak Notice' distance, and no greater than the distance to the lot boundary.
	Area 4	9	14	20	50	N/A	
	Area 5	8	12	17	50	N/A	
	Area 6	N/A	N/A	N/A	N/A	N/A	
Comments: Any future subdivided lots will at minimum need to comply with the BAL-29 setback distances.							



B2: The Standards for the APZ as Established by the Guidelines (DPLH, v1.4)

Within the Guidelines (source: <https://www.wa.gov.au/government/document-collections/state-planning-policy-37-planning-bushfire-prone-areas>), the management Standards are established by:

- Schedule 1: Standards for Asset Protection Zones (see extract below) established by the Guidelines; and
- The associated explanatory notes (Guidelines E2) that address (a) managing an asset protection zone (APZ) to a low threat state (b) landscaping and design of an asset protection zone and (c) plant flammability.

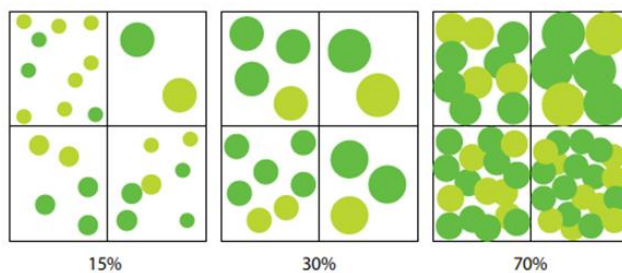


ELEMENT 2: SITING AND DESIGN OF DEVELOPMENT

SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

OBJECT	REQUIREMENT
Fences within the APZ	<ul style="list-style-type: none"> • Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959).
Fine fuel load (Combustible, dead vegetation matter <6 millimetres in thickness)	<ul style="list-style-type: none"> • Should be managed and removed on a regular basis to maintain a low threat state. • Should be maintained at <2 tonnes per hectare (on average). • Mulches should be non-combustible such as stone, gravel or crushed mineral earth or wood mulch >6 millimetres in thickness.
Trees* (>6 metres in height)	<ul style="list-style-type: none"> • Trunks at maturity should be a minimum distance of six metres from all elevations of the building. • Branches at maturity should not touch or overhang a building or powerline. • Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. • Canopy cover within the APZ should be <15 per cent of the total APZ area. • Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ.

Figure 19: Tree canopy cover – ranging from 15 to 70 per cent at maturity





Shrub* and scrub* (0.5 metres to six metres in height). Shrub and scrub >6 metres in height are to be treated as trees.	<ul style="list-style-type: none"> • Should not be located under trees or within three metres of buildings. • Should not be planted in clumps >5 square metres in area. • Clumps should be separated from each other and any exposed window or door by at least 10 metres.
Ground covers* (<0.5 metres in height. Ground covers >0.5 metres in height are to be treated as shrubs)	<ul style="list-style-type: none"> • Can be planted under trees but must be maintained to remove dead plant material, as prescribed in 'Fine fuel load' above. • Can be located within two metres of a structure, but three metres from windows or doors if >100 millimetres in height.
Grass	<ul style="list-style-type: none"> • Grass should be maintained at a height of 100 millimetres or less, at all times. • Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation.
Defendable space	<ul style="list-style-type: none"> • Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and non-combustible mulches as prescribed above.
LP Gas Cylinders	<ul style="list-style-type: none"> • Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building. • The pressure relief valve should point away from the house. • No flammable material within six metres from the front of the valve. • Must sit on a firm, level and non-combustible base and be secured to a solid structure.

* Plant flammability, landscaping design and maintenance should be considered – refer to explanatory notes

B3: The Standards for the APZ as Established by the Local Government

Refer to the firebreak / hazard reduction notice issued annually (under s33 of the Bushfires Act 1954) by the relevant local government. It may state Standards that vary from those established by the Guidelines and that have been endorsed by the WAPC and DFES as per Section 4.5.3 of the Guidelines.

A copy of the applicable notice is not included here as they are subject to being reviewed and modified prior to issuing each year. Refer to ratepayers notices and/or the local government's website for the current version.



B4: Maintaining Low Threat and Non-Vegetated Areas Excluded from Classification

AS 3959 establishes the methodology for determining a bushfire attack level (BAL). The methodology includes the classification of the subject site's surrounding vegetation according to their 'type' and the application of the corresponding bushfire behaviour models to determine the BAL. Certain vegetation can be considered as low threat and excluded from classification. Where this has occurred in assessing the site, the extract from AS3959:2018 below state the requirements (including the size of the vegetation area if relevant to the assessment) for maintenance of those areas of land.

15

AS 3959:2018

2.2.3.2 Exclusions—Low threat vegetation and non-vegetated areas

The following vegetation shall be excluded from a BAL assessment:

- (a) Vegetation of any type that is more than 100 m from the site.
- (b) Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified vegetation.
- (c) Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified vegetation.
- (d) Strips of vegetation less than 20 m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified vegetation.
- (e) Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.
- (f) Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves and other saline wetlands, maintained lawns, golf courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.

NOTES:

- 1 Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm).
- 2 A windbreak is considered a single row of trees used as a screen or to reduce the effect of wind on the leeward side of the trees.



APPENDIX C: TECHNICAL REQUIREMENTS FOR VEHICULAR ACCESS

The design/layout requirements for access are established by the acceptable solutions of the Guidelines (DPLH, 2021 v1.4) Element 3 and vary dependent on the access component, the land use and the presence of 'vulnerable' persons. Consequently, the best reference source are the Guidelines. The technical requirements that are fixed for all components and uses are presented in this appendix.

GUIDELINES TABLE 6, EXPLANATORY NOTES E3.3 & E3.6 AND RELEVANT ACCEPTABLE SOLUTIONS

Technical Component	Vehicular Access Types / Components			
	Public Roads	Emergency Access Way ¹	Fire Service Access Route ¹	Battle-axe and Private Driveways ²
Minimum trafficable surface (m)	In accordance with A3.1	6	6	4
Minimum Horizontal clearance (m)	N/A	6	6	6
Minimum Vertical clearance (m)	4.5			
Minimum weight capacity (t)	15			
Maximum Grade Unsealed Road ³	As outlined in the IPWEA Subdivision Guidelines	1:10 (10%)		
Maximum Grade Sealed Road ³		1:7 (14.3%)		
Maximum Average Grade Sealed Road		1:10 (10%)		
Minimum Inner Radius of Road Curves (m)		8.5		



APPENDIX D: TECHNICAL REQUIREMENTS FOR FIREFIGHTING WATER SUPPLY

D1: Reticulated Areas – Hydrant Supply

The Guidelines state "where a reticulated water supply is existing or proposed, hydrant connection(s) should be provided in accordance with the specifications of the relevant water supply authority."

The main scheme water suppliers / authorities in WA are The Water Corporation, AqWest – Bunbury Water Corporation and Busselton Water Corporation. Various local authority exists in other non-scheme and regional areas. However, most existing fire hydrants are connected to Water Corporation water mains.

Consequently, the hydrant location specifications from The Water Corporation's 'No 63 Water Reticulation Standard' (Ver 3 Rev 15) are provided in the extract below with the key distances relevant to bushfire planning assessments being highlighted. This Standard is deemed to be the baseline criteria for developments and should be applied unless different local water supply authority conditions apply. Other applicable specification will be found in the Standard.

Note: The maximum distance from a hydrant to the rear of a lot/building is generally interpreted as not applicable to large lot sizes where the maximum distance becomes an impractical limitation i.e., typically rural residential areas.

Design Standard DS 63
Water Reticulation Standard



2.2.1.5 Appurtenances

c. Hydrants

Hydrants shall be screw-down hydrant with built-in isolation valve and installed only on DN100 or larger pipes. Hydrants shall be located:

- so that the maximum distance between a hydrant and the rear of a building envelope, (or in the absence of a building envelope the rear of the lot) shall be 120m;
- so that spacing (as measured by hose-run) between hydrants in non-residential or mixed use areas shall be maximized and no greater than 100m;
- so that spacing (as measured by hose-run) between hydrants in residential areas with lots per dwelling <10,000m² shall be maximized and no greater than 200m;
- so that spacing between hydrants (as measured by hose-run) in rural residential areas where minimum lots per dwelling is >10,000 m² (1ha) shall be maximized and no greater than 400m;
- centrally along the frontage of a lot to avoid being under driveways, unless the lot features a frontage 6m or less, in which case it shall be placed to the side opposite the driveway;
- at lots that have the widest frontage in the local area;
- where appropriate at the truncation of road junctions or intersections so that they can serve more than one street and can be readily located;
- on both sides of the major roads at staggered intervals where there are mains on both sides of the road;
- at major intersections on dual multi-lane roads, where two hydrants are to be sited on diagonally opposite corners;
- hydrants should be located at least 20m from traffic calming devices i.e., median slow points or chokers, chicanes, mini traffic circles, and intersection 'pop-outs' to ensure traffic is not impeded;
- in a position not less than 10m from any high voltage main electrical distribution equipment such as transformers and distribution boards, liquefied petroleum gas or other combustible storage;
- directly on top of the main using a tee unless proved to be impractical.

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Bushfire management plan/Statement addressing the Bushfire Protection Criteria coversheet

Site address:

Site visit: Yes No

Date of site visit (if applicable): Day Month Year

Report author or reviewer:

WA BPAD accreditation level (please circle):

Not accredited Level 1 BAL assessor Level 2 practitioner Level 3 practitioner

If accredited please provide the following.

BPAD accreditation number: Accreditation expiry: Month Year

Bushfire management plan version number:

Bushfire management plan date: Day Month Year

Client/business name:

	Yes	No
Has the BAL been calculated by a method other than method 1 as outlined in AS3959 (tick no if AS3959 method 1 has been used to calculate the BAL)?	<input type="checkbox"/>	<input type="checkbox"/>
Have any of the bushfire protection criteria elements been addressed through the use of a performance principle (tick no if only acceptable solutions have been used to address all of the bushfire protection criteria elements)?	<input type="checkbox"/>	<input type="checkbox"/>

	Yes	No
Is the proposal any of the following (see SPP 3.7 for definitions)?	<input type="checkbox"/>	<input type="checkbox"/>
Unavoidable development (in BAL-40 or BAL-FZ)	<input type="checkbox"/>	<input type="checkbox"/>
Strategic planning proposal (including rezoning applications)	<input type="checkbox"/>	<input type="checkbox"/>
High risk land-use	<input type="checkbox"/>	<input type="checkbox"/>
Vulnerable land-use	<input type="checkbox"/>	<input type="checkbox"/>

None of the above

Note: Only if one (or more) of the above answers in the tables is yes should the decision maker (e.g. local government or the WAPC) refer the proposal to DFES for comment.

Why has it been given one of the above listed classifications (E.g. Considered vulnerable land-use as the development is for accommodation of the elderly, etc.)?

The information provided within this bushfire management plan to the best of my knowledge is true and correct:

Signature of report author or reviewer

Date